



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: July 14, 2015

REGARDING: HARRIS (CASE NO. PZ15-0018)

BY: Thomas M. Walsh, Building Official

I. GENERAL INFORMATION:

Applicant

Joye T. Harris

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:

R-4, One Family Residential

Site Location:

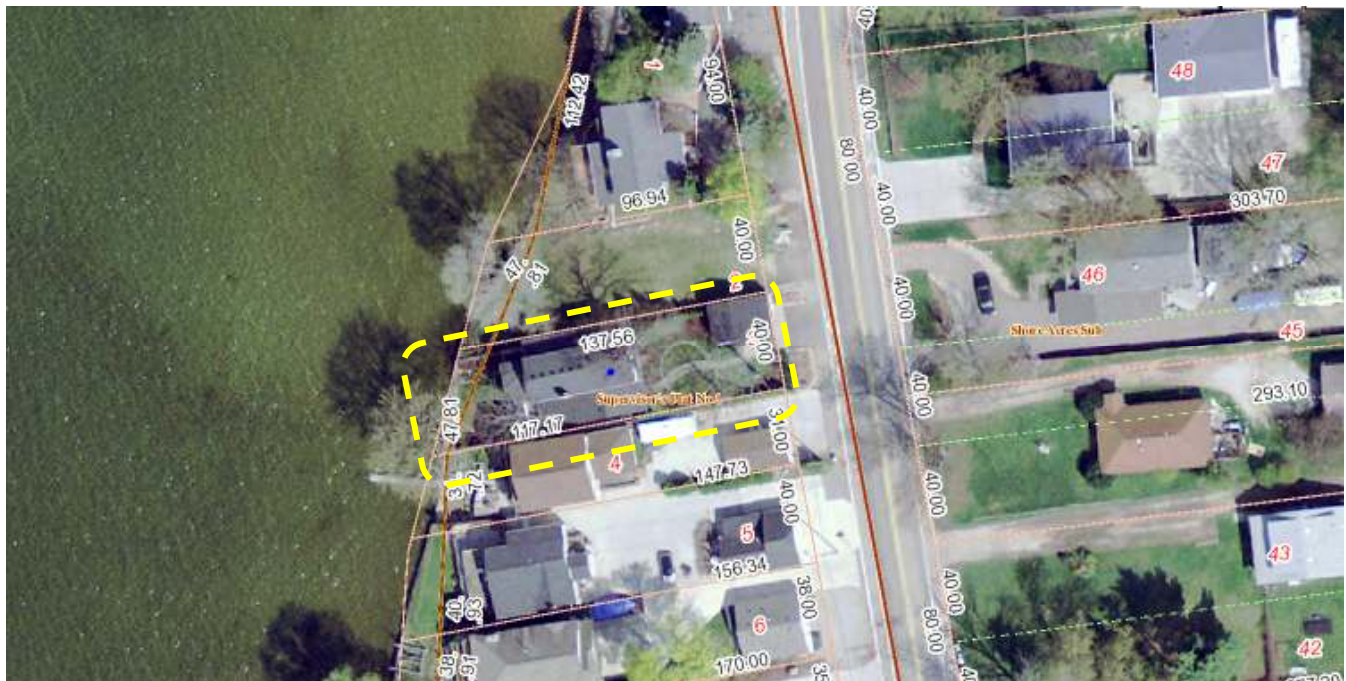
1256 East Lake Drive, west of Novi Road and south of 14 Mile Road

Parcel #:

50-22-02-151-018

Request

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES; Section 3.1.5(d) to allow construction of new second floor living area addition over the existing foot on an existing nonconforming lakefront parcel: 1) a variance of 7.0 feet in the required north side yard setback (10 feet required, 3.0 feet proposed); 2) a variance of 18.28 feet in the required aggregate side yard setback (25 feet required, 6.0 feet proposed); 3) a variance of 10.51 feet in the required rear (lake side) yard setback (35 feet required, 23.49 feet proposed); 4) a variance 10.5% in the allowed lot coverage (25% allowed, 35.5% proposed/existing).



II. ZONING AND LAND USE:

The table below lists the zoning district, existing land use and future land use for the subject site and surrounding parcels.

| Parcel | Zoning District | Existing Land Use | Future Land Use |
|-------------------------|-----------------------------------------|-------------------------------------|-----------------------------|
| Subject Property | R-4, One Family Residential | Supervisor's Plat No. 1 Subdivision | Single Residential |
| North | R-4, One Family Residential | Supervisor's Plat No. 1 Subdivision | Single Residential |
| South | R-4, One Family Residential | Supervisor's Plat No. 1 Subdivision | Single Residential |
| East | RM-1, Low Rise Multiple-Family District | Shore Acres Subdivision | Multiple-Family Residential |
| West | ***** | Walled Lake | ***** |

III. STAFF COMMENTS:

Existing Condition

The subject property consists of one- (1) lot located on the west side of East Lake Drive within Supervisor's Plat No. 1 Subdivision. The parcel has approximately 40.0 feet of frontage on East Lake Drive and approximately 137.56 feet deep as measured along north side yard lot line. The total lot area of the parcel is approximately 5,635.0 square feet. The existing residence is located 64.0 feet from the front yard lot line, 1.25 feet from the north side yard lot line, 2.72 feet from the south side yard lot line, and 23.49 feet from the rear yard lot line.

The existing detached garage is located .0 feet from the north side yard lot line, 22.09 feet from the south side yard lot line, and 7.52 feet from the front (street side) yard lot line.

Proposed Changes

The applicant is proposing to construct a new second floor living area addition over the existing (within) foot on an existing nonconforming lakefront parcel. As proposed, the second floor addition measure 35.54' x 50.12' for a total floor area of 1,493 square feet with a deck area of 125.0 square feet.

The addition would result in a setback of 3.0 feet from the north side yard lot line, 3.0 feet from the south side yard setback, 23.49 feet from the rear (lake side) yard lot line, and 64.0 feet from the front (street side) yard lot line. ***This requires a variance of 7.0 feet in the required north side yard setback, a variance of 18.28 in the required aggregate side yard setback, and a variance of 10.51 feet in the required rear (lake side) yard setback.***

IV. DEVELOPMENT STANDARDS:

The table below summarizes the zoning district development standards for the subject parcels.

| Lot Size | | Minimum Setback | | | |
|--------------------|--------|-----------------|--------------------|----------------------------|--------|
| Area | Width | Front | Sides | Aggregate Side | Rear |
| R-4 10,000 sq. ft. | 80 ft. | 30 ft. | 10 ft. (one side) | 25 ft. (total of two side) | 35 ft. |

1. Building Height (Section 3.1.5(d)). The maximum height of the building is 35 feet. The addition(s) is proposed to be 32 feet, two-story.
2. Lot Coverage (Section 3.1.5(d)). The percentage of lot coverage including the existing residence and the proposed addition would result in 35.5 percent. **This requires a variance of a 10.5% in the allowed lot coverage.**

V. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. Grant I move that we **grant** the variance(s) in **Case No.PZ15-0018**, sought by _____, for _____ because the Petitioner has established that _____ causes a practical difficulty relating to the property, including some or all of the following criteria:

(a) Petitioner has established that the property is unique because _____, or that the physical condition of the property creates the need for a variance because _____.

And, the condition is not a personal or economic hardship.

(b) The need for the variance is not self-created, **because** _____.

(c) Strict compliance with dimensional regulations of the Zoning Ordinance, including _____, will (either):

1. unreasonably prevent Petitioner from using the property for the permitted purpose as a _____, because _____, and/or,
2. will make it unnecessarily burdensome to comply with the regulation because _____.

(d) Petitioner has established that variance is the minimum variance necessary because a lesser variance would not _____.

(e) The requested variance will not cause adverse impact on surrounding property, property values, or the enjoyment of property in the neighborhood or zoning district, because _____.

(f) The variance granted is subject to the conditions that:

1. _____,
2. _____,
3. _____,
4. _____.

Zoning Board Of Appeals

Harris Property
Case # PZ15-0018

July 14, 2015

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2. Deny I move that we **deny** the variance in **Case No.PZ15-0018**, sought by _____, for _____ because the Petitioner has **not** established a practical difficulty because:

(a) Petitioner has shown no unique circumstance or physical condition of the property because petitioner can reasonably comply with the ordinance by _____.

(b) The difficulty described by the Petitioner is a personal or economic difficulty only in that Petitioner stated _____.

(c) The need for the variance is self-created because Petitioner _____.

(d) Conforming to the ordinance would not (either):

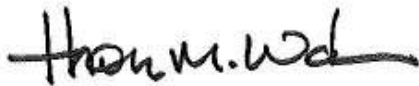
1. be unnecessarily burdensome because _____, or,

2. unreasonably prevent petitioner from using the property for _____, because _____.

(e) A lesser variance consisting of _____ would do substantial justice to Petitioner and surrounding property owner's because _____.

(f) The proposed variance would have adverse impact on surrounding property because _____.

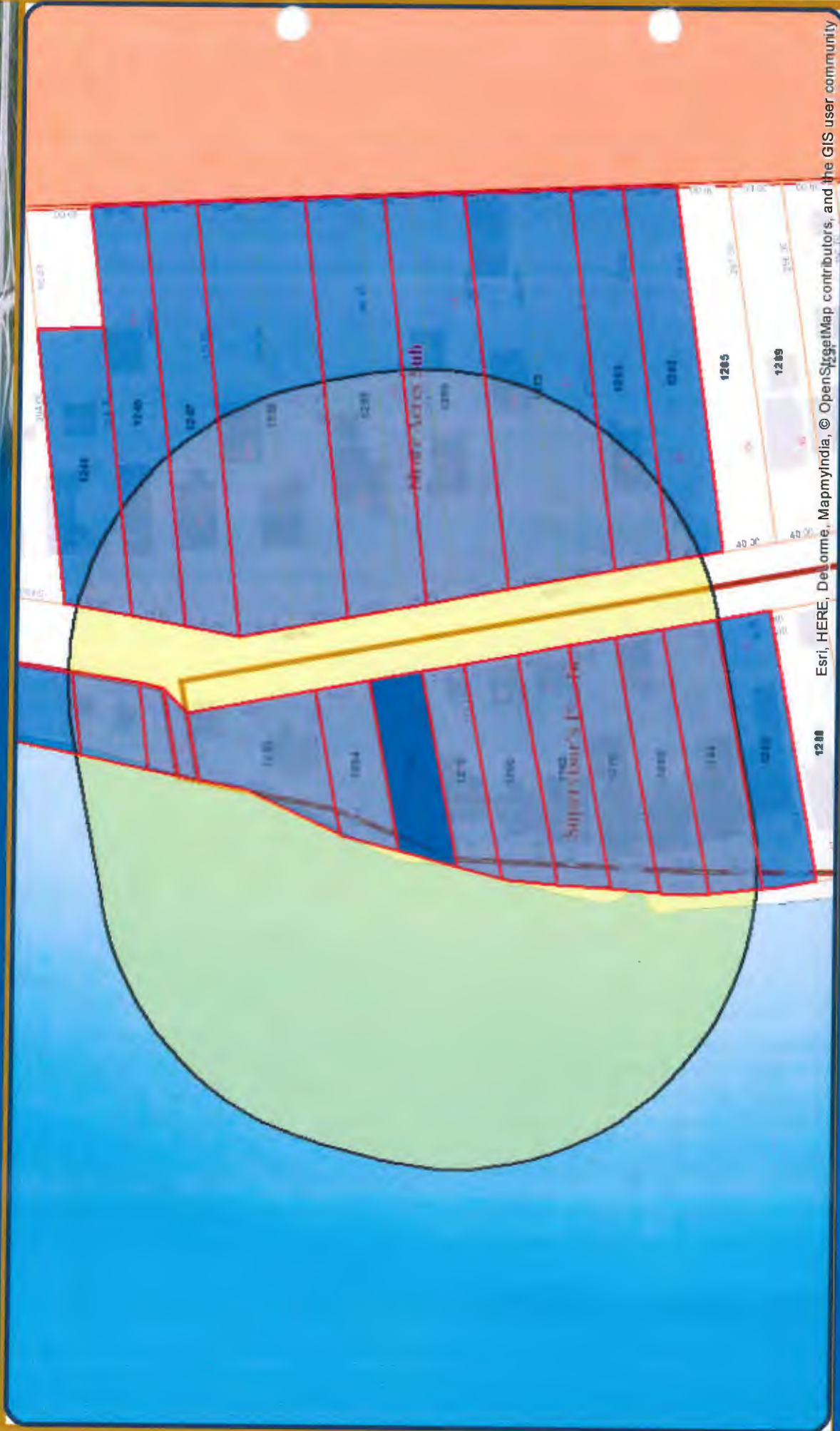
Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417



Thomas M. Walsh
Building Official
City of Novi

1256 East Lake Drive

PZ15-0018



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map. This map was produced under the terms of the City's Internet Site Use Policy available at <http://cityofnovi.org/Resources/StdUsePolicy.asp>.



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Map Produced Using the
City of Novi, Michigan
Internet Mapping Portal



Author:
Date: 6/19/2015





45175 Ten Mile Road
 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
 www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

RECEIVED
JUN 03 2015
 CITY OF NOVI
 COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

| | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------|--------------------------------------|--------------------------|
| I. PROPERTY INFORMATION (Address of subject ZBA Case) | | | | Application Fee: <u>\$200</u> | |
| PROJECT NAME / SUBDIVISION <u>Harris</u> | | | | Meeting Date: <u>7-14-15</u> | |
| ADDRESS <u>1256 East Lake Drive</u> | | LOT/SIUTE/SPACE # | | ZBA Case #: <u>PZ 15-0018</u> | |
| SIDWELL # <u>50-22-02-151-018</u> | | May be obtain from Assessing Department (248) 347-0485 | | | |
| CROSS ROADS OF PROPERTY | | | | | |
| IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE | | | |
| DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO | | | | | |
| II. APPLICANT INFORMATION | | | | | |
| A. APPLICANT | | EMAIL ADDRESS <u>jthtjb@gmail.com</u> | | CELL PHONE NO. | |
| NAME <u>Joye T. Harris</u> | | | | TELEPHONE NO. <u>248-624-2479</u> | |
| ORGANIZATION/COMPANY | | | | FAX NO. | |
| ADDRESS <u>1256 East Lake Drive</u> | | CITY <u>NOVI</u> | | STATE <u>MI</u> | ZIP CODE <u>48377</u> |
| B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER | | | | | |
| Identify the person or organization that owns the subject property; | | EMAIL ADDRESS <u>jthtjb@gmail.com</u> | | CELL PHONE NO. | |
| NAME <u>Joye T. Harris</u> | | | | TELEPHONE NO. <u>248-624-2479</u> | |
| ORGANIZATION/COMPANY | | | | FAX NO. | |
| ADDRESS <u>1256 East Lake Dr.</u> | | CITY <u>NOVI</u> | | STATE <u>MI</u> | ZIP CODE <u>48377</u> |
| III. ZONING INFORMATION | | | | | |
| A. ZONING DISTRICT | | | | | |
| <input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____ | | | | | |
| B. VARIANCE REQUESTED | | | | | |
| INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED: | | | | | |
| 1. Section _____ Variance requested <u>DISCRETIONARY</u> | | | | | |
| 2. Section _____ Variance requested _____ | | | | | |
| 3. Section _____ Variance requested _____ | | | | | |
| 4. Section _____ Variance requested _____ | | | | | |
| IV. FEES AND DRAWINGS | | | | | |
| A. FEES | | | | | |
| <input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 | | | | | |
| <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 | | | | | |
| <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600 | | | | | |
| B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF | | | | | |
| • Dimensioned Drawings and Plans | | | • Existing & proposed distance to adjacent property lines | | |
| • Site/Plot Plan | | | • Location of existing & proposed signs, if applicable | | |
| • Existing or proposed buildings or addition on the property | | | • Floor plans & elevations | | |
| • Number & location of all on-site parking, if applicable | | | • Any other information relevant to the Variance application | | |



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Jay S. Harris
Applicant Signature

01 June 2015
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



**REVIEW STANDARDS
DIMENSIONAL VARIANCE
CITY OF NOVI
Community Development Department
(248) 347-0415**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain how the circumstances or physical conditions applying to the property that do not apply generally to other properties in the same Zone District or in the general vicinity. Circumstances or physical conditions may include:

a. Shape of Lot. Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

The lot is narrow. The footprint of the house, its main floor, is only a few feet shorter than the property line.

and/or

b. Environmental Conditions. Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

and/or

c. Abutting Property. The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

The house on either side is close and or closer to property line than mine. They both have a full second story existing and I have only a half second story.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

I have very small bedrooms, two only
9 ft wide offering room for a single bed only.
I am unable to have my family unit for lack
of space/sleeping room.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance is strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Without the variance I am unable to ~~make~~ enlarge
my bedrooms enough to offer appropriate sleeping
space for my family.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

I ask only to build my second story ~~of~~ above the
existing first floor footprint which ~~will~~ maximize
my living space without impeding my neighbor's
property lines.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district

I will not change the existing footprint of my
house which ~~should~~ not affect my neighbors



Community Development Department
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 Novi, MI 48375
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 (248) 735-5600 Facsimile
 www.cityofnovi.org

ZONING PLAN REVIEW RECORD

DATE OF REVIEW: 6/17/15 PERMIT #: PZ15-001B
 PROJECT ADDRESS: 1256 EAST LAKE DR BUILDER/OWNER: HARRIS
 SUBDIVISION NAME: SP NO-1 Lot #: 3

I. ZONING PLAN REVIEW

A. ZONING DISTRICT

RA RESIDENTIAL ACREAGE (3.1.1) R-1 ONE-FAMILY RESIDENTIAL (3.1.2) R-2 ONE-FAMILY RESIDENTIAL (3.1.3)
 R-3 ONE-FAMILY RESIDENTIAL (3.1.4) R-4 ONE-FAMILY RESIDENTIAL (3.1.5) MH MOBILE HOME (3.1.9)
 OTHER

(D) DEVELOPMENT STANDARDS

| PROJECT TYPE: | SETBACKS YARDS | ACTUAL | REQUIRED | COMPLIES |
|----------------------------------------------------------|----------------------------------|---------------|------------|-------------------------------------|
| <input type="checkbox"/> SFR <input type="checkbox"/> MH | FRONT YARD | <u>65'</u> | <u>30'</u> | <u>Y</u> <input type="checkbox"/> N |
| <input checked="" type="checkbox"/> ADDITION | REAR YARD <u>10.51</u> | <u>23.49'</u> | <u>35'</u> | <u>Y</u> <input type="checkbox"/> N |
| <input type="checkbox"/> MASTER PLAN | MINIMUM SIDE YARD <u>8.75</u> | <u>1.25'</u> | <u>10'</u> | <u>Y</u> <input type="checkbox"/> N |
| <input type="checkbox"/> OTHER | AGGREGATE SIDE YARD <u>21.03</u> | <u>3.97'</u> | <u>25'</u> | <u>Y</u> <input type="checkbox"/> N |

VARIANCE REQUIRED PLOT PLAN: ATTACHED NOT ATTACHED

B. ACCESSORY STRUCTURE (Sections 4.19.(E), 4.19.1 (C) & 4.19.1 (E)(V))

PROJECT TYPE: ATTACHED GARAGE DETACHED GARAGE SHED OTHER House
 DIMENSIONS: _____ FT X _____ FT Area: _____ SF ALLOWED: _____ SF HEIGHT 30.5 FT
 COMPLIES: Y / N OK

ACCESSORY STRUCTURE(S) < GROUND FLOOR AREA COMPLIES: Y / N < 25% of REQ'D REAR YARD COMPLIES: Y / N
 #1 DIMENSIONS: 10' FT X 24' FT AREA: 412+ SF HEIGHT _____ FT
 #2 DIMENSIONS: _____ FT X _____ FT AREA: _____ SF HEIGHT _____ FT
 #3 DIMENSIONS: _____ FT X _____ FT AREA: _____ SF HEIGHT _____ FT

VARIANCE REQUIRED PLOT PLAN: ATTACHED NOT ATTACHED

C. LOT COVERAGE (D)
 EXISTING FOOTPRINT: 2004+ + PROPOSED FOOTPRINT: _____ + OTHER: _____
 = TOTAL AREA OF STRUCTURES 2004+ SF
 TOTAL SQ. FT. OF PROPERTY: 5,635+ SF (GIS) 25% of LOT COVERAGE: 1408.75 SF COMPLIES: Y N EXISTING

VARIANCE REQUIRED EXISTING PLOT PLAN: ATTACHED NOT ATTACHED

II. ENVIRONMENTAL REVIEW STATUS

| A. WOODLANDS | | B. WETLANDS | | C. FLOODPLAIN | |
|-------------------------|-------------------------------------|-------------------------|-------------------------------------|--------------------------|-------------------------------------|
| LOCATED ON PROPERTY | <u>Y</u> <input type="checkbox"/> N | LOCATED ON PROPERTY | <u>Y</u> <input type="checkbox"/> N | PROJECT LOCATED 100-YR.? | <u>Y</u> <input type="checkbox"/> N |
| ADJACENT TO PROPERTY | <u>Y</u> <input type="checkbox"/> N | ADJACENT TO PROPERTY | <u>Y</u> <input type="checkbox"/> N | FLOOD MAP PANEL: | <u>26125C0488</u> |
| DISTANCE FROM STRUCTURE | FT | DISTANCE FROM STRUCTURE | <u>23.49</u> FT | FLOOD ZONE: | MAP DATE: |

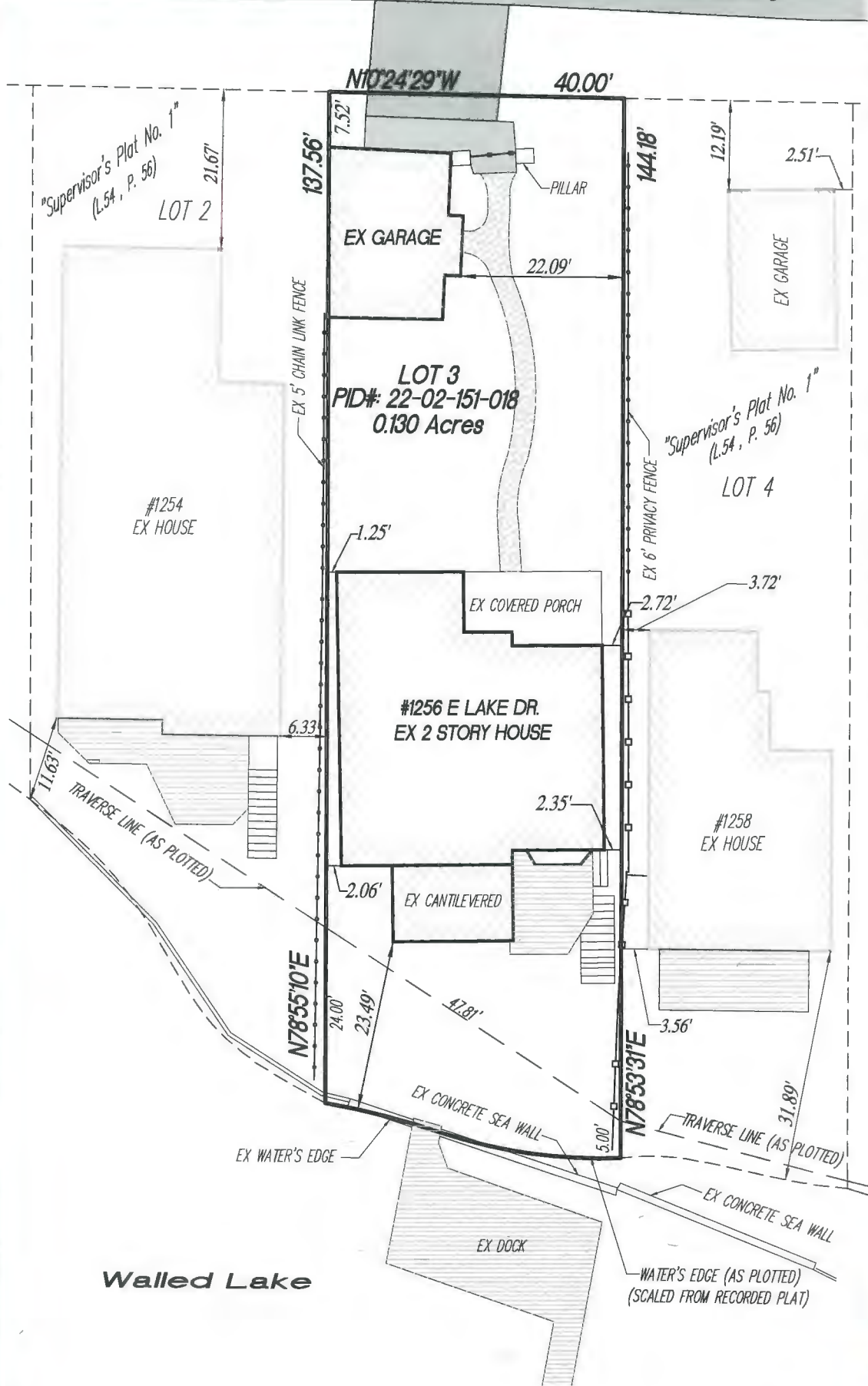
PERMIT REQUIRED PLOT PLAN: ATTACHED NOT ATTACHED

COMMENTS: LOT 35.5% 10.5% VAR

Thomas M. Waska 6/17/15
 Plan Reviewer Name Date

ARCHITECTURAL SURVEY

East Lake Drive (48' wide)

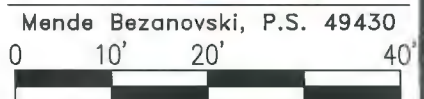


Surveyor's Certification:
I hereby certify that I have surveyed and mapped the land plotted/mapped and described as shown herein and that the ratio of closure of the unadjusted field observations of such survey are no greater than 1 in 10000 feet.

Note:
Since our survey does not include a Title Commitment search there could be easements and /or any encumbrances upon the subject property as shown herein that are not presented at this time.



Note:
Please see page 2 for a property legal description.
All bearings as shown herein are in relation to: "TRUE NORTH"



36636 North Pointe Dr. New Baltimore, MI, 48047
TEL. (586) 822-4964, FAX: (586) 591-5930
info@ab-sb-landsurvey.com;
www.ab-sb-landsurvey.com

| | |
|-----------------------------------------------------|------------------|
| SCALE: 1" = 20' | PAGE: 1 OF 2 |
| JOB NUMBER: 2015-06-01-151-MJ | DRAWN: MB |
| FIELD: MB | CHECKED: MB |
| REVISIONS: | DATE: 06-03-2015 |
| CLIENT: Mr. & Mrs. Harris | |
| ADDRESS: 1256 East Lake Drive Novi, MI, 48377 | |
| TEL: | FAX: |

GENERAL NOTES:

GENERAL CONDITIONS

- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL APPLY.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE SAFETY AND STABILITY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING THE CONSTRUCTION PROCESS. THIS INCLUDES, BUT IS NOT LIMITED TO, PROVIDING AND MAINTAINING TEMPORARY BRACING, SHORING, GUYS OR TIE-DOWNS AND ALL NECESSARY SAFETY AND FIRE-FIGHTING EQUIPMENT. TEMPORARY ELEMENTS SHALL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS ARE IN PLACE AND COMPLETED.

EXISTING CONDITIONS

- SITE VERIFY BEFORE BEGINNING CONSTRUCTION ALL NEW AND EXISTING DIMENSIONS, MEMBER SIZES, MATERIALS AND CONDITIONS SHOWN ON THE DRAWINGS. IF DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT OR ENGINEER, IN WRITING, BEFORE PROCEEDING WITH THE WORK.
- FOUNDATIONS**
- FOUNDATIONS SHALL BEAR ON SOLID, UNDISTURBED SOIL OR ENGINEERED FILL OF 3000 PSF SAFE BEARING CAPACITY. REFER TO PROJECT BOIL REPORT IF ONE IS AVAILABLE, BUT SITE VERIFY SOIL CAPACITY AND CONDITIONS WITH SOILS TESTING PRIOR TO BEGINNING WORK.
- PROVIDE NECESSARY SHEETING, SHORING, BRACING, SAFETY EQUIPMENT, ETC. AS REQUIRED DURING THE EXCAVATION WORK TO PROTECT THE SIDES OF THE EXCAVATIONS, ADJACENT CONSTRUCTION, AND PERSONNEL.

CONCRETE

- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 3000 PSI. UNO. USE 4000 PSI CONCRETE WITH 6% V-1% ENTRAINED AIR WHEREVER CONCRETE IS EXPOSED TO EFFECTS OF WEATHER.
- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ACI 318 BUILDING CODE REQUIREMENTS.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS UNO. AND HAVE ANCHORAGE AND LAPs PER ACI CLASS C 8PLICES, WITH MINIMUM LAPs OF 36 BAR DIAMETERS. FABRICATION AND PLACEMENT SHALL BE IN ACCORDANCE WITH ACI 318. HOOK TOP BARS AT DISCONTINUOUS ENDS.
- REINFORCING STEEL IN FOOTINGS, GRADE BEAMS AND WALLS SHALL BE CONTINUOUS AT CORNERS AND INTERSECTIONS, USING THE SAME SIZE AND SPACING AS THE HORIZONTAL STEEL.
- SLAB-ON-GRADE SHALL BE A MINIMUM 4" THICK ON COMPACTED SAND FILL, REINFORCED WITH 6x6 W4 X W4 AT MID-DEPTH OR HIGHER, OR AS SHOWN ON DRAWINGS.

MASONRY

- ALL MASONRY WORK IS TO BE DONE IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530 / ASCE 5) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 532 / ASCE 6 AND NCHM).
- ALL BLOCK SHALL CONFORM TO ASTM C90, TYPE I, FIN = 1800 P.S.I.
- MORTAR SHALL BE TYPE "S" (1800 P.S.I.) PER ASTM C-270.
- PROVIDE HORIZONTAL WIRE-TYPE REINFORCEMENT WITH #3 GAUGE SIDE AND CROSS WIRES IN EVERY SECOND COURSE (16" O.C.) IN ALL MASONRY WALLS. WALLS WITH VERTICAL REINFORCING STEEL SHALL HAVE "LADDER" TYPE REINFORCEMENT.
- ALL REINFORCING BARS SHALL BE ASTM A615, GRADE 60. SPlice LENGTH TO BE PER ACI CLASS C 8PLICES WITH MINIMUM 36 BAR DIAMETERS.
- STRUCTURAL MEMBERS BEARING ON MASONRY SHALL EXTEND A MINIMUM OF 8" ONTO 3 COURSES HIGH BY 2"-8" WIDE OF GROUTED BLOCK. MEMBER SHALL BEAR ON MINIMUM 1/2" X 6" X 0"-8" BEARING PLATE AND BE CONNECTED WITH (2) 3/4" DIAM. ANCHOR BOLTS.
- EXCEPT WHERE OTHERWISE SHOWN OR NOTED, PROVIDE (1) ANGLE 4x3/2 X 3/16 LLV FOR EACH END OF MASONRY FOR SPANS UP TO A 5'-0" SPAN. DOUBLE ANGLE LINTELS SHALL BE WELDED TOGETHER WITH A MINIMUM 2" LONG WELD, 8" ON CENTER.
- ALL MASONRY BELOW GRADE OR FLOOR LINE SHALL BE GROUTED SOLID.
- MASONRY GROUT SHALL CONFORM TO ASTM C 416, WITH FEA GRAVEL AGGREGATE, STRENGTH TO MATCH BLOCK, AND A MINIMUM STRENGTH OF 2000 PSI.

STRUCTURAL STEEL

- STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 OR ASTM A572, GRADE 50; STEEL TUBING ASTM A500, GRADE B; PIPE ASTM A80, GRADE B.
- WELDED CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH, AND BY WELDERS QUALIFIED UNDER THE AWS CODE, USING E70XX ELECTRODES.
- BOLTED CONNECTIONS SHALL BE MADE WITH ASTM A325 OR A490 BOLTS, INSTALLED IN ACCORDANCE WITH THE SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 EX 1.7.
- FABRICATOR IS TO DESIGN BEAM END CONNECTIONS FOR THE REACTIONS SHOWN ON THE DRAWINGS OR FOR ONE-HALF THE TOTAL UNIFORM LOAD SHOWN IN THE AISC MANUAL BEAM LOAD TABLES.
- THE DESIGN, CONFIGURATION AND ERECTION SAFETY OF ALL STRUCTURAL STEEL CONNECTIONS ARE THE RESPONSIBILITY OF THE STEEL FABRICATOR. REVIEW AND ACCEPTANCE OF THE STRUCTURAL STEEL SHOP DRAWINGS BY THE ENGINEER, IF PERFORMED, SHALL CONSTITUTE APPROVAL OF THE DETAILED CONNECTIONS ONLY.
- TEMPORARY ERECTION SEATS SHALL BE PROVIDED BY THE FABRICATOR WHEREVER REQUIRED, AND AS RECOMMENDED ON PAGE 3-59 OF THE AISC PUBLICATION "ENGINEERING FOR STEEL CONSTRUCTION".
- THE STEEL FRAME IS NON SELF-SUPPORTING PER THE AISC CODE OF STANDARD PRACTICE, SECTIONS 1.3.3 AND 1.3.5. ERECTION BRACING, SHORING, ETC. SHALL CONFORM TO SECTION 1.3.11 IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES, MATERIALS AND SEQUENCE.

WOOD

- WOOD DESIGN AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH BOCA CODE REQUIREMENTS, NATIONAL DESIGN SPECIFICATION, AND NATIONAL FOREST PRODUCTS STANDARDS AND SPECIFICATION.
- ALL LUMBER SHALL HAVE THE MINIMUM DESIGN STRENGTHS, UNLESS NOTED OTHERWISE:
F_b = 1000 PSI (1150 PSI REPEITIVE USE)
F_v = 150 PSI
E = 1,200,000 PSI
- PROVIDE MULTIPLE STUDS AT BEARING POINTS FOR HEADERS, MINIMUM 2-2X6 AT EXTERIOR WALLS.
- GLUED LAMINATED WOOD BEAMS ARE TO BE 22F-V1 OR AS APPROVED. FABRICATION AND ERECTION PER AITC.
- TRUSS SUPPLIER SHALL SUPPLY SHOP DRAWINGS AND CALCULATIONS SEALED BY A MICHIGAN-REGISTERED ENGINEER. SHOP DRAWINGS SHALL INCLUDE ERECTION PLANS AND DETAILS SHOWING ALL CONNECTIONS AND WOOD BEAMS AND HEADERS. LIVE LOAD ON ROOF TRUSSES SHALL BE 30 PSF EXCEPT AT DRIFT CONDITIONS, WHERE BOCA PROVISIONS SHALL APPLY. FRAMING SHALL CONFORM TO THAT SHOWN ON THE DRAWINGS. IF CHANGES ARE TO BE MADE, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING, BEFOREHAND.
- TRUSS TOP AND BOTTOM CHORDS SHALL BE BRACED AS REQUIRED BY THE DESIGN. SHOP DRAWINGS SHALL SHOW ALL NEEDED BRACING.
- DESIGN OF TRUSSES AND CONNECTIONS SHALL BE PER THE TRUSS PLATE INSTITUTE (TPI) SPECIFICATION. SUPPLIER SHALL FURNISH CALCULATIONS AND PLAN AND DETAIL DRAWINGS OF TRUSSES.
- WOOD COLUMNS ARE TO TERMINATE AT THEIR BOTTOMS ON SOLID BEARING ON STEEL, MASONRY OR CONCRETE, UNLESS SHOWN OTHERWISE.

DO NOT SCALE DRAWINGS, USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS NOTIFY THE ARCHITECT IMMEDIATELY FOR DIRECTION.

ALL POURED CONC. FTGS TO BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE AND SHALL BEAR ON UNDISTURBED VIRGIN SOIL. A MINIMUM BEARING OF 3000 P.S.F. IS ASSUMED FOR THE FOOTINGS SHOWN.

ALL POURED CONC WALLS TO BE BACKFILLED WITH A SUITABLE MATERIAL THAT IS NOT WET CLAY OR IN FROZEN CHUNKS AND BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF BUILDING IS IN PLACE.

ALL POURED CONC WALLS OF 1'-0" OR MORE TO BE REINFORCED WITH #5 BARS 32" O.C. VERTICALLY WITH ONE #4 BAR AT TOP & BOTTOM OF WALL HORIZONTALLY. ALTERNATE #5 BARS 24" O.C. WITH ONE #4 BAR TOP & BOTTOM OF WALL HORIZONTALLY.

ALL HEADERS AND FLOOR JOISTS TO BE 1/2 OR BETTER HEM FIR WITH X CROSS BRIDGING. ALL 2X12 RO BE 1/2 OR BETTER DOUG. FIR.

ALL MICRO LAM ARE BY MANUFACTURER AND JOINED TOGETHER PER MANUFACTURER SPECIFICATIONS.

ALL WINDOW NUMBERS REFER TO C AND C WINDOW.

ROOF TRUSS DESIGN BY TRUSS MANUFACTURER. BRACING PER TRUSS MANUFACTURER'S SPECS.

ONLY JOIST HANGERS- NO JOIST ANGLES

ALL STAIRWAY, STAIRWAY GUARDS, AND HANDRAILS TO COMPLY WITH ALL CURRENT CODE REQUIREMENTS

ALL MASONRY VENEER WALLS TO BE PROVIDED WITH WALL TIES AND WEEPHOLES PER CURRENT CODES

ALL HANDRAILS, GUARDRAILS, BALUSTERS, HEADROOM, RISERS AND TREADS TO MEET CURRENT CODES

ALL EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR, HAVE A NET CLEAR OPENING OF 5.7 SQ.FT. HAVE A MIN CLEAR HEIGHT OF 24" AND A MIN CLEAR OPENING WIDTH OF 20"

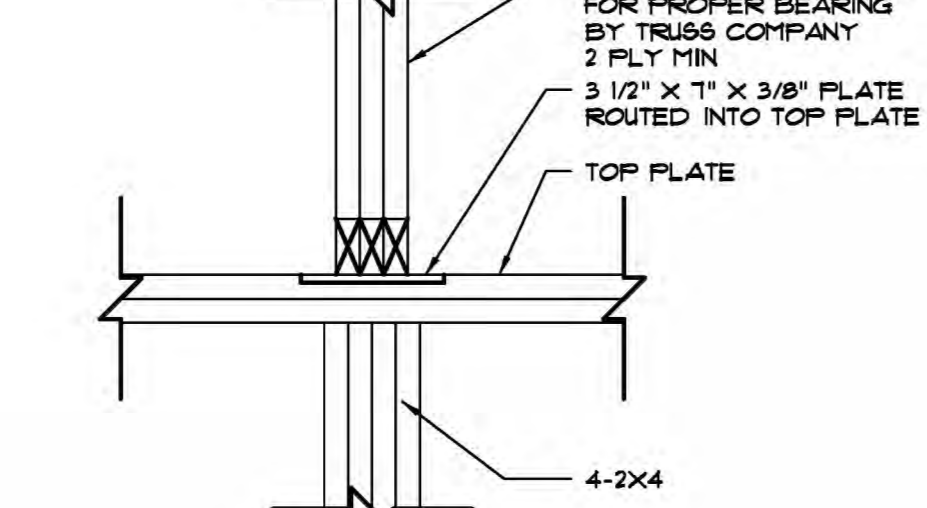
DESIGN LOAD CRITERIA

FLOOR

CARPETING/WOOD 3/4" MAX
LIVE LOAD = 40 P.S.F. (1360)
DEAD LOAD = 15 P.S.F.
TOTAL LOAD = 55 P.S.F. (1740)

CERAMIC TILE

LIVE LOAD = 40 P.S.F. (1400)
DEAD LOAD = 25 P.S.F.
TOTAL LOAD = 65 P.S.F. (1960)



SECTION GIRDER TRUSS BEARING

NOTE: EXHAUST FAN TO BE INSTALLED IN ALL BATHROOMS AND LAUNDRY ROOM. ALL FANS ARE TO BE VENTED TO EXTERIOR OF HOUSE.

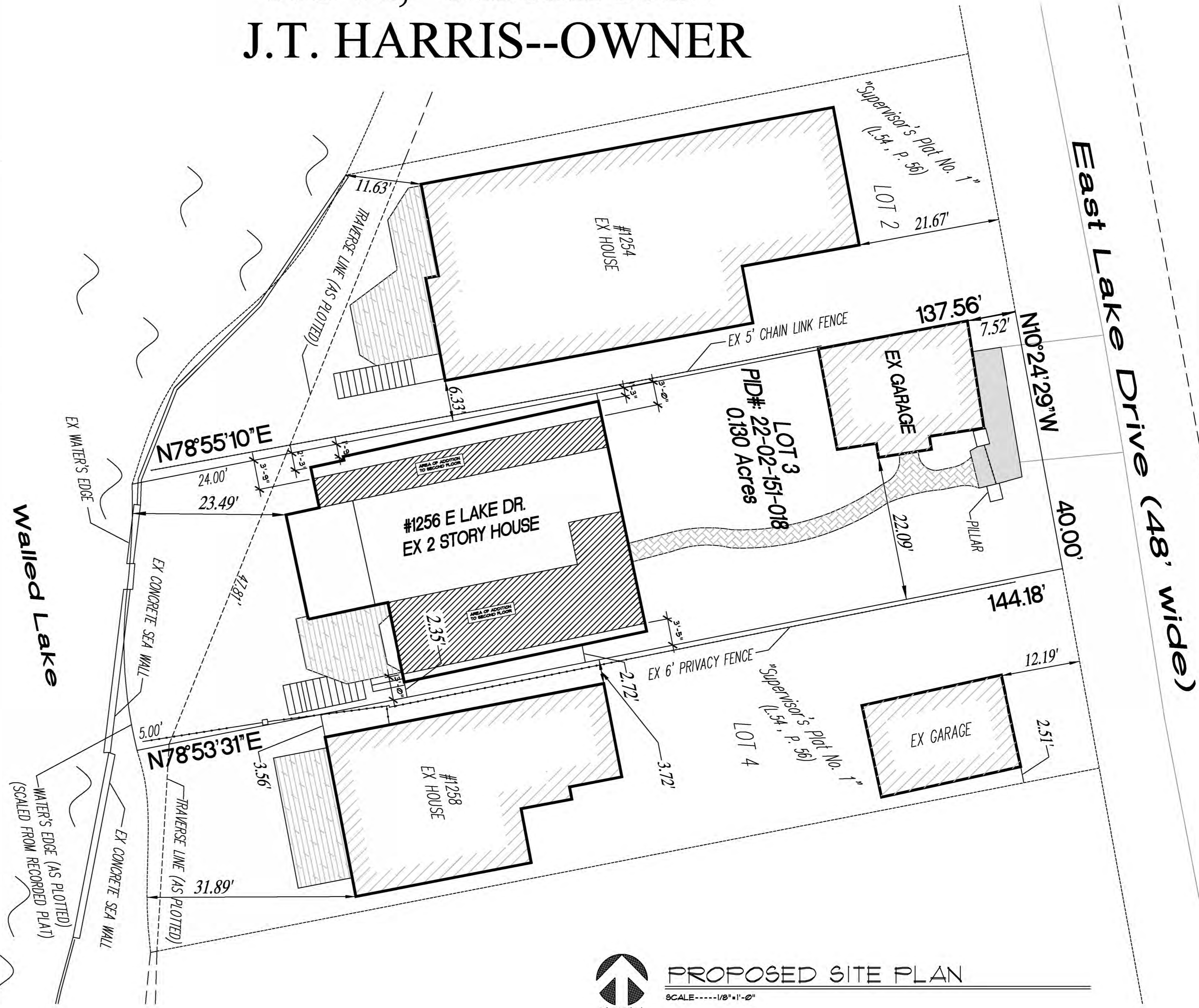
WATER RESISTANT GYPSUM BACKER BOARD IS TO BE USED AS SUBSTRAIGHT IN ALL TUB AND SHOWER SURROUNDS. ALL WATER RESISTANT GYP BOARD SHALL COMPLY WITH ASTM C6 STD'S.

NOTE: VERIFY DEPTH, SPACING LAYOUT AND ANY SPECIAL CONDITIONS WITH TRUSS MANUFACTURER.

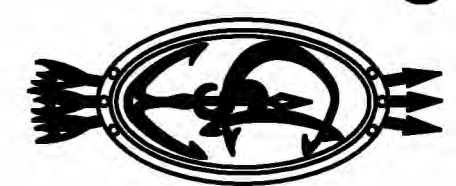
NOTE: PROVIDE SMOKE DETECTORS HARD WIRED IN ALL EXISTING SLEEPING AREAS.

PROPOSED RENOVATION FOR: HARRIS RESIDENCE

1256 E. LAKE DRIVE
NOVI, MICHIGAN
J.T. HARRIS--OWNER



PEGASUS GROUP, INC.
6091 MAYBEE
CLARKSTON, MI 48346
(248)318-2666 FX(248)623-1516



JOB # 00042715

PROJECT TITLE:
PROPOSED RENOVATION TO:
HARRIS RESIDENCE
1256 E. LAKE DRIVE
NOVI, MICHIGAN

CONSULTANTS

REV. 06-18-15

SCALE 1/4"=1'-0"

WKG DWGS

CHECK SET




FINAL

DATE 06-18-15

SHEET NUMBER

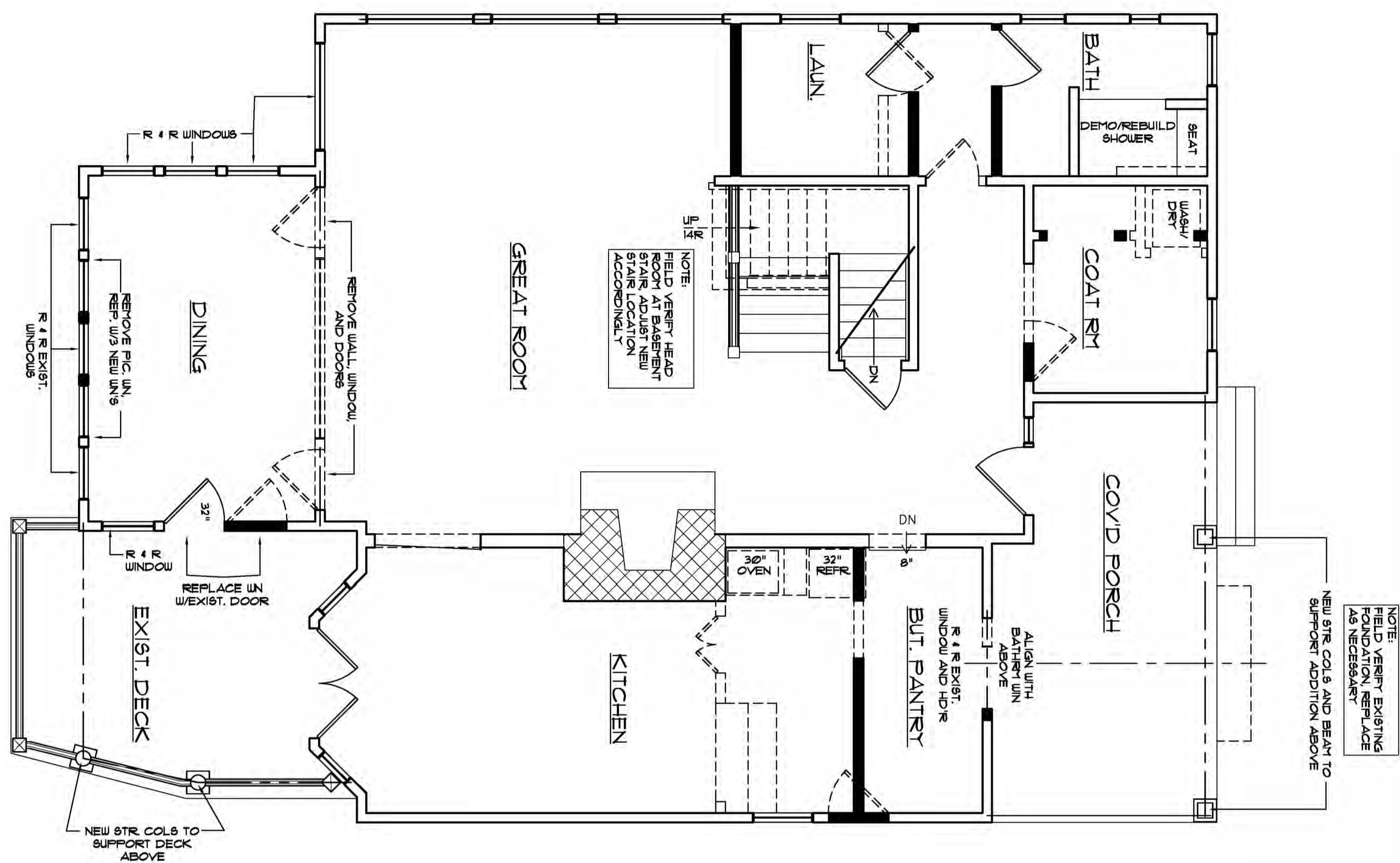
COVER

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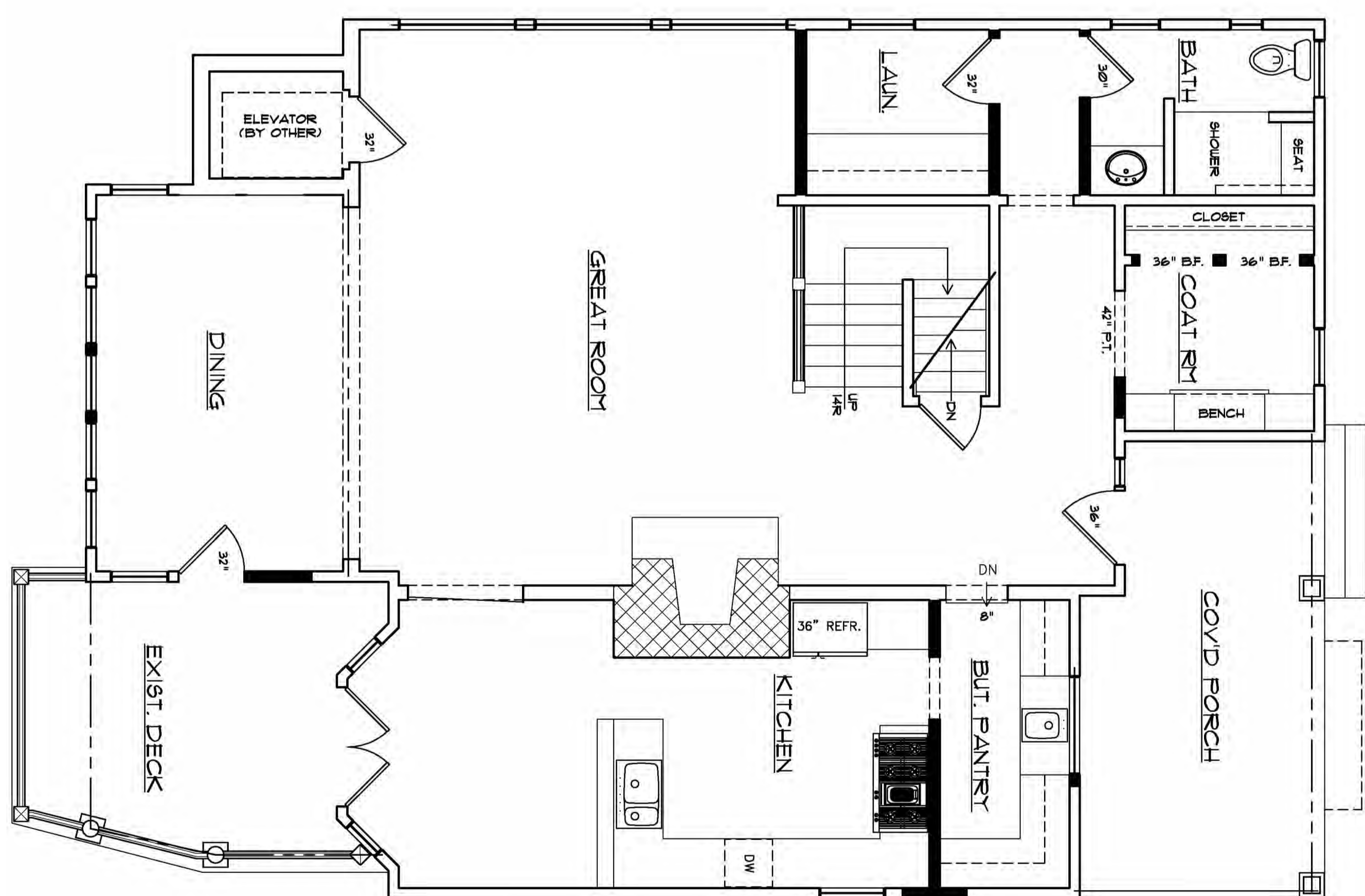
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|  | EXISTING WALLS TO REMAIN |
|  | WALLS TO BE REMOVED |
|  | NEW WALLS |



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



PEGASUS
GROUP, INC.

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CLARKSTON, MI 48346
(248)318-2666 FX(248)623-1516

JOB # 00042715

PROJECT TITLE:
*PROPOSED RENOVATION TO:
HARRIS RESIDENCE
1256 E. LAKE DRIVE
NOVI, MICHIGAN*

CONSULTANTS

REV. 00-00-15

SCALE 1/4"=1'-0"

WKG DWGS

CHECK SFT

FINAL

DATE 04-27-15

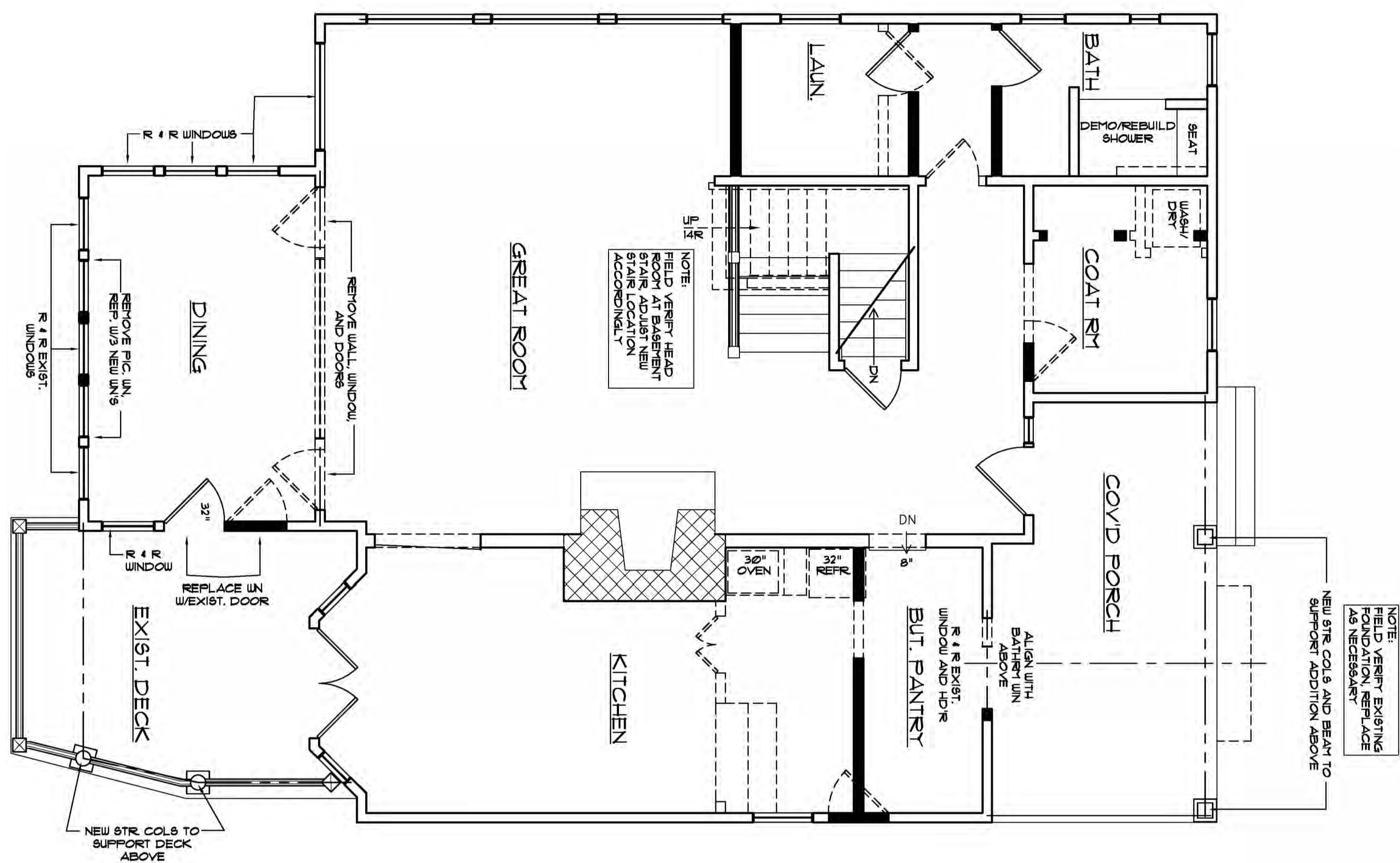
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A1 OF 6

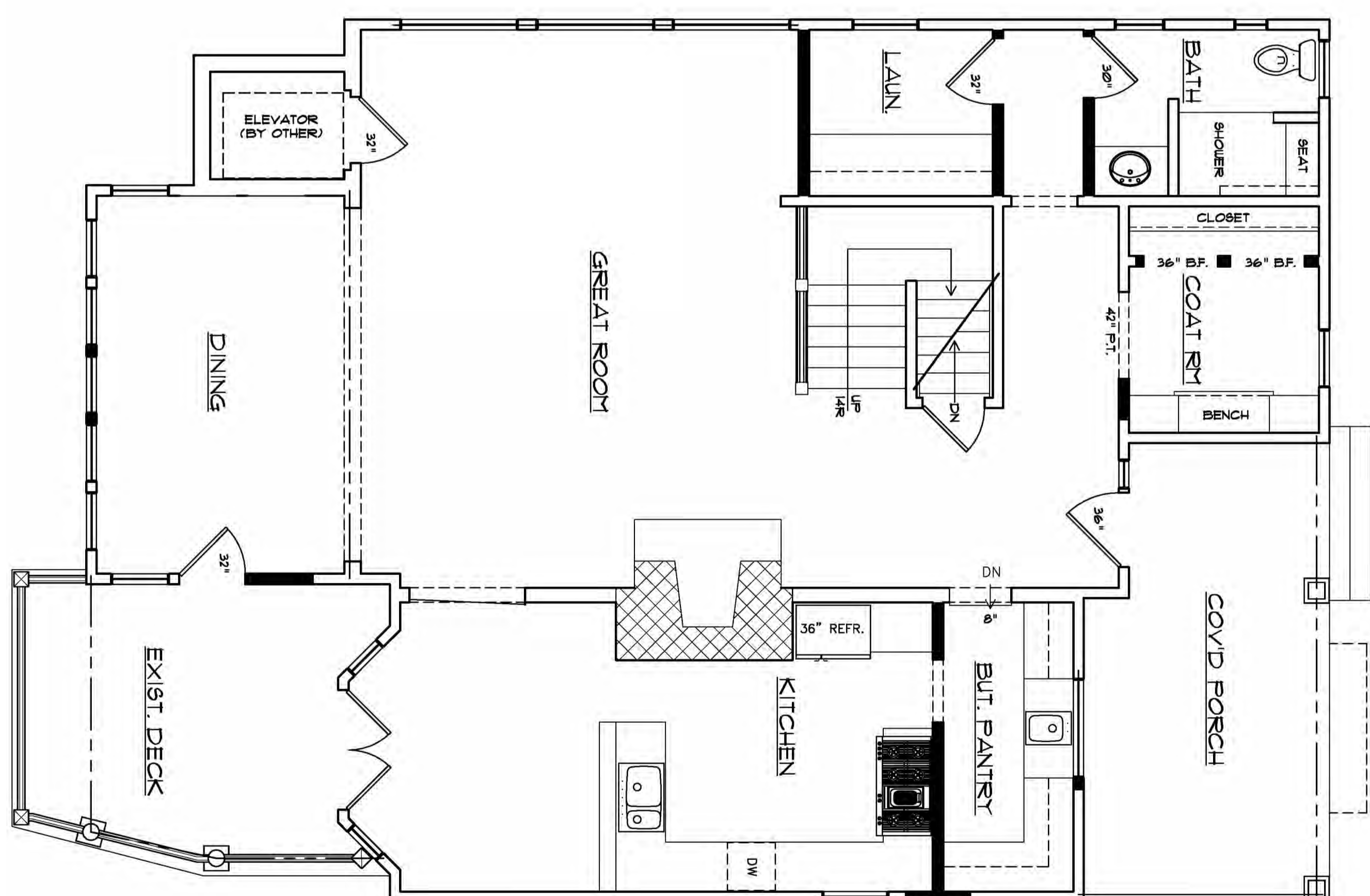
| KEY | |
|-----|--------------------------|
| | EXISTING WALLS TO REMAIN |
| | WALLS TO BE REMOVED |
| | NEW WALLS |



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



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CLARKSTON, MI 48346
(248)318-2666 FX(248)623-1516

JOB # 00042715

PROJECT TITLE:
*PROPOSED RENOVATION TO:
HARRIS RESIDENCE
1256 E. LAKE DRIVE
NOVI, MICHIGAN*

CONSULTANTS

REV. 00-00-15

SCALE 1/4"=1'-0"

WKG DWGS

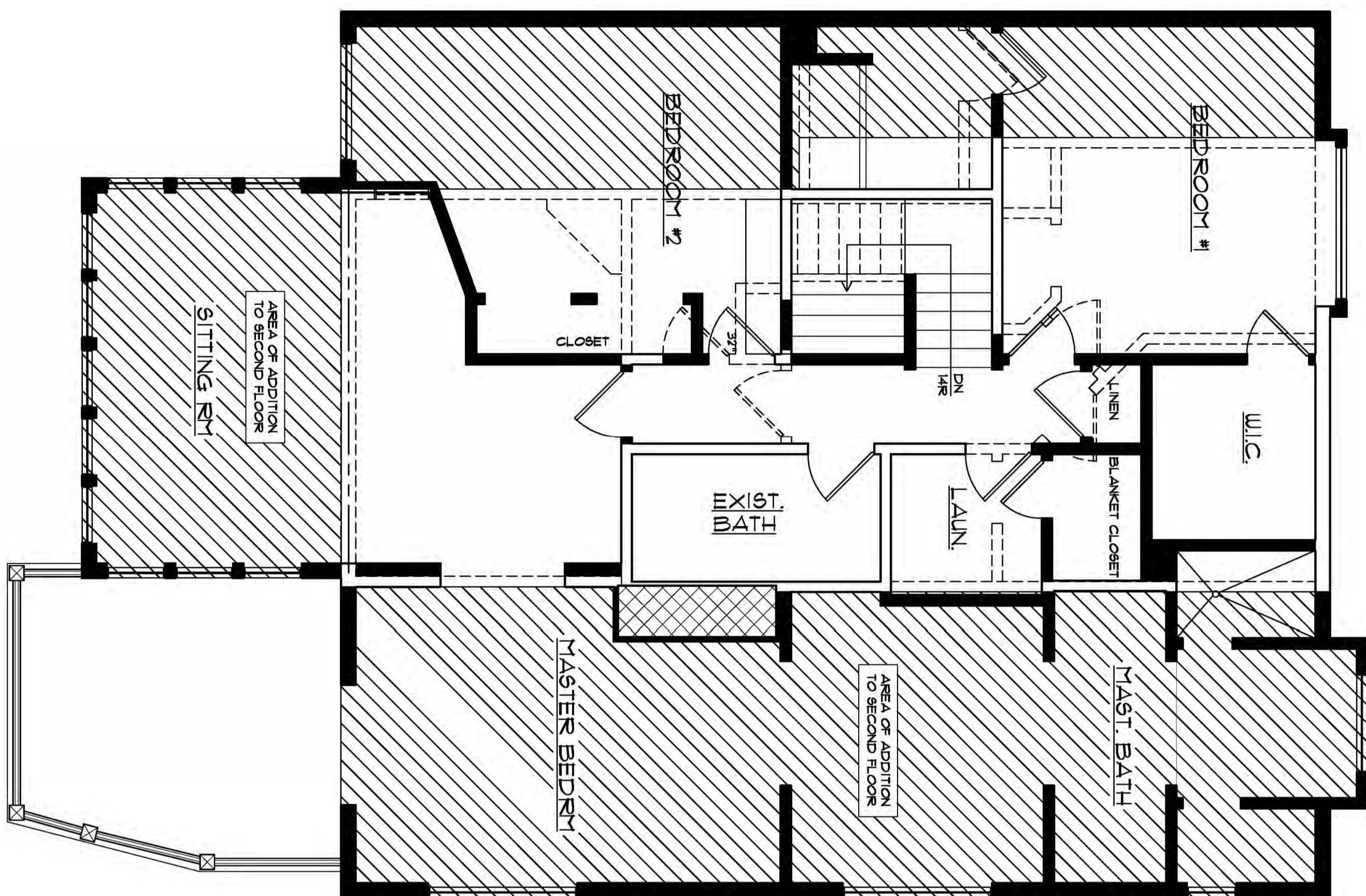
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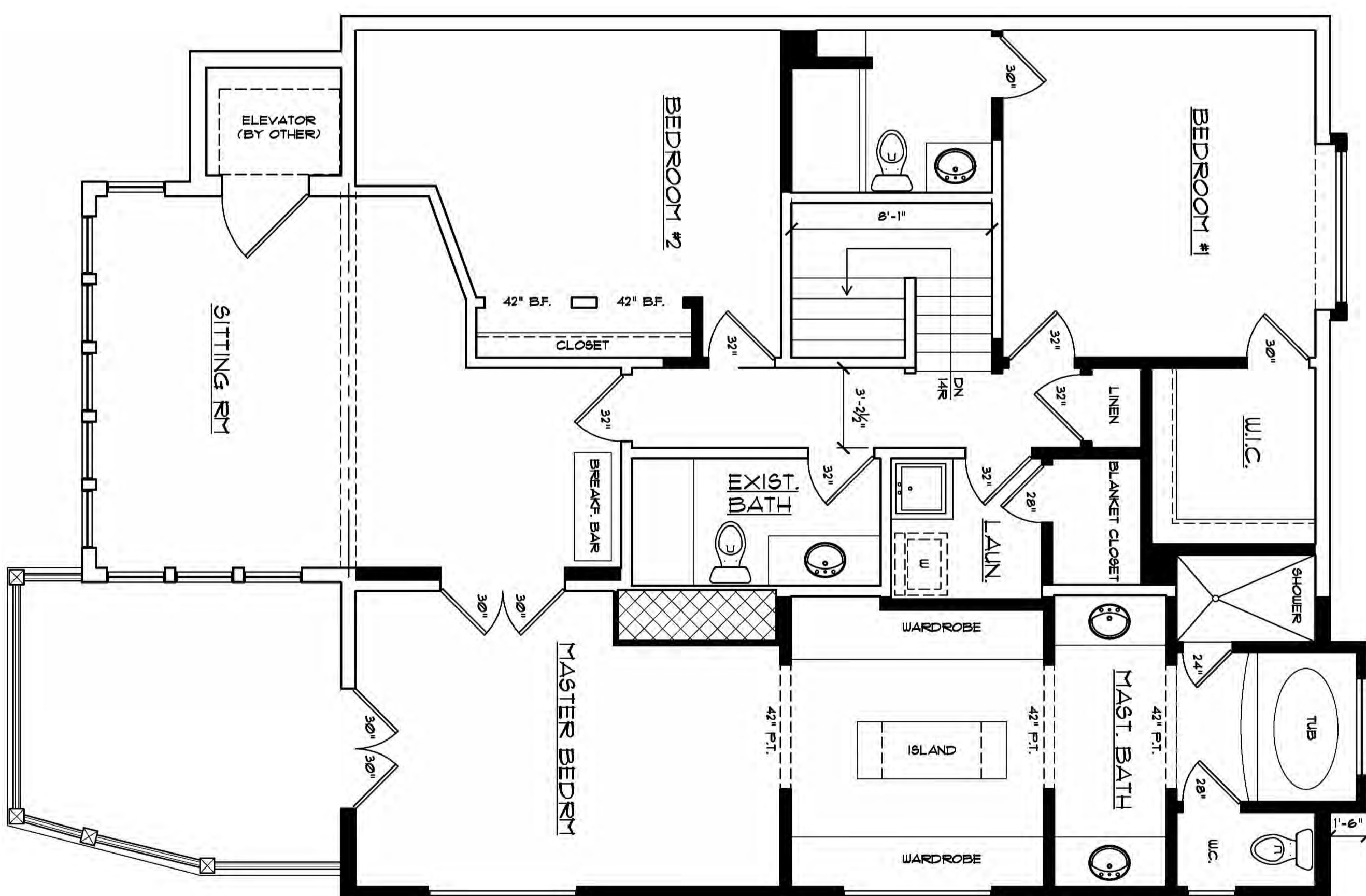
DATE 04-27-15

SHEET NUMBER

A1 OF 7



SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
JAS SCOTT



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JOB # 00042715

PROJECT TITLE:
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NOVI, MICHIGAN*

CONSULTANTS

REV. 00-00-15

SCALE 1/4" = 1'-0"

WKG DWGS

CHECK SET

FINAL

DATE 04-27-15

SHEET NUMBER

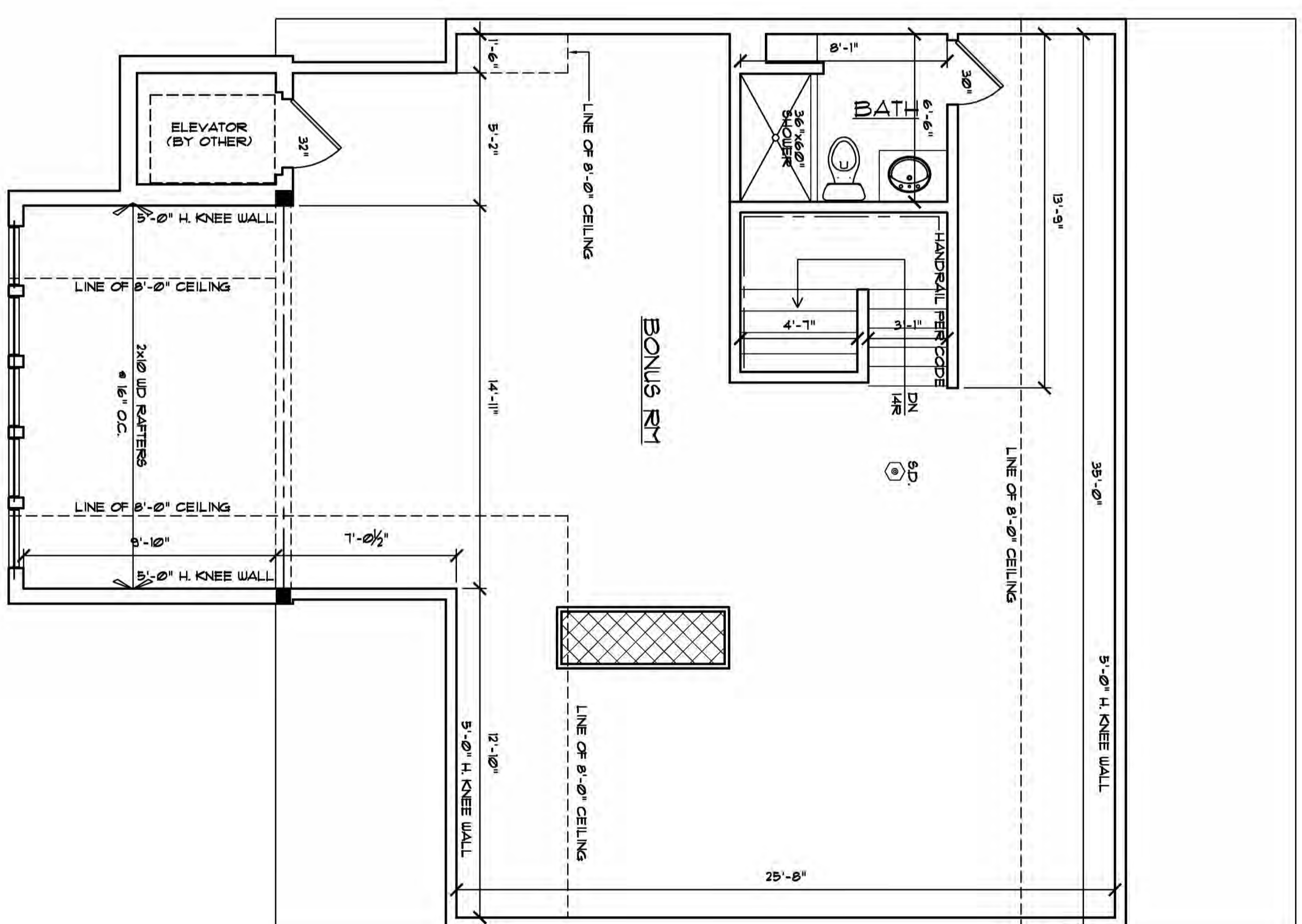
A2 OF 7

AREAS THAT REQ. TEMPERED GLASS

- FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS
- SHOWER AND BATH TUB DOORS AND ENCLOSURES (IF APPLICABLE)
- PANELS WITH A GLAZED AREA IN EXCESS OF 9 SQ. FT. WITH LOWER EDGE LIES THAN 20 INCHES ABOVE THE FINISHED FLOOR LEVEL
- ALL OTHER AREAS AS CODE REQUIRES

EGRESS WINDOW REQUIREMENTS

- MIN. NET CLEAR OPENING 5.7 SQ. FT. (SECOND FLOOR BEDROOM)
- MIN. NET CLEAR OPENING 5.0 SQ. FT. (FIRST FLOOR BEDROOM OPENING)
- MIN. CLEAR HEIGHT 24"



PROPOSED BONUS ROOM PLAN
 SCALE: 1/4" = 1'-0"
 1/8" SQ. FT.



NOTE:
 FIRE SMOKE DETECTORS
 HAND WURED UP BATTI BUI N
 ALL EXISTING & LEEFING
 AREAS.



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 GROUP, INC.
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 CLARKSTON, MI 48346
 (248)318-2666 FX(248)623-1516

JOB # 00042715

PROJECT TITLE:
**PROPOSED RENOVATION TO:
 HARRIS RESIDENCE
 1256 E. LAKE DRIVE
 NOVI, MICHIGAN**

CONSULTANTS

REV. 00-00-15

SCALE 1/4" = 1'-0"

WKG DWGS

CHECK SPT

FINAL

DATE 04-27-15

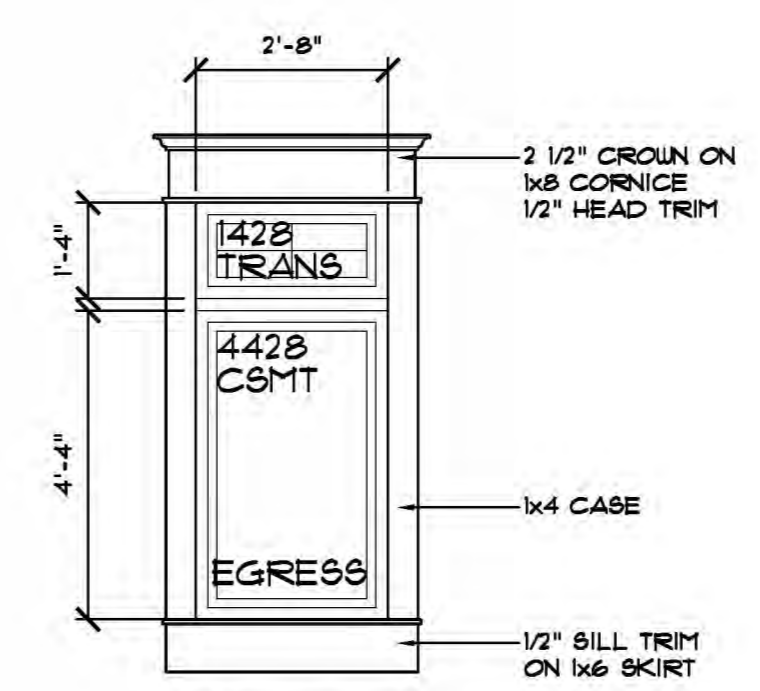
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STREET ELEVATION
SCALE-----1/4"=1'-0"

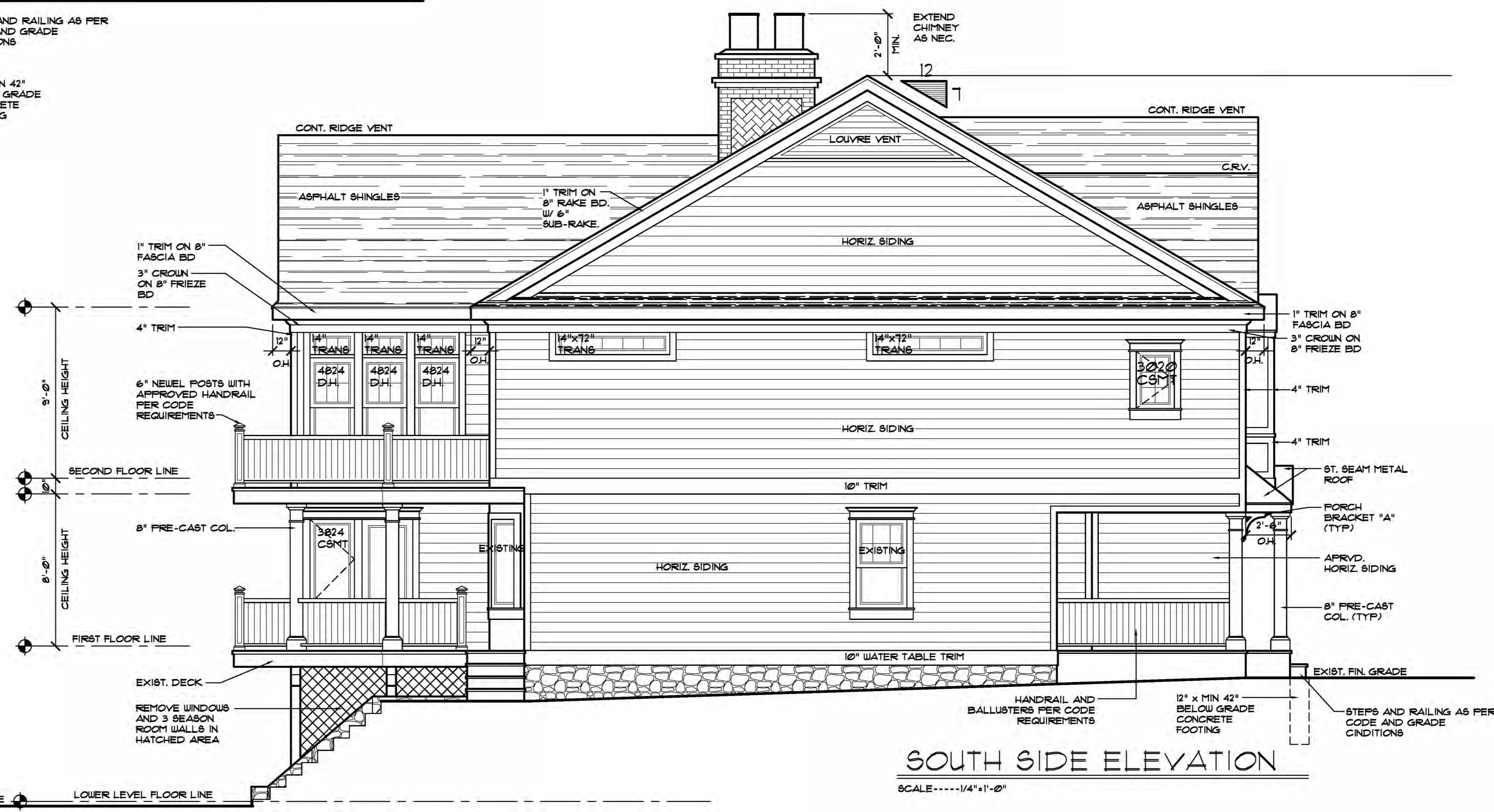


WINDOW INDEX
(N.T.S.)

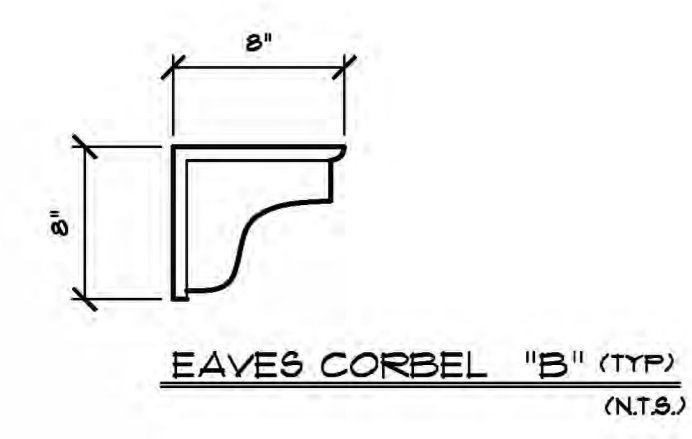
NOTE:
FIELD VERIFY ALL UNIT SIZES
AND R.O.'S OF WINDOWS AND
DOORS TO BE REPLACED
OR RELOCATED.

ELEVATION NOTES

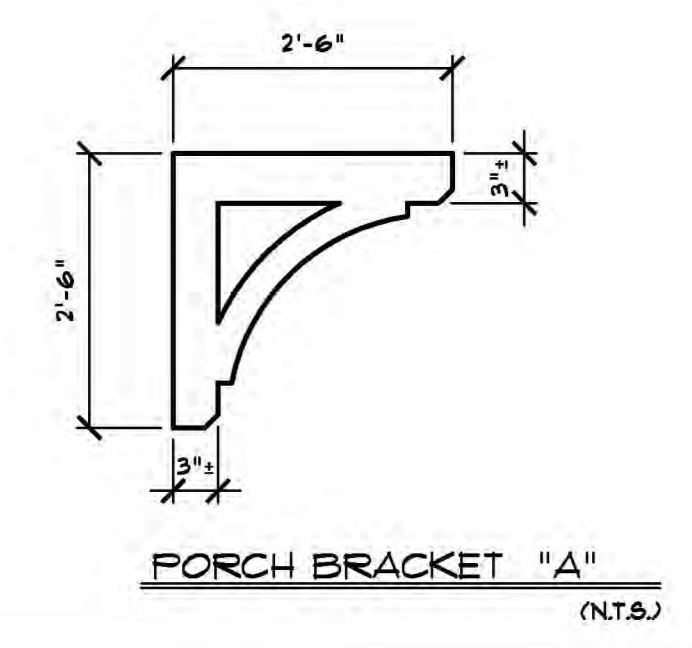
1. PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
3. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL EAVES
4. ROOF VENT LOCATIONS BASED ON 60 SQ IN NET FREE SPACE PER ROOF VENT.



SOUTH SIDE ELEVATION
SCALE-----1/4"=1'-0"

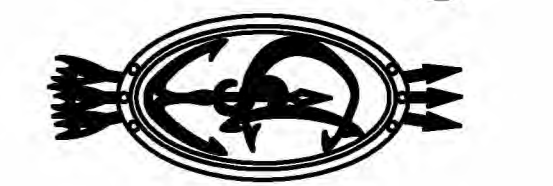


EAVES CORBEL "B" (TYP.)
(N.T.S.)



PORCH BRACKET "A"
(N.T.S.)

PEGASUS GROUP, INC.
 6091 MAYBEE
 CLARKSTON, MI 48346
 (248)318-2666 FX(248)623-1516



JOB # 00042715

PROJECT TITLE:
**PROPOSED RENOVATION TO:
 HARRIS RESIDENCE
 1256 E. LAKE DRIVE
 NOVI, MICHIGAN**

CONSULTANTS

REV. 00-00-15

SCALE 1/4"=1'-0"

WKG DWGS

CHECK SET

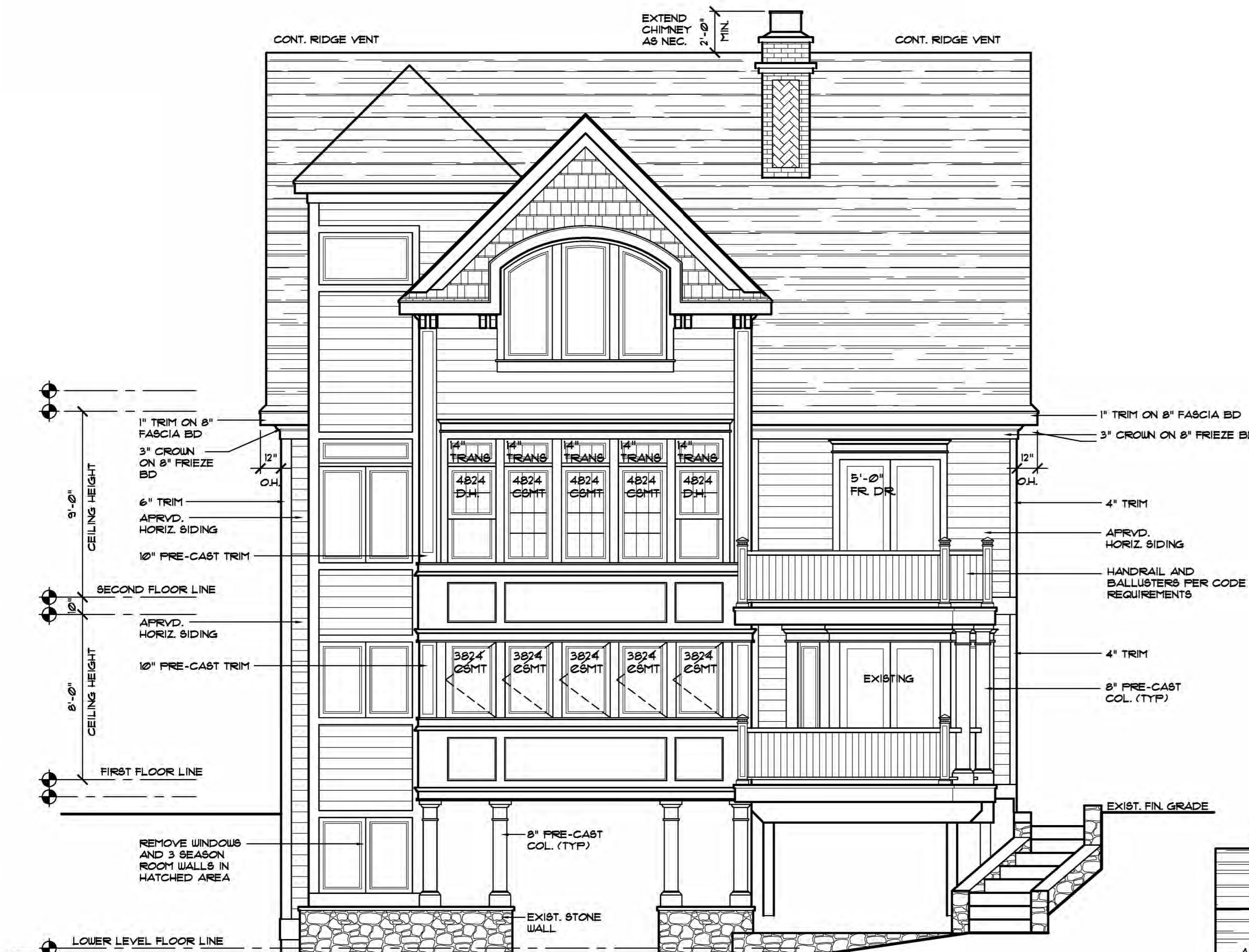
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DATE 04-27-15

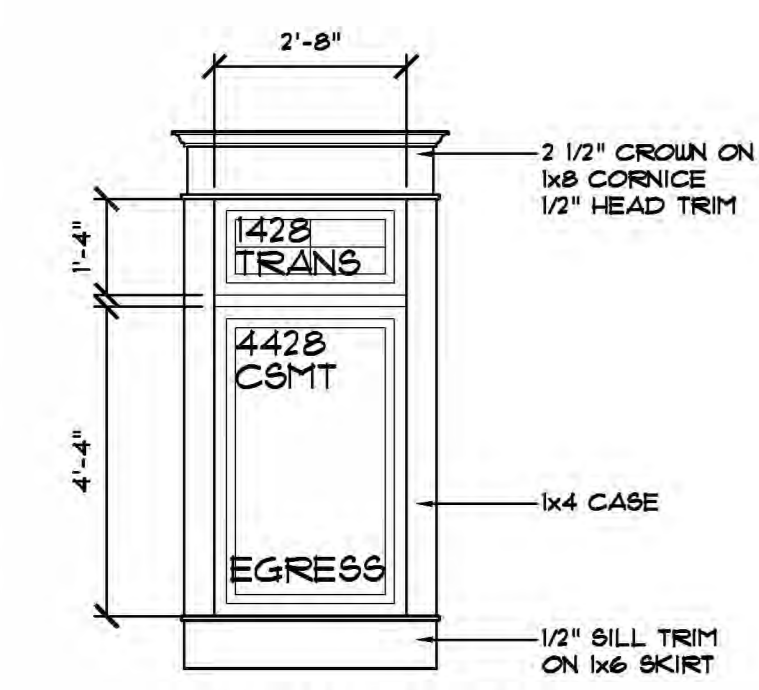
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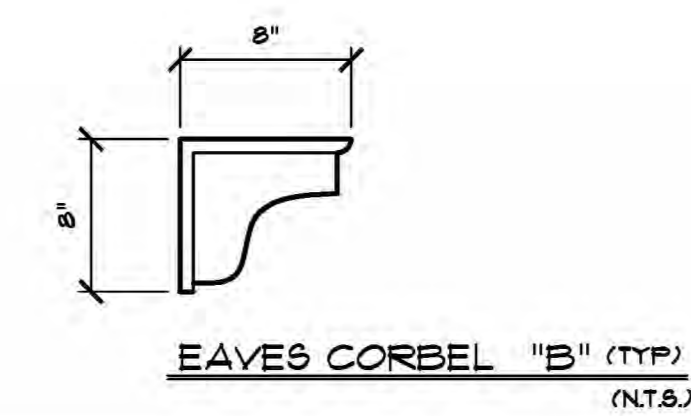


LAKE ELEVATION
SCALE: 1/4" = 1'-0"

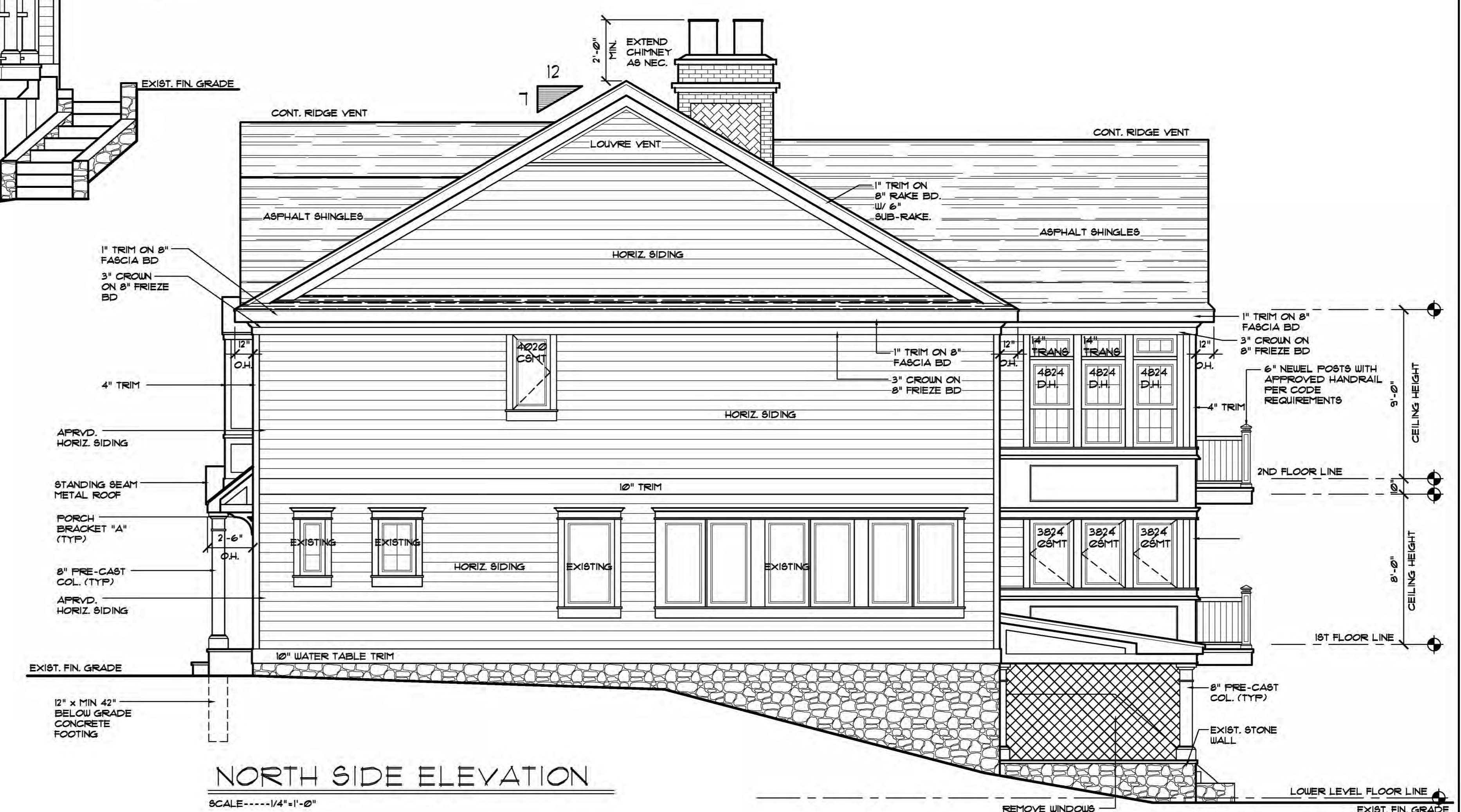


WINDOW INDEX
(N.T.S.)

NOTE:
FIELD VERIFY ALL UNIT SIZES
AND R.O.'S OF WINDOWS AND
DOORS TO BE REPLACED
OR RELOCATED.



EAVES CORBEL "B" (TYP)
(N.T.S.)

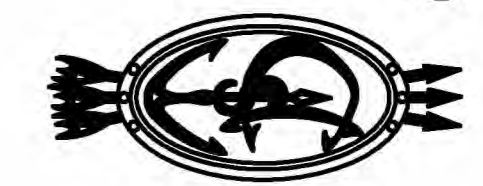


NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. PROVIDE DRIF CAPS AT ALL WINDOWS AND DOORS
2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
3. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL EAVES
4. ROOF VENT LOCATIONS BASED ON 60 SQ IN NET FREE SPACE PER ROOF VENT.

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CLARKSTON, MI 48346
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JOB # 00042715

PROJECT TITLE:
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HARRIS RESIDENCE
1256 E. LAKE DRIVE
NOVI, MICHIGAN**

CONSULTANTS

REV. 00-00-15

SCALE 1/4" = 1'-0"

WKG DWGS

CHECK SET

FINAL

DATE 04-27-15

SHEET NUMBER

A6 OF 7