



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **ZONING BOARD APPEALS DATE:** November 14, 2023

REGARDING: Parcel # 50-22-22-276-017(PZ23-0043)

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Novi Pet Resort

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: This property is zoned Light Industrial (I-1)

Location: south of Grand River Avenue, west of Novi Road

Parcel #: 50-22-22-276-017

Request

The applicant is requesting variances from the City of Novi Zoning Ordinance Section 3.1.18.D for a reduction of exterior side yard setback to 10 ft. (ft. required, variance of 30 ft.); Section 4.46.4.B & 4.46.4.D to allow outdoor facilities to be located in the exterior side yard within the required setback; Section 4.19.2.F.i to allow refuse bin to be located in the exterior side yard; and Section 5.4 to waive the requirement for designated loading space. This property is zoned Light Industrial (I-1).

II. STAFF COMMENTS:

The proposed development parcel was created in part by the road reconfiguration for the construction of the Novi Road bridge over the rail tracks. It is unique in that it currently has street frontage on all (4) sides.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we grant the variance in Case No. PZ23-0043, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because _____.

(c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____.

(e) The relief if consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:
1. _____
2. _____
3. _____
4. _____

2. I move that we deny the variance in Case No. PZ23-0043, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

- (a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

- (b) The circumstances and features of the property relating to the variance request are self-created because _____.

- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

- (d) The variance would result in interference with the adjacent and surrounding properties by _____.

- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi



Community Development Department

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RECEIVED

SEP 01 2023

CITY OF NOVI
COMMUNITY DEVELOPMENT

ZONING BOARD OF APPEALS
APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)
PROJECT NAME / SUBDIVISION
Novi Pet Resort - Proposed Pet Boarding Facility
ADDRESS
No address listed - Corner of Novi Road & Gen Mar
LOT/SUITE/SPACE #
SIDWELL #
50-22-22 -276 -017
May be obtained from the Assessing Department (248) 347-0485
CROSS ROADS OF PROPERTY
Gen Mar & Novi Road
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION?
[] YES [x] NO
REQUEST IS FOR:
[] RESIDENTIAL [x] COMMERCIAL [] VACANT PROPERTY [] SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED?
[] YES [x] NO
II. APPLICANT INFORMATION
A. APPLICANT
NAME: John A. Vitale, AIA
ORGANIZATION/COMPANY: Stucky Vitale Architects
ADDRESS: 27172 Woodward Ave.
CITY: Royal Oak
STATE: MI
ZIP CODE: 48067
B. PROPERTY OWNER
[] CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER
Identify the person or organization that owns the subject property:
NAME: Kevin Baird
ORGANIZATION/COMPANY: Novi Gen Mar LLC c/o Registered Agent Kevin Baird
ADDRESS: 720 Kimberly Drive
CITY: Troy
STATE: MI
ZIP CODE: 48098
III. ZONING INFORMATION
A. ZONING DISTRICT
[x] I-1 [] I-2 [] RC [] TC [] TC-1 [] OTHER
B. VARIANCE REQUESTED
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:
1. Section 3.1.18.D & 3.6.2.C Variance requested MINIMUM BUILDING SETBACK / LANDSCAPE BUFFER & MODIFICATION OF SETBACKS
2. Section 4.46.4 Variance requested OUTDOOR FACILITIES LOCATED WITHIN SIDE STREET YARD & ENCHROACHMENT INTO BUILDING SETBACKS
3. Section 4.19.2.F Variance requested DUMPSTER LOCATED IN SIDE STREET YARD (NO REAR YARD AVAILABLE)
4. Section 5.4.1 Variance requested DESIGNATED LOADING ZONE NOT PROVIDED (NOT NECESSARY FOR USE)
IV. FEES AND DRAWINGS
A. FEES
[x] Multiple/Commercial/Industrial \$300 [] (With Violation) \$400 [] Signs \$300 [] (With Violation) \$400
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF
• Dimensioned Drawings and Plans
• Site/Plot Plan
• Existing or proposed buildings or addition on the property
• Number & location of all on-site parking, if applicable
• Existing & proposed distance to adjacent property lines
• Location of existing & proposed signs, if applicable
• Floor plans & elevations
• Any other information relevant to the Variance application

Application Fee: 300.00
Meeting Date: 10-10-23
ZBA Case #: PZ 23-0043



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five (5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten (10) days before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be an actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 7.10 – Miscellaneous

No order of the ZBA permitting the erection of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the ZBA permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty (180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one (1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

John W. [Signature]
Applicant Signature

8-31-23
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

REFER TO INCLUDED PURCHASE AGREEMENT

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Describe below:

Property has (4) four front yards due to 4 existing roads and (2) Oakland County Easements. One runs North and South and the other runs East and West.

OR

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure. **Describe below:**

The East property line fronts Novi Rd where a steep grade change impacts the property making a portion of this side not feasible to build on.

OR

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties. **Describe below:**

As this property has roads on 4 sides, there is no immediate impact to adjacent properties.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

As noted, property has (4) front yards which makes the need for dimensional variances the only option to be able to develop the property.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Requiring conformance with (4) front setbacks, extreme grade along Novi Rd and county easements will make the property unbuildable.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

By allowance of establishing a one front yard for the property, this allows the other 3 sides to conform as much as possible to the remainder of the ordinances for set backs. Refer to the attached letter description for the actual variances being requested.

Standard #5. Adverse Impact on Surrounding Area.

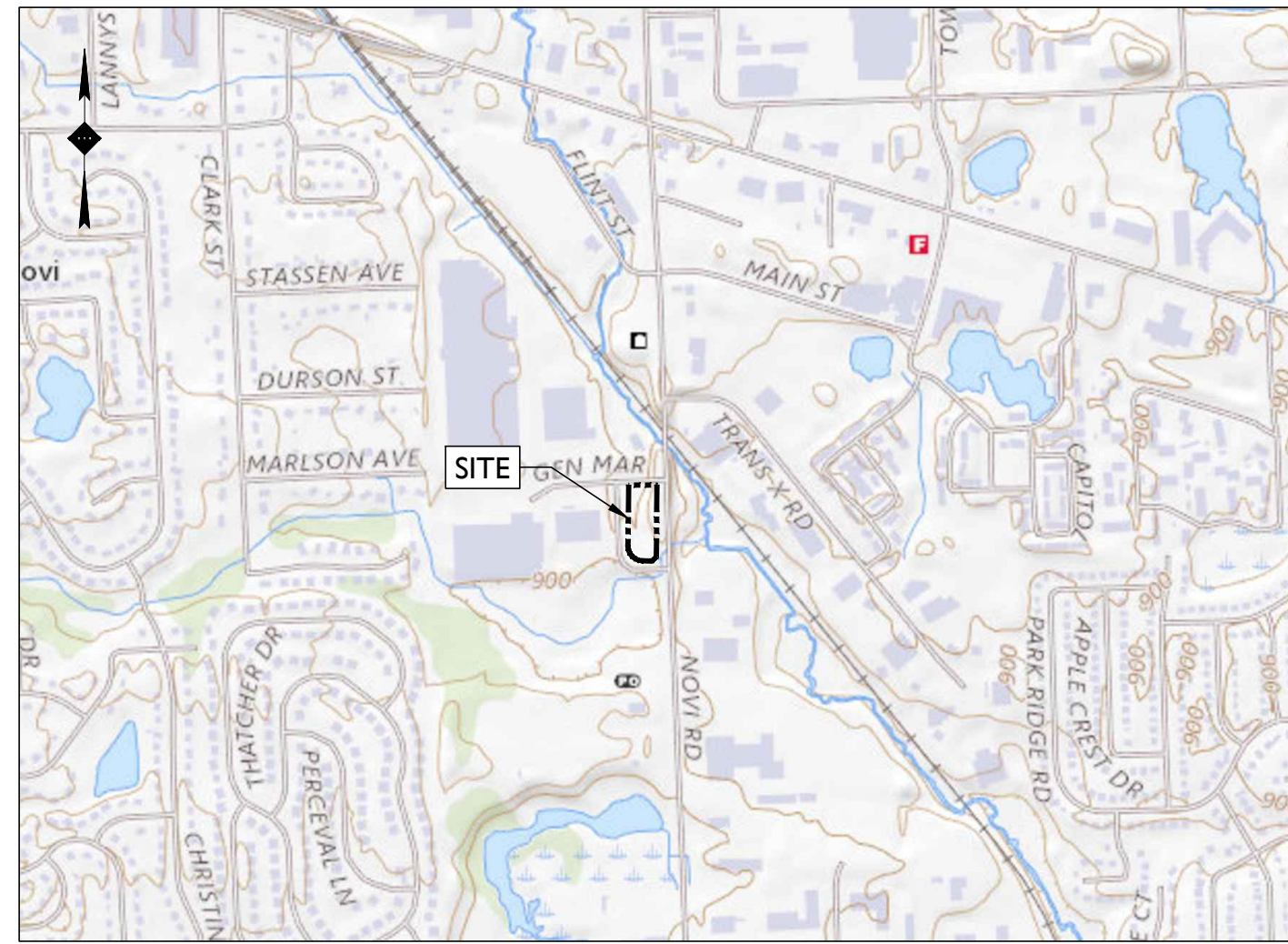
Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

As this property has frontage roads on all sides, there is no adverse impact to the adjacent properties. The proposed use and will allow an unused parcel to be developed and landscaped enhancing the entry off of Novi road/Gen Mar to the entire industrial development in lieu of a vacant minimally kept property.

SITE DEVELOPMENT PLANS FOR PET RESORT NOVI PROPOSED PET BOARDING FACILITY

PID: 22-22-276-017

NORTHWEST CORNER OF NOVI ROAD AND GEN MAR
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



SOURCE: USGS TOPOGRAPHICAL MAPS, DATE RETRIEVED 05/18/2023

LOCATION MAP

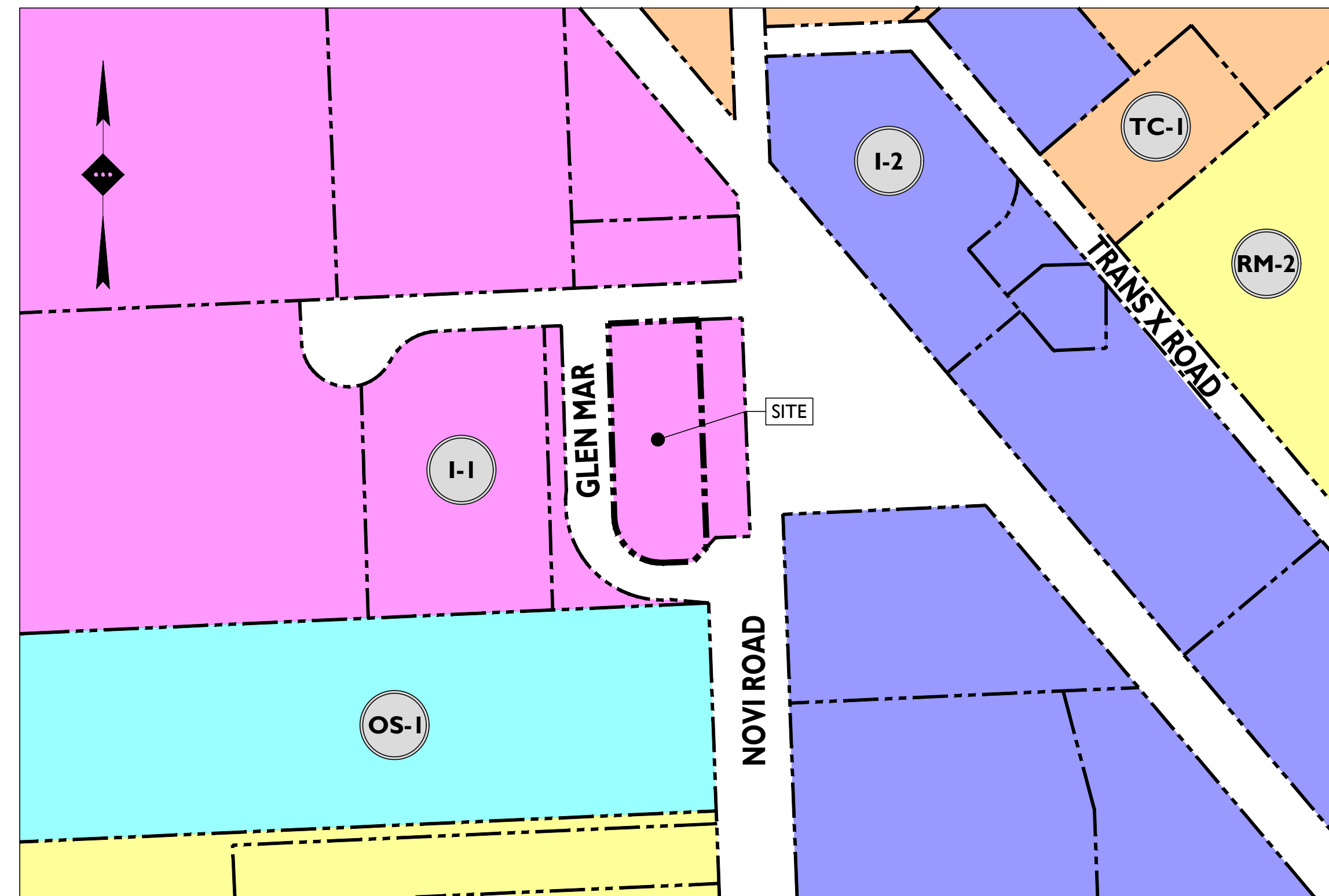
SCALE: 1" = 1000'±



SOURCE: NEARMAPS ONLINE MAPPING SYSTEM, DATE RETRIEVED 05/18/2023

AERIAL MAP

SCALE: 1" = 200'±



SOURCE: CITY OF NOVI LAND RECORDS AND PARCELS MAP, CITY OF NOVI ZONING MAP, DATE RETRIEVED 05/18/2023

ZONING MAP

SCALE: 1" = 200'±

LEGAL DESCRIPTION

PARCEL ID# 22-22-276-017
A PARCEL OF LAND BEING PART OF THE NORTHEAST 1/4 OF SECTION 22, OF TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 22; THENCE NORTH 00 DEGREES 23 MINUTES 56 SECONDS EAST 523.79 FEET ALONG THE EAST LINE OF SAID SECTION 22, SAID LINE ALSO BEING CENTERLINE OF NOVI ROAD (RIGHT OF WAY = 80 FEET); THENCE SOUTH 89 DEGREES 56 MINUTES 56 SECONDS WEST 80.00 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SAID NOVI ROAD AND THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 23 MINUTES 56 SECONDS WEST 409.99 FEET ALONG THE WESTERLY RIGHT OF WAY TO A POINT ON THE RIGHT OF WAY LINE GEN MAR DRIVE (VARIABLE WIDTH); THENCE ALONG SAID RIGHT OF WAY LINE THE FOLLOWING FIVE (5) CALLS: (1) SOUTH 45 DEGREES 23 MINUTES 18 SECONDS WEST 35.36 FEET, (2) NORTH 89 DEGREES 37 MINUTES 21 SECONDS WEST 53.99 FEET, (3) 134.08 FEET ALONG THE ARC OF THE CURVE TO THE RIGHT, HAVING A RADIUS 85.00 FEET, CENTRAL ANGLE OF 90 DEGREES 22 MINUTES 43 SECONDS, A CHORD BEARING NORTH 44 DEGREES 25 MINUTES 59 SECONDS WEST 120.60 FEET, (4) NORTH 00 DEGREES 45 MINUTES 22 SECONDS EAST 348.22 FEET, (5) NORTH 89 DEGREES 56 MINUTES 56 SECONDS EAST 161.85 FEET TO THE POINT OF BEGINNING, CONTAINING 1.58 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF USE OR RECORD.

PLANS PREPARED BY:



Detroit, MI · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Rutherford, NJ
www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115



Know what's below
Call before you dig.

ALL WORK SHALL CONFORM TO THE
CURRENT CITY OF NOVI STANDARDS
& SPECIFICATIONS

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY & TOPOGRAPHICAL SURVEY PREPARED BY NOWRY & HALE LAND SURVEYING LLC, DATED 03/15/2023
 - ARCHITECTURAL PLANS PREPARED BY STUCKY VITALE ARCHITECTS, DATED 05/05/2023
 - AERIAL MAP PROVIDED BY NEARMAPS ONLINE MAPPING SYSTEM, DATE RETRIEVED 05/18/2023
 - LOCATION MAP PROVIDED BY USGS TOPOGRAPHICAL MAPS, DATE RETRIEVED 05/18/2023
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
SITE PLAN	C-2
FIRE TRUCK CIRCULATION	C-3
GRADING PLAN	C-4
STORMWATER MANAGEMENT PLAN	C-5
UTILITY PLAN	C-6
LANDSCAPING PLAN	C-7
LANDSCAPING AREA AND TREE LAYOUT PLAN	C-8
LANDSCAPING DETAILS	C-9
LIGHTING PLAN	C-10
SOIL EROSION AND SEDIMENTATION CONTROL PLAN	C-11
CONSTRUCTION DETAILS	C-12, 13, & 14

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
BOUNDARY & TOPOGRAPHIC SURVEY	1 OF 1

APPLICANT

STUCKY VITALE ARCHITECTS
27127 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
248-546-6700
MBLANEK@STUCKYVITALE.COM

NOT APPROVED FOR CONSTRUCTION

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engineering & design

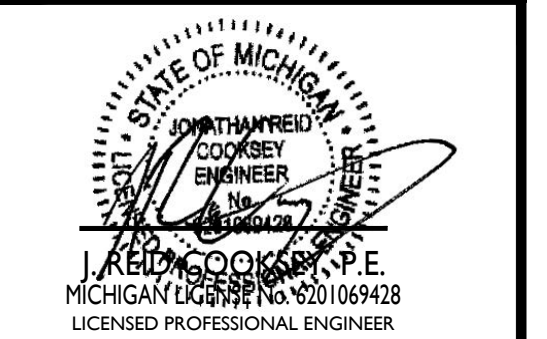
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SITE DEVELOPMENT PLANS

PET RESORT NOVI
PROPOSED PET BOARDING FACILITY

PID: 22-22-276-017
NOVI ROAD AND GEN MAR
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN



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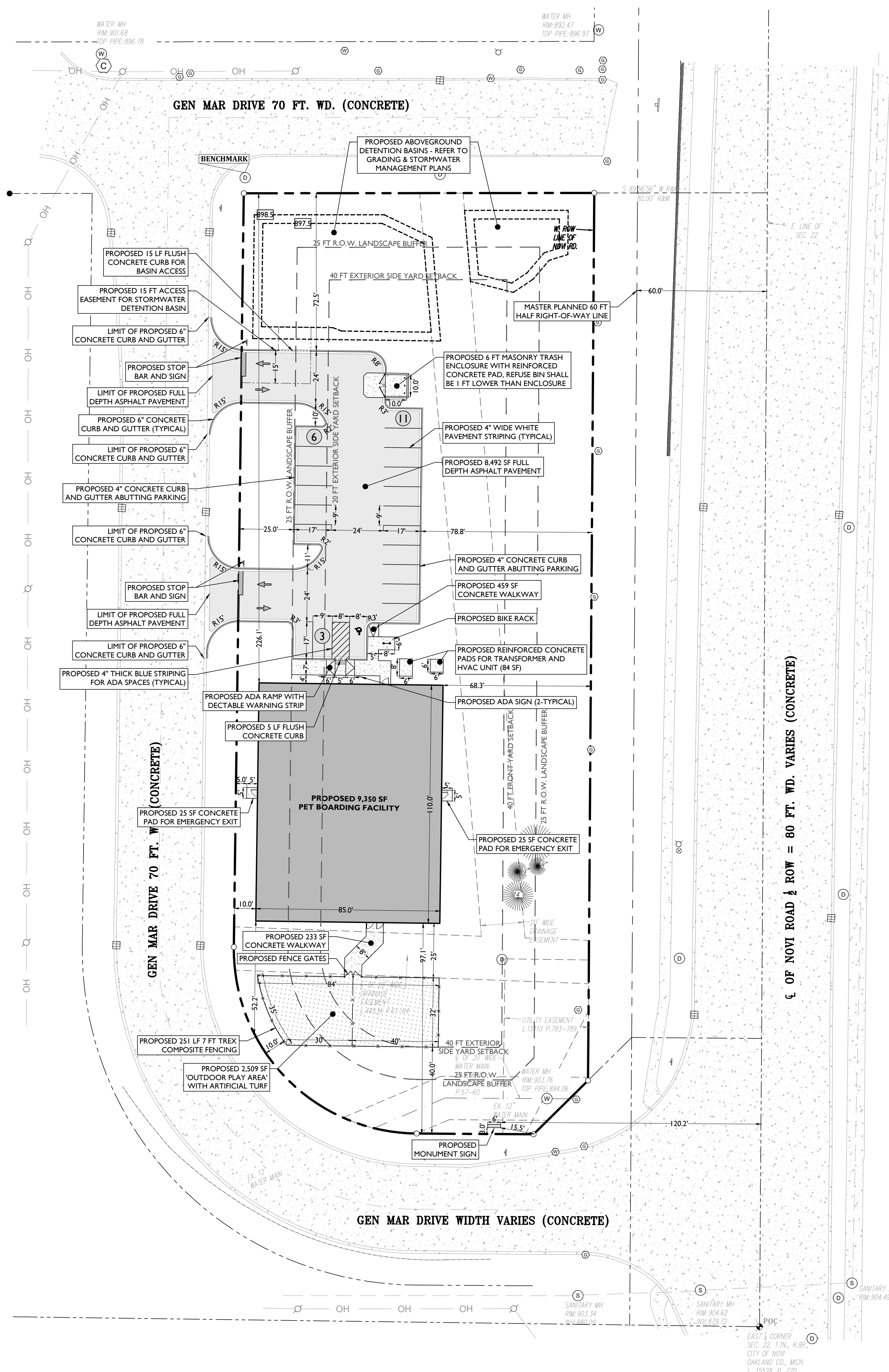
SCALE: AS SHOWN PROJECT ID: DET-230040

TITLE:

COVER SHEET

DRAWING:

C-1



LAND USE AND ZONING		
PID: 22-22-276-017		
LIGHT INDUSTRIAL DISTRICT (I-1)		
PROPOSED USE	PET BOARDING FACILITY	PERMITTED USE
	OUTDOOR FACILITIES (PLAY AREA)	PERMITTED ACCESSORY USE
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	69,004 SF (1.58 AC)
MAXIMUM BUILDING HEIGHT	40 FT	< 40 FT
MAXIMUM LOT COVERAGE	N/A	13.5% (9,350 SF)
MINIMUM OPEN SPACE AREA	25%	59.9% (41,301 SF)
MINIMUM FRONT YARD SETBACK	40 FT	68.3 FT (M)
MINIMUM SIDE YARD SETBACK	20 FT	N/A
MINIMUM SIDE STREET YARD SETBACK (SOUTH)	40 FT	97.1 FT
MINIMUM SIDE STREET YARD SETBACK (NORTH)	40 FT	226.1 FT (M)
MINIMUM SIDE STREET YARD SETBACK (WEST)	40 FT	10.0 FT (M)
MINIMUM REAR YARD SETBACK	20 FT	N/A
MINIMUM SETBACK AREA	39,963 SF	39,996 SF
MINIMUM R.O.W. LANDSCAPE BUFFER	25 FT	10.0 FT (V)
MINIMUM SIDE & REAR YARD PARKING SETBACK	10 FT	25.0 FT

(M) PROPOSED MODIFICATION - PER SECTION 3.3.6.0 - PLANNING COMMISSION MAY MODIFY SETBACK REQUIREMENTS IN THOSE INSTANCES WHERE IT DETERMINES THAT SUCH MODIFICATION MAY RESULT IN IMPROVED USE OF THE SITE AND/OR IMPROVED LANDSCAPING, PROVIDED, THAT THE MODIFICATION DOES NOT REDUCE THE TOTAL AREA OF SETBACK ON THE SITE BELOW THE MINIMUM REQUIREMENTS.

MODIFICATIONS:
 -INCREASE FRONT YARD SETBACK BY 38.3 FT: 40 + 38.3 = 68.3 FT
 -INCREASE NORTH SIDE STREET YARD SETBACK BY 10 FT: 40 + 10 = 50 FT
 -REDUCE WEST SIDE STREET YARD SETBACK BY 30 FT: 40 - 30 = 10 FT

(V) PROPOSED VARIANCE

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.2.12.C	PET BOARDING FACILITIES: 1 SPACE PER 700 SF OF USEABLE FLOOR AREA (8,964 SF) (1 SPACE / 700 SF) = 13 SPACES	20 SPACES
§ 5.3.2	90° PARKING: 19 FT X 9 FT WITH 24 FT AISLE (1)	9 FT X 17 FT W/ 24 FT AISLE
§ 5.3.2	BICYCLE PARKING: 2 SPACES REQUIRED 2 FT X 6 FT WITH 4 FT MANEUVERING LANE	2 SPACES W/ 4 FT AISLE

(1) PARKING SPACES MAY BE REDUCED IN LENGTH BY UP TO 2 FT WHEN ABUTTING LANDSCAPING OR WALKWAYS 7 FT IN WIDTH

PAVEMENT QUANTITIES	
CONCRETE CURB & GUTTER	556 LF
FULL-DEPTH ASPHALT	8,492 SF
CONCRETE SIDEWALK (4")	743 SF
REINFORCED CONCRETE PAD	295 SF

FOR MUNICIPAL REFERENCE ONLY. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT	QUANTITY
		LEGEND	BACKGROUND			
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND	2

NOTE:
 1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF 'STOP' (R1-1) AND 'YIELD' (R1-2) SIGNS.

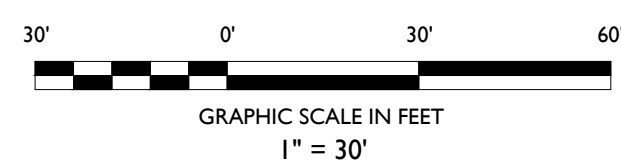
SIGN DATA TABLE

NOT TO SCALE

SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	PROPOSED CURB & GUTTER
	PROPOSED FLUSH CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	PROPOSED ARTIFICIAL TURF
	PROPOSED TREX COMPOSITE FENCE
	PROPOSED BUILDING DOORS
	PROPOSED DETENTION BASIN

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR, IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.
- PETS SHALL NOT STAY OUTSIDE OVERNIGHT.
- ANIMAL WASTE, BIOHAZARD MATERIALS OR BYPRODUCTS SHALL BE DISPOSED OF AS RECOMMENDED BY THE MICHIGAN DEPARTMENT OF PUBLIC HEALTH AND/OR OTHER DULY APPOINTED AUTHORITY AT THE DISCRETION OF THE CITY.
- NOISE SHALL BE MINIMIZED AND WILL NOT EXCEED 70 DECIBELS AT NIGHT TIME AND 75 DECIBELS DURING DAYTIME.
- ANIMAL PICK-UP AND DROP-OFF SHALL BE ACCOMMODATED IN AN EFFICIENT MANNER AS TO NOT DISRUPT TRAFFIC CIRCULATION.



DATE	ISSUE	BY	DESCRIPTION
07/19/2023	1		RESUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL
05/23/2023	2		PRELIMINARY SITE PLAN APPROVAL

NOT APPROVED FOR CONSTRUCTION

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SITE DEVELOPMENT PLANS

PET RESORT NOVI

PROPOSED PET BOARDING FACILITY

PID: 22-22-276-017
NOVI ROAD AND GEN MAR
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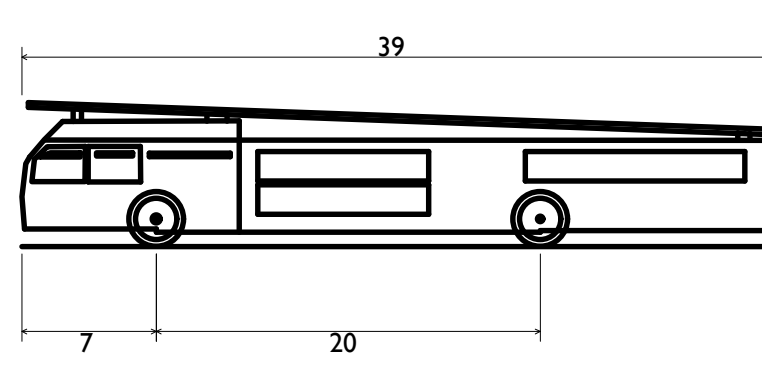
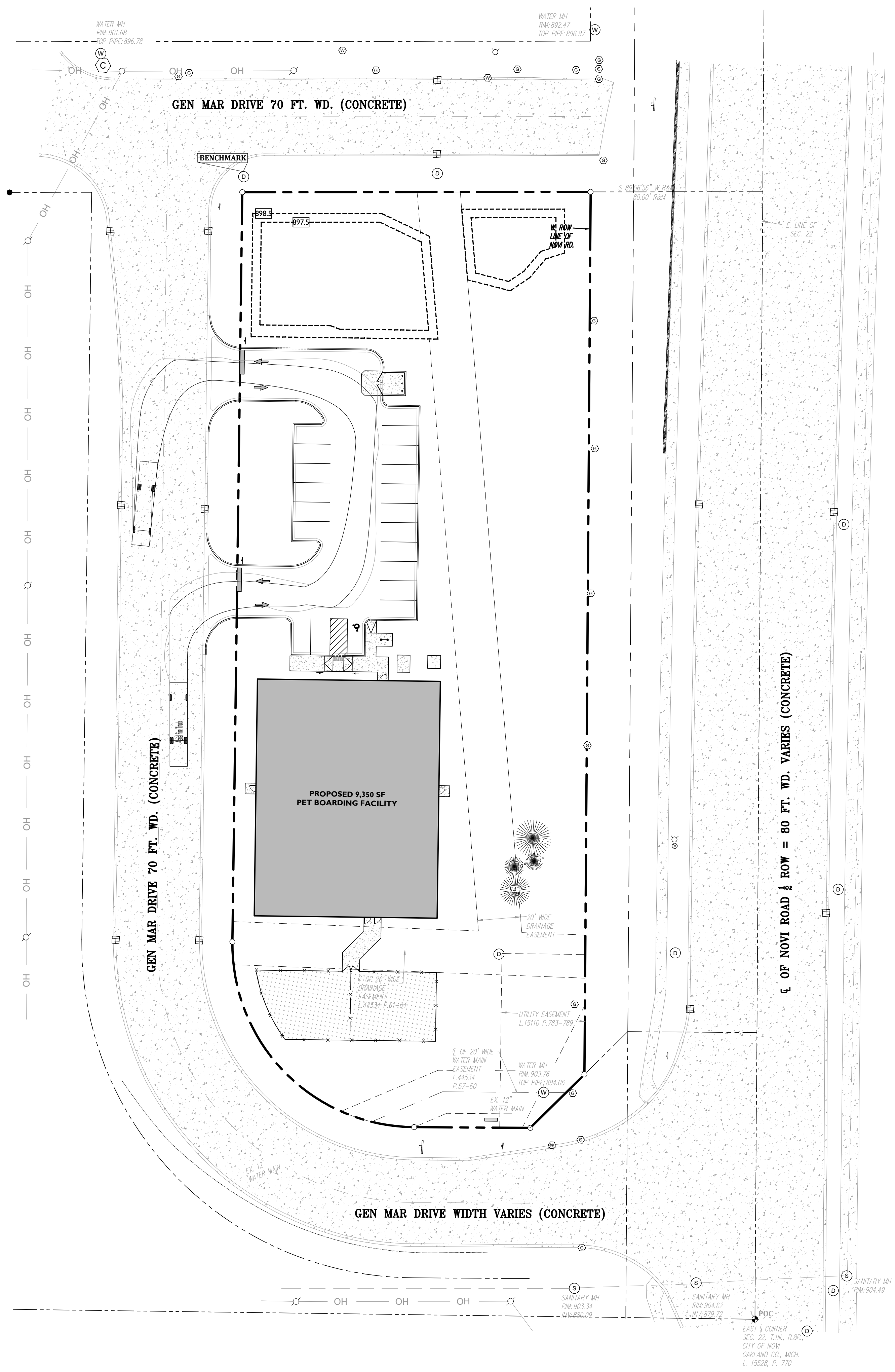
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: DET-230040

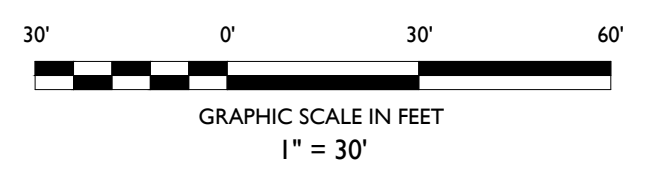
TITLE: **SITE PLAN**

DRAWING: **C-2**

\P\23000\DET23000\STUDY\TITLE\PROJECTS\DET23000\NOVI\NOVI\GENMAR\DET23000\GENMAR.DWG



- Aerial Fire Truck
- Overall Length 39.000ft
- Overall Width 8.167ft
- Overall Body Height 7.500ft
- Min Body Ground Clearance 0.750ft
- Track Width 8.167ft
- Lock-to-lock time 5.00s
- Max Wheel Angle 45.00°



ISSUE	DATE	BY	DESCRIPTION
2	07/19/2023	NB	RESUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL
1	05/23/2023	NB	PRELIMINARY SITE PLAN APPROVAL

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SITE DEVELOPMENT PLANS

PET RESORT NOVI

PROPOSED PET BOARDING FACILITY

PID: 22-22-274-017
NOVI ROAD AND GEN MAR
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

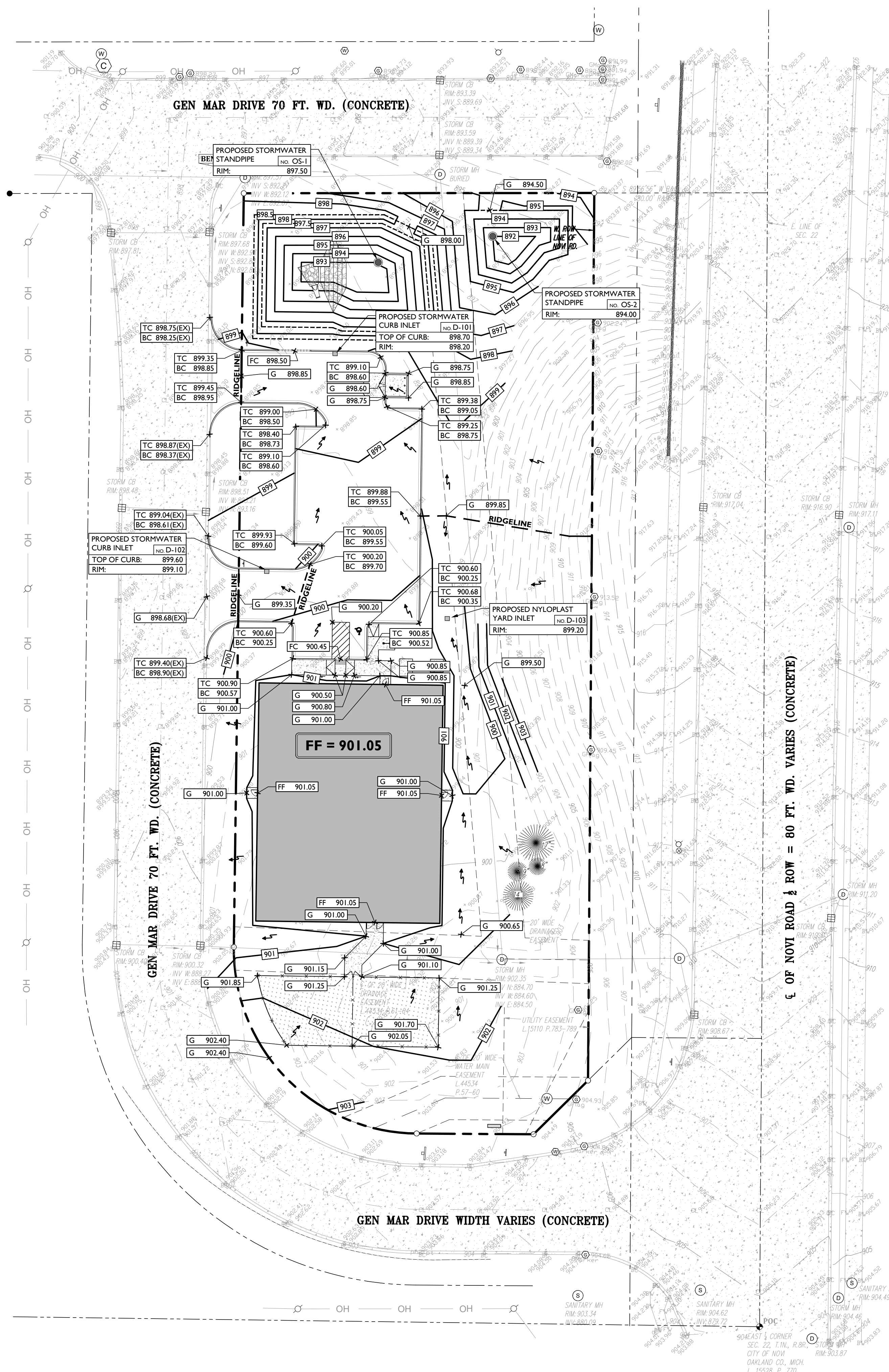
Professional Engineer Seal for Rick Cooksey, State of Michigan, License No. 201069428.

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SCALE: 1" = 30' PROJECT ID: DET-230040

TITLE: **SITE PLAN**

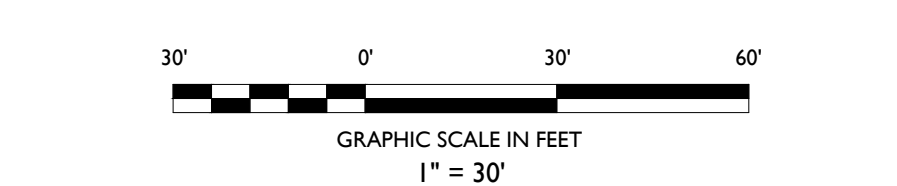
DRAWING: **C-3**



SYMBOL	DESCRIPTION
---	PROPERTY LINE
— 100 —	PROPOSED GRADING CONTOUR
— RIDGELINE —	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
[Icons]	PROPOSED STORMWATER STRUCTURES

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¼ INCHES AND ½ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¼ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ¼ INCH.



BENCHMARK:
 CITY OF NOVI #2311
 XX ON NORTH RIM OF SANITARY MANHOLE LOCATED ACROSS FROM INTERSECTION OF GEN-MAR AND NOVI ROAD, 45 EAST OF CENTERLINE OF NOVI ROAD AND 80 FEET NORTH OF CENTERLINE OF GEN-MAR.
 ELEVATION = 892.089800 NAVD88

ONSITE
 THE NORTH RIM OF STORM MANHOLE LOCATED 7 FEET NORTH AND 1 FEET FROM THE NORTH-WESTERLY MOST PROPERTY CORNER.
 ELEVATION = 897.57 NAVD88

RESUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL	PRELIMINARY SITE PLAN APPROVAL	DATE	ISSUE	BY	DESCRIPTION
		07/19/2023	1		
		05/23/2023	2		

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SITE DEVELOPMENT PLANS

PET RESORT NOVI

PROPOSED PET BOARDING FACILITY

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STATE OF MICHIGAN
 JAMES COOKSEY
 LICENSED PROFESSIONAL ENGINEER
 MICHIGAN LICENSE NO. 9201069428

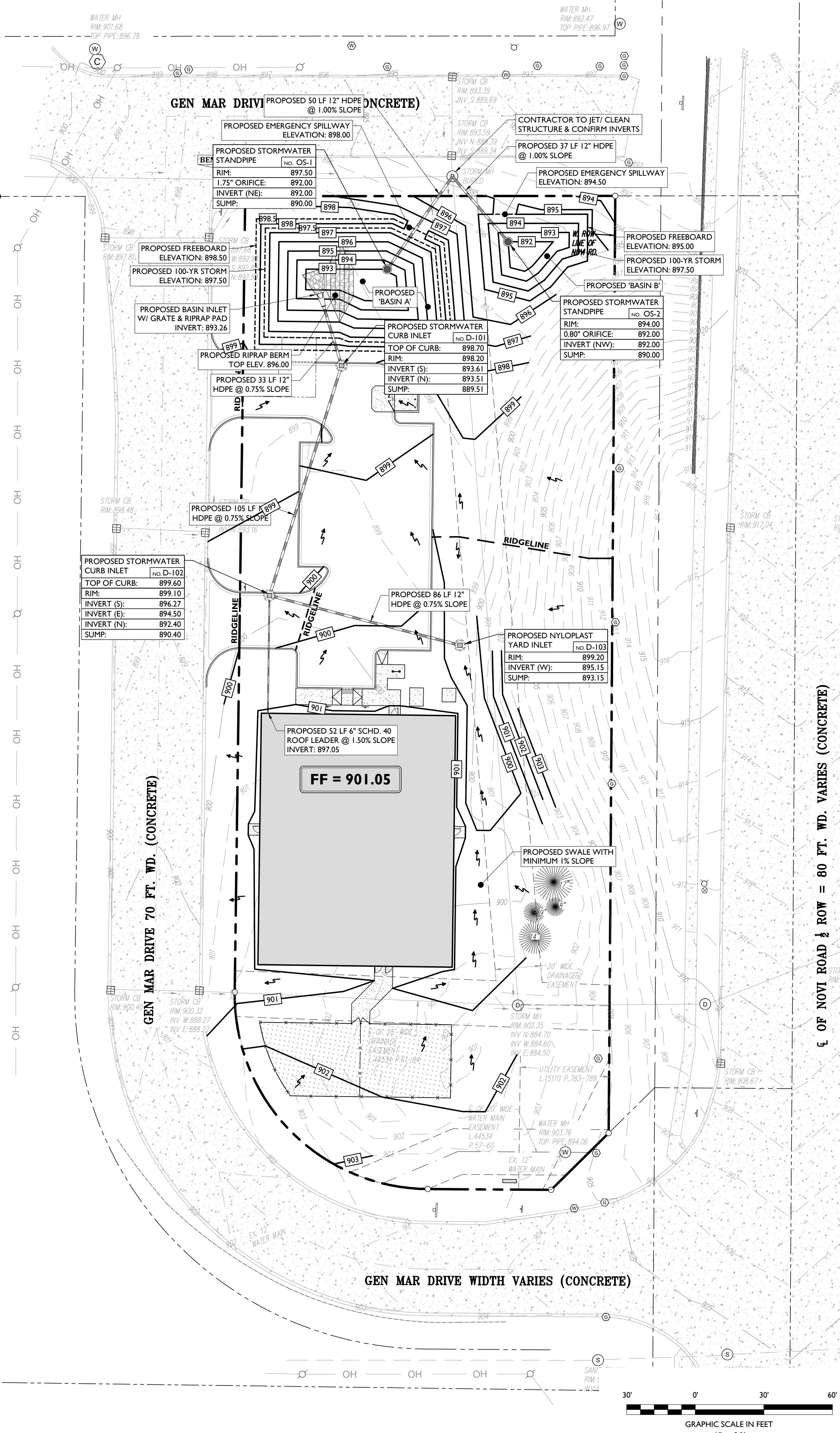
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SCALE: 1" = 30' PROJECT ID: DET-230040

TITLE:
GRADING PLAN

DRAWING:
C-4

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PROPOSED 'BASIN A'

STORMWATER MANAGEMENT CALCULATIONS
(Based on the City of Novi Engineering Design Manual)

Project: Novi Road & Gen Mar, Novi, MI Designer: NB Date: 05/22/23

COMPOSITE C VALUE

Landcover	Area (SF)	C-Value*	Weighted Value
Building / Roof	9,350	0.95	8,883
Asphalt or Concrete Pavements	9,389	0.95	8,920
Turf Grass Lawn	2,352	0.35	823
Open Space (HSG C <4% Slope)	35,095	0.30	10,529
Subtotals	56,186		29,154
Total Area (Acres)	1.29		

Composite C Value, C_c: 0.52
Relative Imperviousness C Value, C_{imp}: 0.32

ALLOWABLE SITE DISCHARGE & BASIN DISCHARGE RATIO

Site Area, A_s: 1.29 AC

*Allowable Discharge Ratio: 0.15 CFS/AC
Allowable Site Discharge, Q_a: 0.19 CFS

Basin Discharge Ratio, Q_b: 0.29 CFS/AC/IMP

$Q = Q_a / (A * C)$

BASIN STORAGE TIME

Design Storm Frequency: 100 YR
Basin Storage Time, T: 163.87 MINS

$T = -25 + (10,312.5 / Q)^{0.5}$

STORMWATER QUALITY CONTROL VOLUME REQUIRED

Stormwater Quality Volume, V_q: 1,215 CF

$V_q = 1.815 * A * C$

BASIN VOLUME REQUIRED

$V = (16,500 * T / (T + 25)) - 40 * Q * T$

Basin Volume Ratio, V_r: 12.421 CFS/AC/IMP
Basin Volume Required, V_r: 8,314 CF

Proposed 100-Year Detention Volume

Forebay (Water Quality) Design

Elevation	Face Area (SF)	Total Volume (CF)
893.00	78	0
894.00	252	165
895.00	540	561
896.00	940	1,301

Forebay Top Elev.: 896.00
Forebay Volume Required, V_{for}: 1,215 CF
Forebay Volume Proposed, V_{for}: 1,301 CF
Forebay Height: 3.00

Overall Above Ground Basin Design

Elevation	Face Area (SF)	Total Volume (CF)
893.00	0	0
893.00	445	223
894.00	915	903
895.00	1,534	2,127
896.00	2,285	4,037
897.00	3,150	6,754
897.50	3,639	8,451
898.50	4,736	12,669

Required 100-Year Flood Elev.: 897.46
Design 100-Year Flood Elev.: 897.50
Freeboard Elev.: 898.50
Basin Height, H: 4.50 FT

*Basin volume calculated based on a trapezoidal prism

Basin Volume Required, V_r: 8,314 CF
Basin Volume Proposed, V_r: 8,451 CF

REQUIRED CONTROL ORIFICE SIZE

$A_o = Q_a / (0.62 * (2 * 32.2 * H)^{0.5})$
 $D_o = 2 * (A_o / \pi)^{0.5}$

Control Orifice Area, A_o: 2.50 IN²
Control Orifice Diameter, D_o: 1.79 IN
Orifice Diameter Proposed: 1.75 IN

PROPOSED 'BASIN B'

STORMWATER MANAGEMENT CALCULATIONS
(Based on the City of Novi Engineering Design Manual)

Project: Novi Road & Gen Mar, Novi, MI Designer: NB Date: 05/22/23

COMPOSITE C VALUE

Landcover	Area (SF)	C-Value*	Weighted Value
Building / Roof	0	0.95	0
Asphalt or Concrete Pavements	0	0.95	0
Turf Grass Lawn	0	0.35	0
Open Space (HSG C <4% Slope)	12,818	0.30	3,845
Subtotals	12,818		3,845
Total Area (Acres)	0.29		

Composite C Value, C_c: 0.30
Relative Imperviousness C Value, C_{imp}: 0.00

ALLOWABLE SITE DISCHARGE & BASIN DISCHARGE RATIO

Site Area, A_s: 0.29 AC

*Allowable Discharge Ratio: 0.15 CFS/AC
Allowable Site Discharge, Q_a: 0.04 CFS

Basin Discharge Ratio, Q_b: 0.50 CFS/AC/IMP

$Q = Q_a / (A * C)$

BASIN STORAGE TIME

Design Storm Frequency: 100 YR
Basin Storage Time, T: 118.61 MINS

$T = -25 + (10,312.5 / Q)^{0.5}$

STORMWATER QUALITY CONTROL VOLUME REQUIRED

Stormwater Quality Volume, V_q: 160 CF

$V_q = 1.815 * A * C$

BASIN VOLUME REQUIRED

$V = (16,500 * T / (T + 25)) - 40 * Q * T$

Basin Volume Ratio, V_r: 11.255 CFS/AC/IMP
Basin Volume Required, V_r: 994 CF

Proposed 100-Year Detention Volume

Overall Above Ground Basin Design

Elevation	Face Area (SF)	Total Volume (CF)
893.00	171	0
894.00	476	324
894.00	905	1,014
895.00	1,456	2,195

Required 100-Year Flood Elev.: 893.97
Design 100-Year Flood Elev.: 894.00
Freeboard Elev.: 895.00
Basin Height, H: 2.00 FT

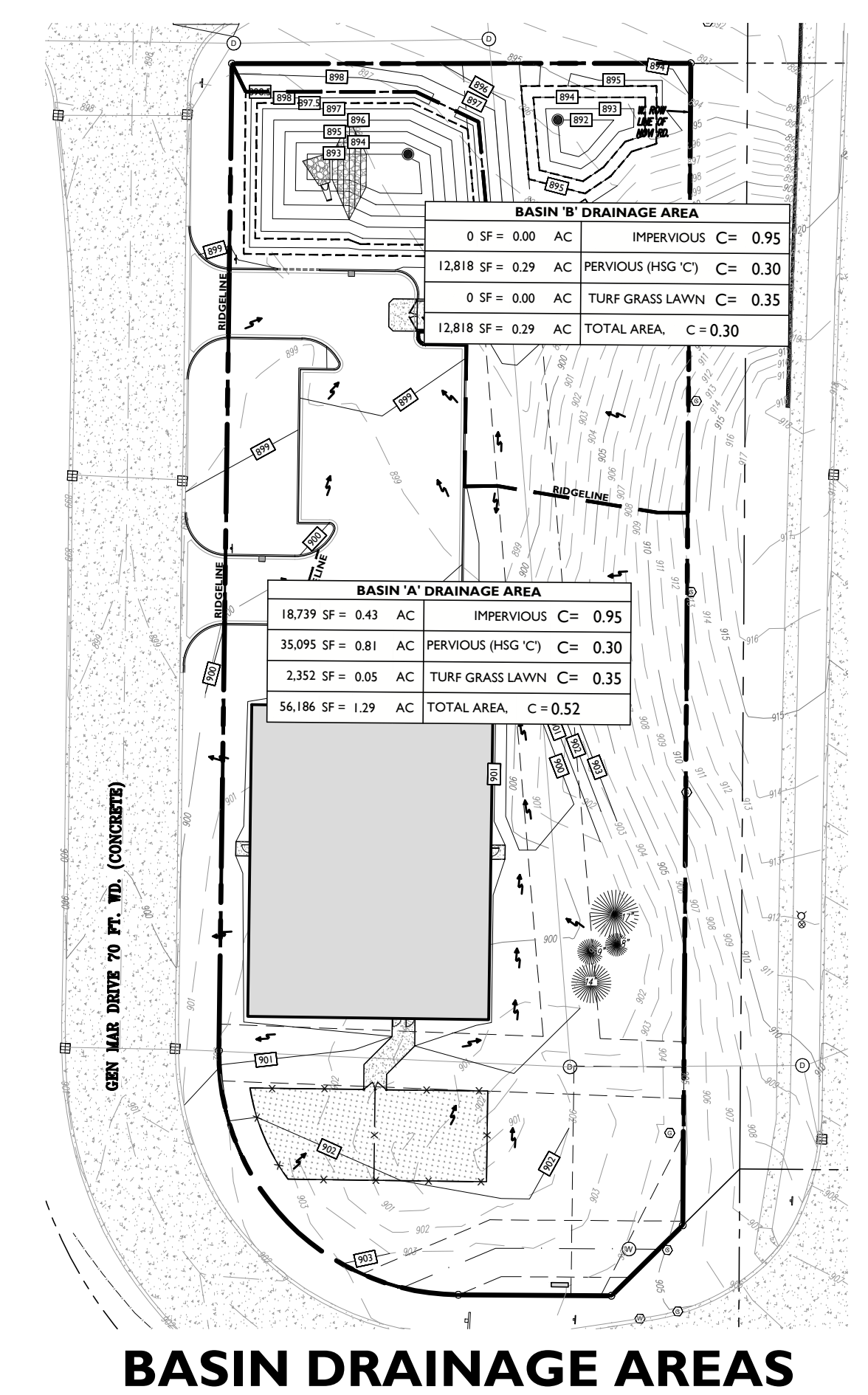
*Basin volume calculated based on a trapezoidal prism

Basin Volume Required, V_r: 994 CF
Basin Volume Proposed, V_r: 1,014 CF

REQUIRED CONTROL ORIFICE SIZE

$A_o = Q_a / (0.62 * (2 * 32.2 * H)^{0.5})$
 $D_o = 2 * (A_o / \pi)^{0.5}$

Control Orifice Area, A_o: 0.57 IN²
Control Orifice Diameter, D_o: 0.85 IN
Orifice Diameter Proposed: 0.80 IN



SYMBOL DESCRIPTION

	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING.
 - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
 - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGNED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THE CONTRACTOR SHALL SUBMIT SHORING DESIGNS TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

NO.	DATE	ISSUE	BY	DESCRIPTION
1	05/22/2023			PRELIMINARY SITE PLAN APPROVAL
2	07/19/2023			RESUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL

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SITE DEVELOPMENT PLANS

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PROPOSED PET BOARDING FACILITY

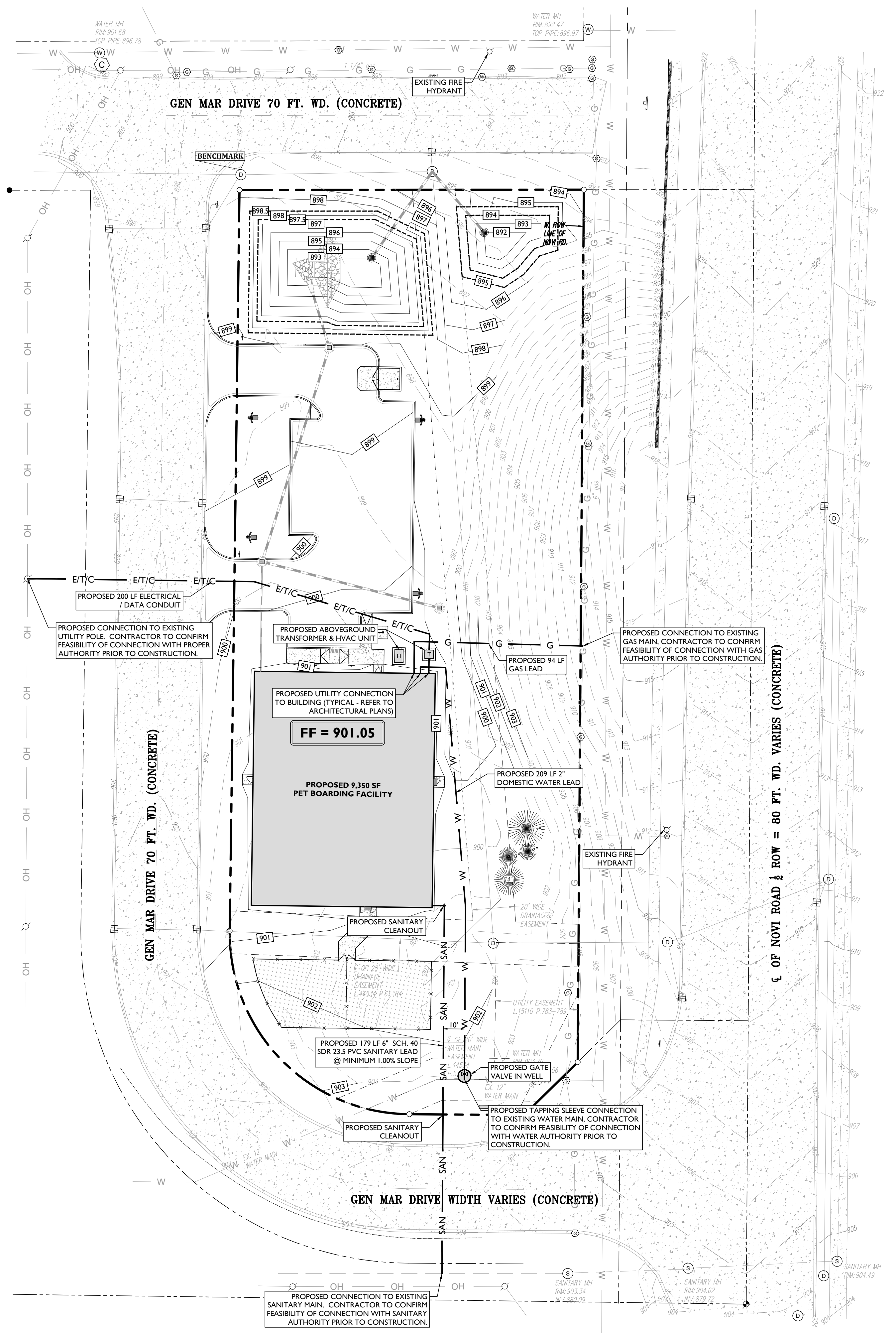
22-22-22-27-4-017
NOVI ROAD AND GEN MAR
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN
ARTHUR J. COOKSEY
REGISTERED PROFESSIONAL ENGINEER
No. 68422
ARTHUR J. COOKSEY, P.E.
MICHIGAN LICENSE NO. 68422
LICENSED PROFESSIONAL ENGINEER

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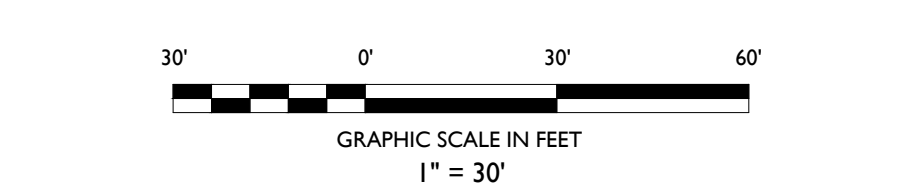
SCALE: AS SHOWN PROJECT ID: DET-230040
TITLE: STORMWATER MANAGEMENT PLAN
DRAWING: C-5

NOTES: 1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. 2. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. 3. ALL UTILITIES SHALL BE DEPTHS AS SHOWN UNLESS OTHERWISE NOTED. 4. ALL UTILITIES SHALL BE INSTALLED AT LEAST 5 FEET DEEP UNDER THE INFLUENCE OF PAVEMENT. 5. ALL UTILITIES SHALL BE INSTALLED AT LEAST 5 FEET DEEP UNDER THE INFLUENCE OF PAVEMENT. 6. ALL UTILITIES SHALL BE INSTALLED AT LEAST 5 FEET DEEP UNDER THE INFLUENCE OF PAVEMENT.



SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED ELECTRICAL/DATA CONDUITS
— G —	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS
▬▬▬	PROPOSED STORMWATER PIPING

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 18 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - 6 INCH SANITARY LEADS SHALL BE A MINIMUM SDR 23.5, AND MAINS SHALL BE SDR 26.
 - LEADS SHALL BE BURNED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.
 - COMPACTED SAND BACKFILL (MDOT SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
 - ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL IS BROUGHT ON SITE.
 - NEW AND EXISTING BUILDINGS MUST COMPLY WITH THE INTERNATIONAL FIRE CODE SECTION 510 FOR EMERGENCY RADIO COVERAGE. THIS SHALL BE COMPLETED BY THE TIME THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION PERMITS.



REVISION	DATE	ISSUE	BY	DESCRIPTION
1	05/23/2023	ISSUE		
2	07/19/2023	ISSUE		

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PROPOSED PET BOARDING FACILITY

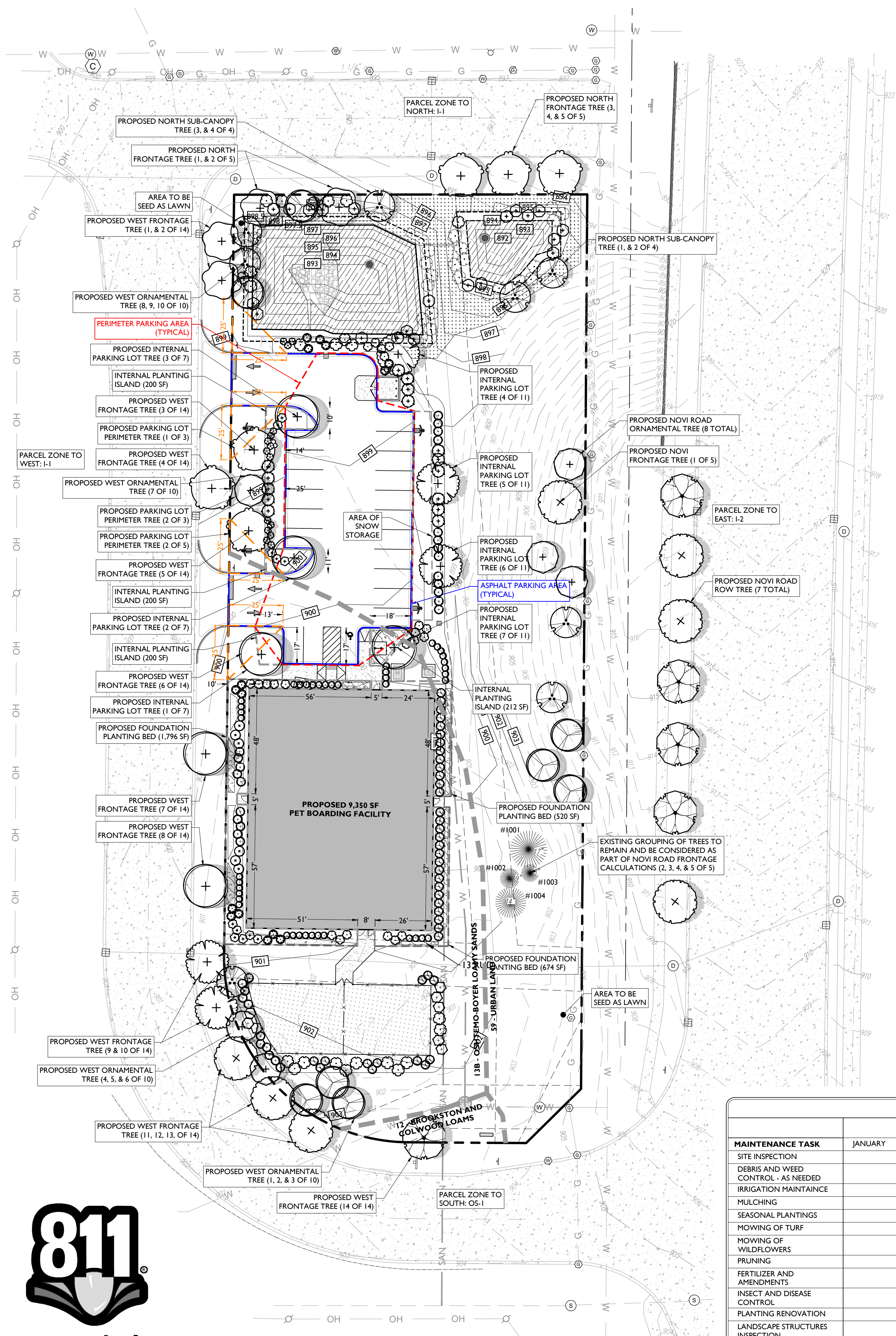
DET-22-22-274-017
NOVI ROAD AND GEN MAR
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

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SCALE: 1" = 30' PROJECT ID: DET-230040

TITLE: **UTILITY PLAN**

DRAWING: **C-6**



EXISTING TREE INVENTORY

TREE ID NUMBER	SIZE	COMMON NAME	CONDITION	RECOMMENDATION
#1001	17"	NORWAY SPRUCE	FAIR	TO REMAIN
#1002	9"	NORWAY SPRUCE	FAIR	TO REMAIN
#1003	8"	NORWAY SPRUCE	FAIR	TO REMAIN
#1004	14"	NORWAY SPRUCE	FAIR	TO REMAIN

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	BROOKSTON AND COLWOOD LAOMS
PERCENT OF SITE COVERAGE	5.2%
HYDROLOGIC SOIL GROUP	B/C/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.20 TO 1.98 IN / HR
DEPTH TO WATER TABLE	ABOUT 0 INCHES
TYPE OF SOIL	OSHTOMO-BOYER LOAMY SANDS
PERCENT OF SITE COVERAGE	24.8%
HYDROLOGIC SOIL GROUP	A
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	1.98 TO 5.95 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES
TYPE OF SOIL	URBAN LAND
PERCENT OF SITE COVERAGE	69.9%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	20 TO 36 INCHES
SOIL PERMEABILITY	0.06 TO 0.20 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES
TYPE OF SOIL	SLOAN - MARLETTE
PERCENT OF SITE COVERAGE	0.1%
HYDROLOGIC SOIL GROUP	B/D
DEPTH TO RESTRICTIVE LAYER	0 TO 12 INCHES
SOIL PERMEABILITY	0.20 TO 1.98 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

MAINTENANCE REQUIREMENT SCHEDULE

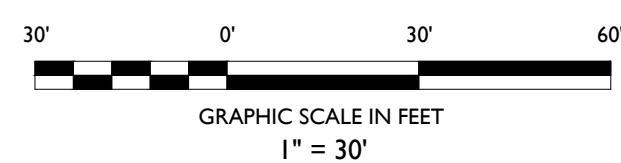
MAINTENANCE TASK	MONTH											
	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
SITE INSPECTION			X				X				X	
DEBRIS AND WEED CONTROL - AS NEEDED			X	X	X	X	X	X	X	X	X	
IRRIGATION MAINTENANCE			X							X		
MULCHING			X									
SEASONAL PLANTINGS					X	X	X	X	X	X	X	
MOWING OF TURF			X	X	X	X	X	X	X	X	X	
MOWING OF WILDFLOWERS											X	
PRUNING			X	X							X	
FERTILIZER AND AMENDMENTS			X	X	X	X	X	X	X	X	X	
INSECT AND DISEASE CONTROL					X	X	X	X	X	X	X	
PLANTING RENOVATION			X							X		
LANDSCAPE STRUCTURES INSPECTION				X								
LIGHTING MAINTENANCE			X							X		
PAVED SURFACE MAINTENANCE				X								

- TREE PROTECTION FENCE SHALL BE (1) ONE FOOT OUTSIDE OF THE DRIPLINE
- SHOULD JAPANESE KNOTWEED OR PHRAGMITES BE PRESENT ON SITE THEY SHALL BE REMOVED FROM THE PREMISES
- IRRIGATION PLANS ARE REQUIRED AND SHALL BE PROVIDED AS PART OF THE FINAL SITE PLAN
- THE STORMWATER BASIN IS DESIGNED TO EMPTY 24 - 48 HOURS AFTER RAINFALL EVENT
- NO PROPOSED LOADING ZONE ON SITE
- TREES SHALL BE PLANTED:
 - 10 FEET FROM HYDRANTS AND UTILITY STRUCTURES
 - 5 FEET FROM UTILITY LINES
 - 3 FEET FROM CURBS
- CITY MUST APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION
- NO EXISTING OR PROPOSED OVERHEAD UTILITY LINES ON SITE
- ANY TREE ON SITE WHICH IS REMOVED THAT IS NOT PERMITTED MUST BE REPLACED.
- DEAD OR DECLINING TREES ON SITE SHALL BE REPLACED.

IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

FOR COMMON AREA IRRIGATION SYSTEMS CONNECTED TO PUBLIC WATER SUPPLIES: INSTALL A BACKFLOW PREVENTION REDUCED PRESSURE ZONE ASSEMBLY (RPZ) WITH AN ASSE 013 LISTING APPROVAL AT EACH TAP TO THE PUBLIC WATER SUPPLY. A MINIMUM CLEARANCE OF 12-INCHES MEASURED FROM THE BOTTOM OF PRESSURE RELIEF VALVE TO THE FINISHED LANDSCAPED GRADE SHALL BE REQUIRED. PROVIDE A DETAIL SHOWING THE RPZ INSTALLATION SETUP AND HEIGHT ABOVE GRADE. IF BACKFLOW PREVENTER IS TO BE ENCLOSED, PROVIDE A DETAIL OF THE ENCLOSURE WITH REQUIRED DRAINAGE OUTLETS. SHOW ALL LOCATIONS ON A SITE PLAN. A PLUMBING PERMIT IS REQUIRED FOR THE INSTALLATION OF THE BACKFLOW PREVENTER. INSTALLATION OF THE BACKFLOW PREVENTER SHALL BE IN SUCH A MANNER AS TO NOT REQUIRE BLOWING OUT THE SYSTEM THROUGH THE BACKFLOW PREVENTER. DRAIN PORTS AND BLOW OUT PORTS SHALL BE INCLUDED. ANY DEVIATIONS FROM THESE REQUIREMENTS MUST BE APPROVED THROUGH THE NOVI WATER & SEWER DIVISION CROSS CONNECTION CONTROL SPECIALIST (248-735-5661).

- LANDSCAPING NOTES**
1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
 7. ALL TRANSFORMERS MUST BE SCREENED PER THE CITY OF NOVI STANDARDS AND SPECIFICATIONS.



ISSUE	DATE	BY	DESCRIPTION
2	07/19/2023	NB	RESUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL
1	05/23/2023	NB	PRELIMINARY SITE PLAN APPROVAL

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NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS
PET RESORT NOVI
PROPOSED PET BOARDING FACILITY

PD: 22-22-274-017
NOVI ROAD AND GEN MAR
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

J. REID COOKSEY, P.E.
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: DET-230040

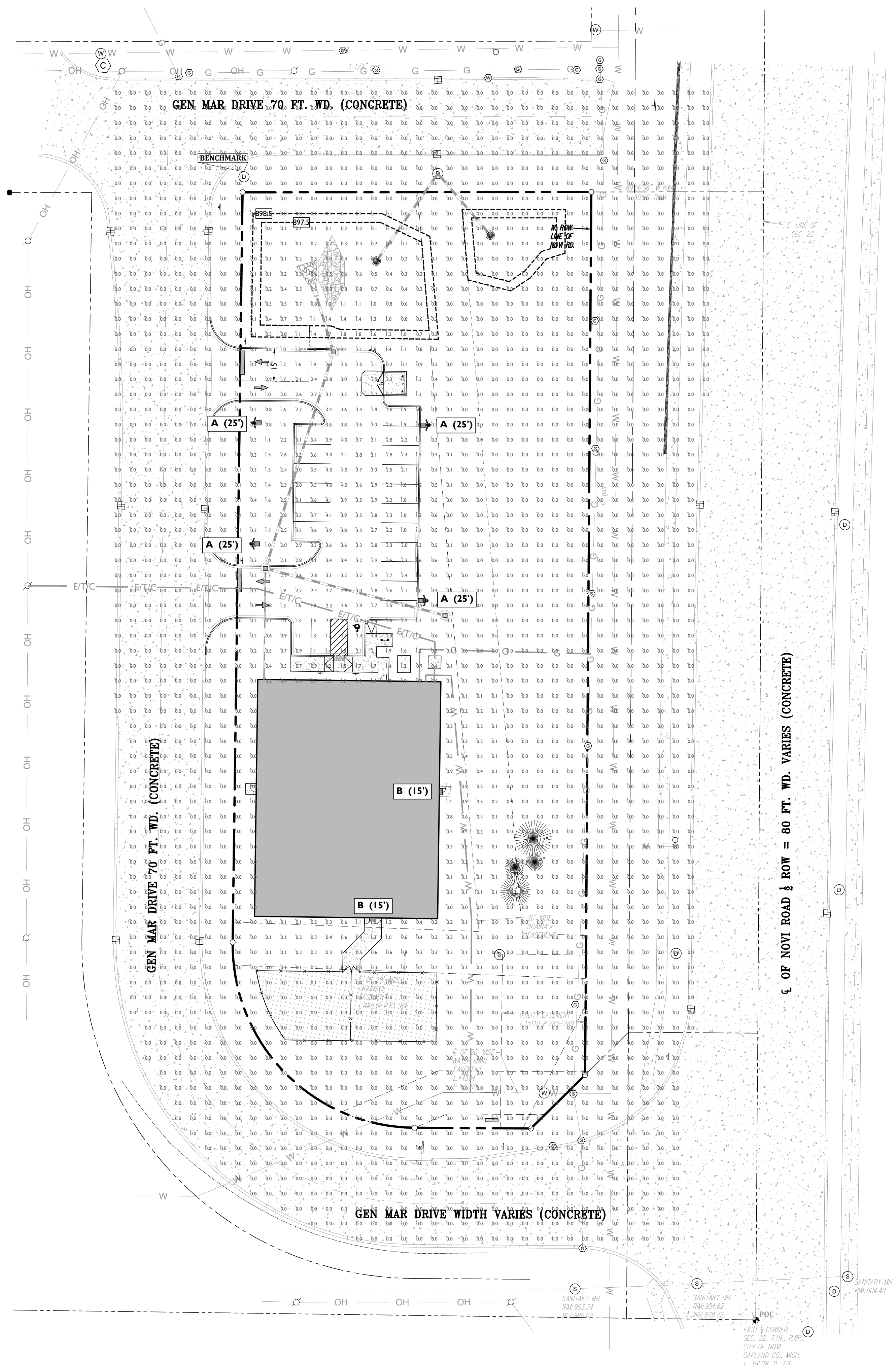
TITLE:
LANDSCAPING AREA AND TREE LAYOUT PLAN

DRAWING:
C-8



PAUL DEVITTO, L.L.A.
MICHIGAN LICENSE No. 3901001797
LICENSED LANDSCAPE ARCHITECT

Z:\PROJECTS\2023\DET-230040\WORK VITAL CHARACTERISTICS\MPT\NOVI ROAD, NOVI, MICHIGAN\DET-230040-08-PLAND.DWG



PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	4	MIRADA MEDIUM OUTDOOR LED AREA LIGHT - 12,000 LUMEN PACKAGE	TYPE III	0.9	LSI	MRM-LED-12L-SIL-3-30CRI-IL
	B	2	MIRADA SMALL COMMERCIAL WALL SCONCE - 1,000 LUMEN PACKAGE	TYPE III	0.9	LSI	SSW-LED-01L-3-UNV-DIM-30

LIGHTING REQUIREMENTS	
REQUIRED	PROPOSED
MAXIMUM AVERAGE TO MINIMUM RATIO:	4:1
MINIMUM ILLUMINATION:	
0.2 FC WITHIN PARKING AREAS	0.9 FC
0.2 FC AT WITHIN WALKWAYS	0.7 FC
1.0 FC AT ENTRANCES	1.2 FC
MAXIMUM ILLUMINATION AT PROPERTY LINES:	0.1 FC
1.0 FC	
MAXIMUM POLE HEIGHT:	25 FT
40 FT	



FIXTURE 'A'



FIXTURE 'B'

SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

RESUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL		PRELIMINARY SITE PLAN APPROVAL		DESCRIPTION
ISSUE	DATE	BY	DATE	
2	07/19/2023	NB		
1	05/23/2023	NB		

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SITE DEVELOPMENT PLANS

PET RESORT NOVI
PROPOSED PET BOARDING FACILITY

PID: 22-22-274-017
NOVI ROAD AND GEN MAR
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

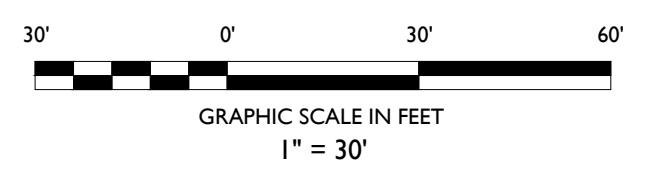


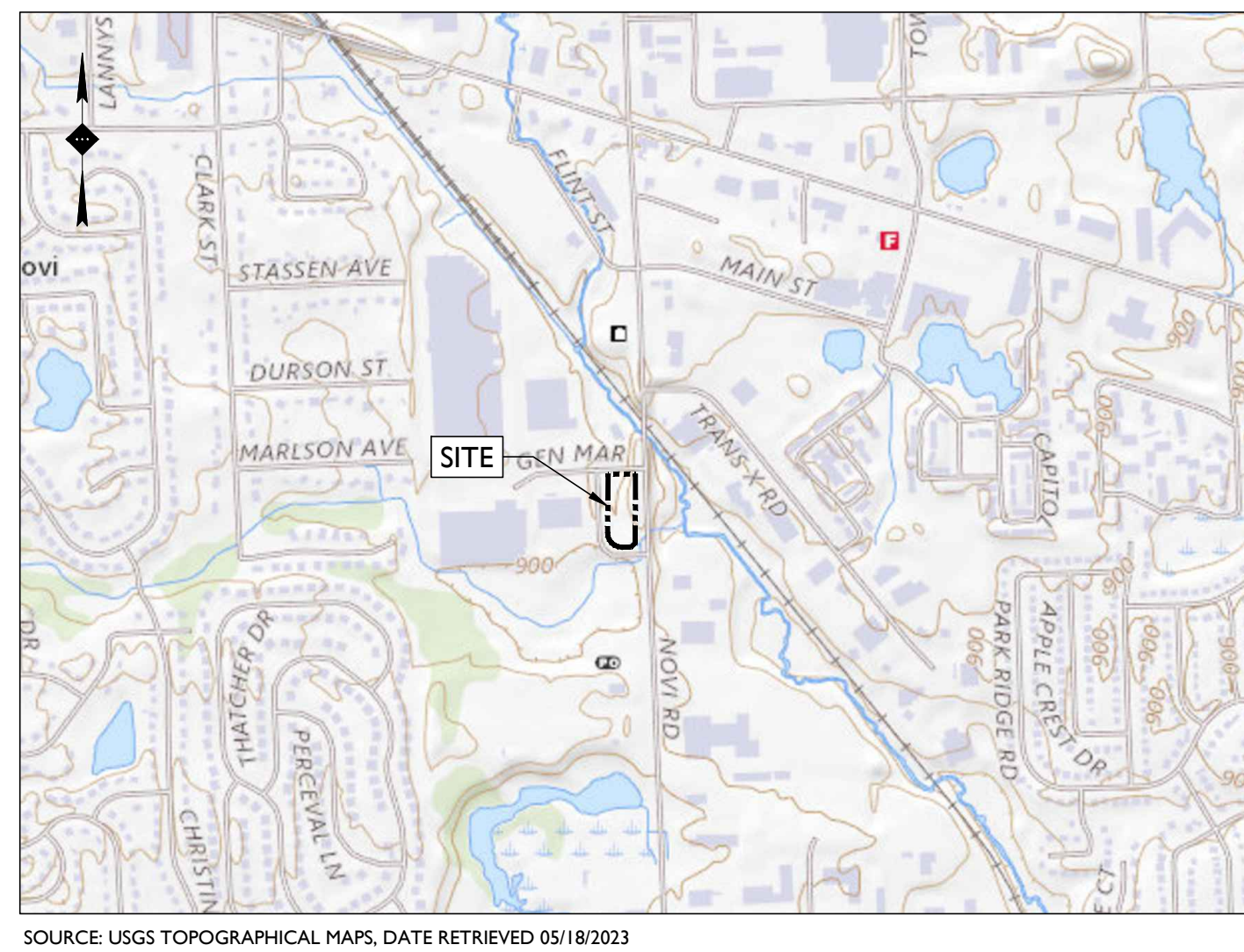
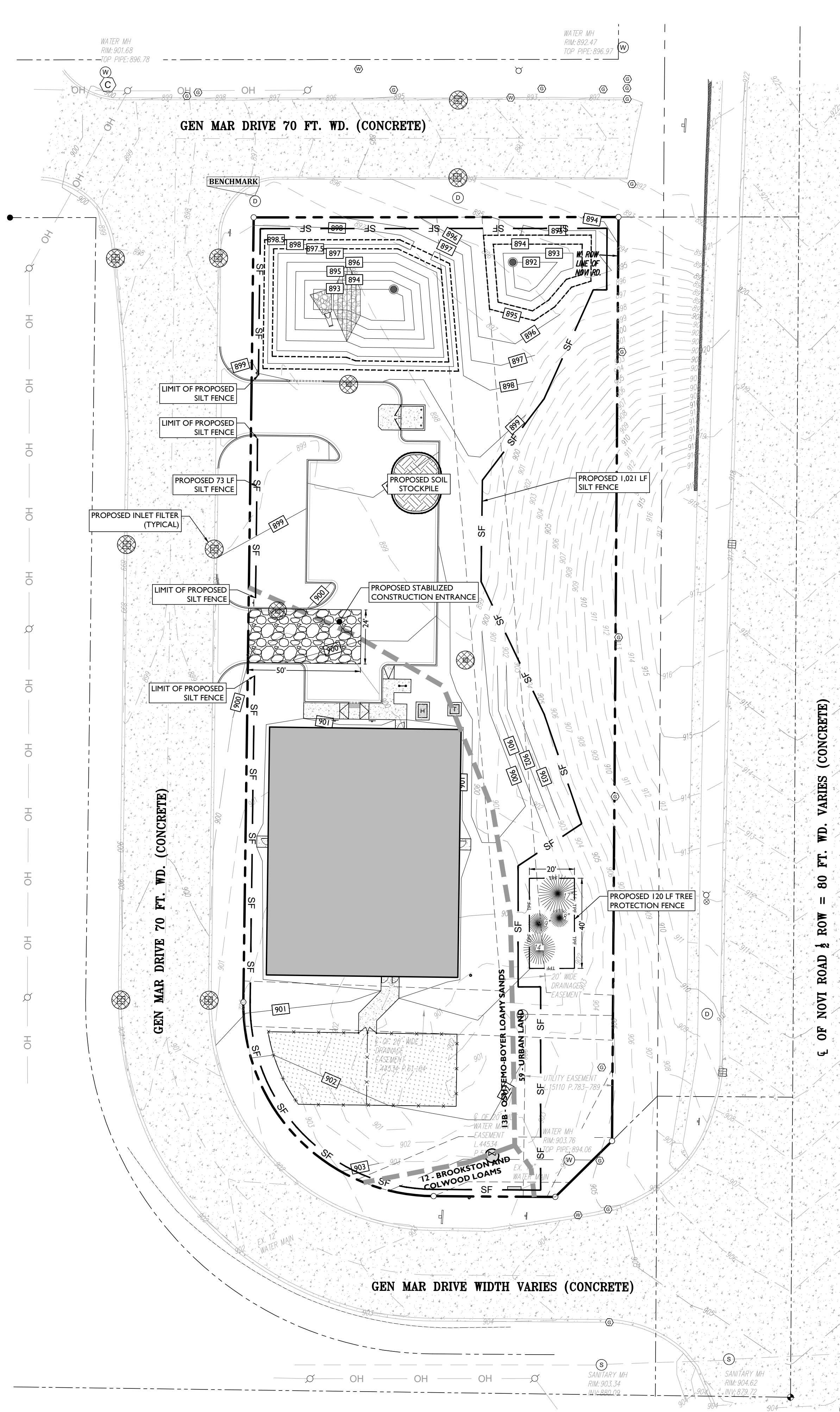
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engineering & design

SCALE: 1" = 30' PROJECT ID: DET-230040

TITLE: LIGHTING PLAN

DRAWING: C-10

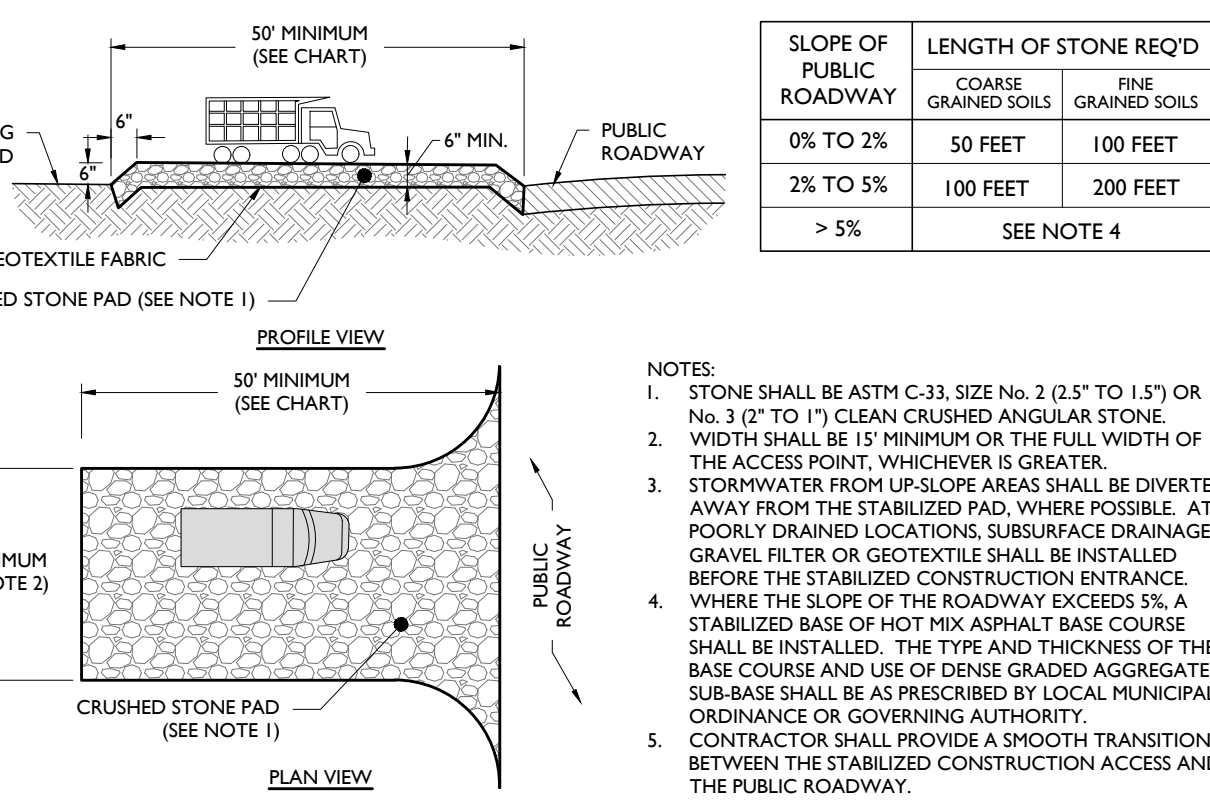




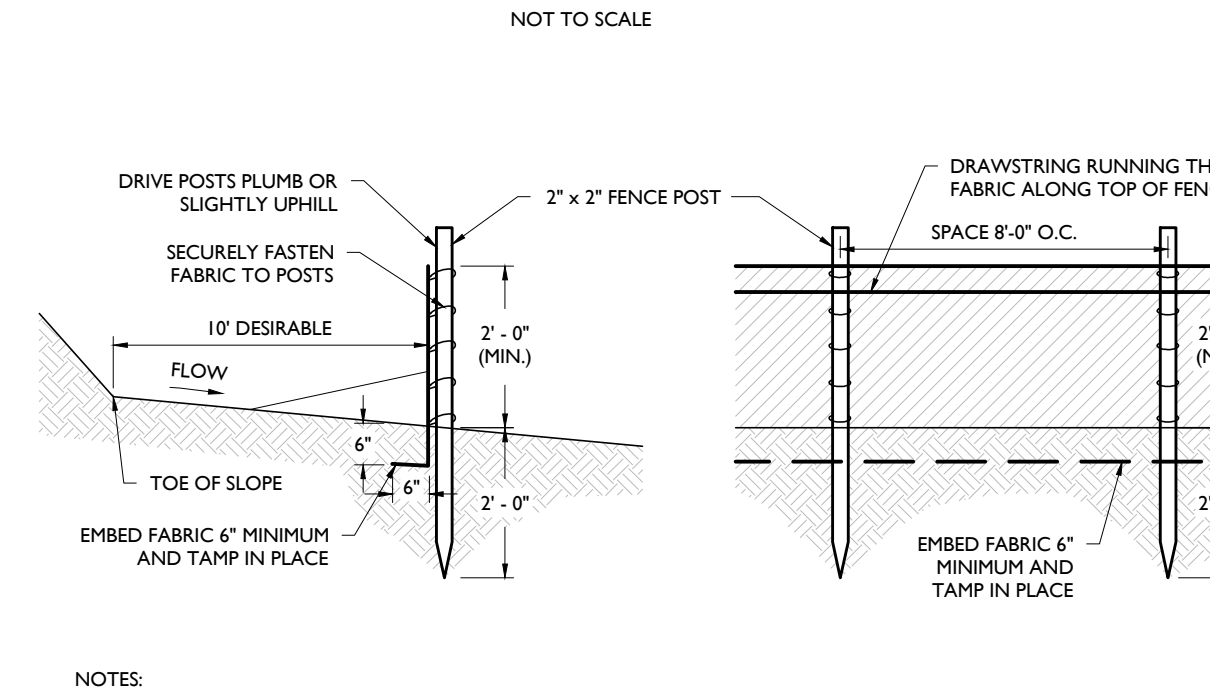
LOCATION MAP
SCALE: 1" = 1000'±

LEGAL DESCRIPTION

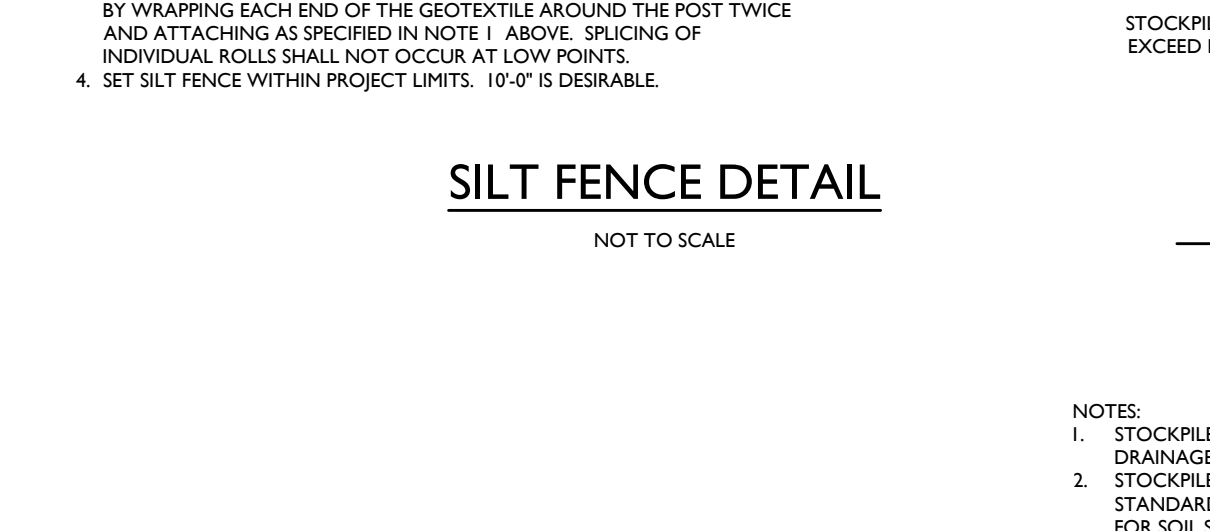
PARCEL ID# 22-22-276-017
A PARCEL OF LAND BEING PART OF THE NORTHEAST 1/4 OF SECTION 22, OF TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 22; THENCE NORTH 00 DEGREES 23 MINUTES 56 SECONDS EAST 523.79 FEET ALONG THE EAST LINE OF SAID SECTION 22, SAID LINE ALSO BEING CENTERLINE OF NOVI ROAD (1/2 RIGHT OF WAY = 80 FEET); THENCE SOUTH 89 DEGREES 56 MINUTES 56 SECONDS WEST 80.00 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SAID NOVI ROAD AND THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 23 MINUTES 56 SECONDS WEST 409.99 FEET ALONG THE WESTERLY RIGHT OF WAY TO A POINT ON THE RIGHT OF WAY LINE GEN MAR DRIVE (VARIABLE WIDTH); THENCE ALONG SAID RIGHT OF WAY LINE THE FOLLOWING CURVE (S) CALLS: (1) SOUTH 45 DEGREES 23 MINUTES 18 SECONDS WEST 35.36 FEET, (2) NORTH 89 DEGREES 37 MINUTES 21 SECONDS WEST 53.99 FEET, (3) 134.08 FEET ALONG THE ARC OF THE CURVE TO THE RIGHT, HAVING A RADIUS 85.00 FEET, CENTRAL ANGLE OF 90 DEGREES 22 MINUTES 43 SECONDS, A CHORD BEARING NORTH 44 DEGREES 25 MINUTES 59 SECONDS WEST 120.60 FEET, (4) NORTH 00 DEGREES 45 MINUTES 22 SECONDS EAST 348.22 FEET, (5) NORTH 89 DEGREES 56 MINUTES 56 SECONDS EAST 161.85 FEET TO THE POINT OF BEGINNING, CONTAINING 1.58 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF USE OR RECORD.



STABILIZED CONSTRUCTION ACCESS DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE



SOIL STOCKPILE DETAIL
NOT TO SCALE

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	BROOKSTON AND COLWOOD LOAMS
PERCENT OF SITE COVERAGE	5.2%
HYDROLOGIC SOIL GROUP	B/C/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.20 TO 1.98 IN / HR
DEPTH TO WATER TABLE	ABOUT 0 INCHES

SOIL CHARACTERISTICS CHART

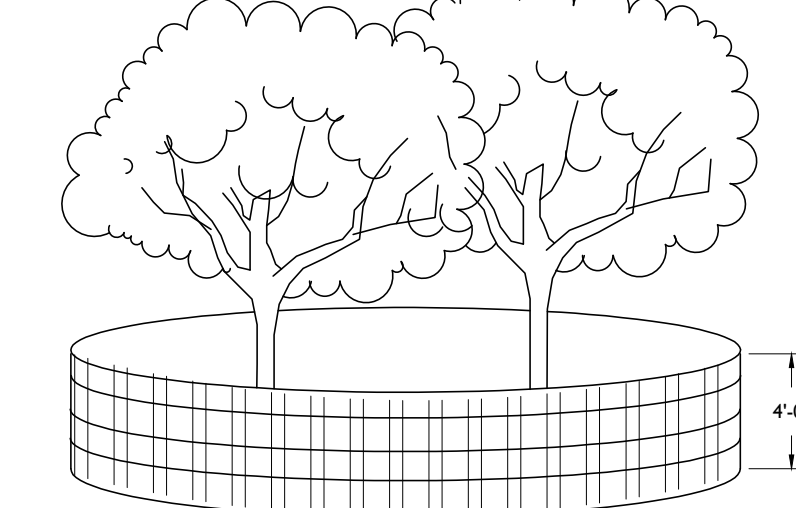
TYPE OF SOIL	OSHTEMO-BOYER LOAMY SANDS
PERCENT OF SITE COVERAGE	24.8%
HYDROLOGIC SOIL GROUP	A
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	1.98 TO 5.95 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

SOIL CHARACTERISTICS CHART

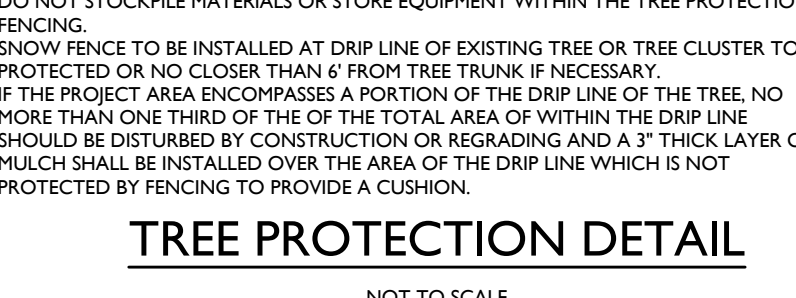
TYPE OF SOIL	URBAN LAND
PERCENT OF SITE COVERAGE	69.8%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	20 TO 36 INCHES
SOIL PERMEABILITY	0.06 TO 0.20 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

BENCHMARK:
CITY OF NOVI #2311
"X" ON NORTH RIM OF SANITARY MANHOLE LOCATED ACROSS FROM INTERSECTION OF GEN-MAR AND NOVI ROAD, 45 EAST OF CENTERLINE OF NOVI ROAD AND 80 FEET NORTH OF CENTERLINE OF GEN-MAR.
ELEVATION = 892.08980 NAVD88

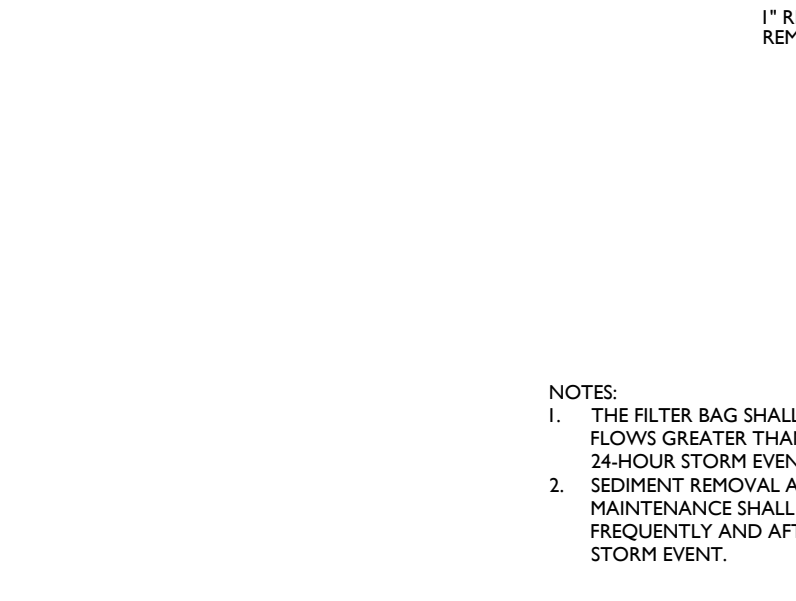
ONSITE:
THE NORTH RIM OF STORM MANHOLE LOCATED 7 FEET NORTH AND 1 FEET FROM THE NORTHWESTERLY MOST PROPERTY CORNER.
ELEVATION = 897.57 NAVD88



TREE PROTECTION DETAIL
NOT TO SCALE



INLET FILTER BAG DETAIL
NOT TO SCALE



SOIL STOCKPILE DETAIL
NOT TO SCALE

SYMBOL DESCRIPTION

---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	LOD
- - - -	PROPOSED LIMIT OF DISTURBANCE
- - - -	PROPOSED SILT FENCE
- - - -	PROPOSED TREE PROTECTION FENCE
[Symbol]	PROPOSED STOCKPILE & EQUIPMENT STORAGE
[Symbol]	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	PROPOSED INLET PROTECTION FILTER

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

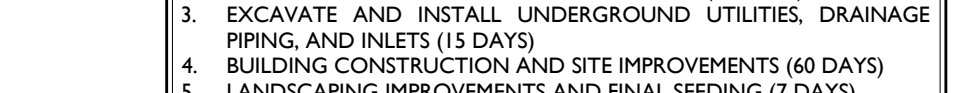
SEQUENCE OF CONSTRUCTION

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (5 DAYS)
2. ROUGH GRADING AND TEMPORARY SEEDING (10 DAYS)
3. EXCAVATE AND INSTALL UNDERGROUND UTILITIES, DRAINAGE PIPING, AND INLETS (15 DAYS)
4. BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (60 DAYS)
5. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS)
6. REMOVE SOIL EROSION MEASURES (1 DAY)

NOTE:

THE DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO CITY AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

GRAPHIC SCALE IN FEET



NO.	DATE	ISSUE	BY	DESCRIPTION
2	07/19/2023	NB		RESUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL
1	05/23/2023	NB		PRELIMINARY SITE PLAN APPROVAL

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SITE DEVELOPMENT PLANS

PET RESORT NOVI

PROPOSED PET BOARDING FACILITY

PID: 22-22-276-017
NOVI ROAD AND GEN MAR
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OAKLAND COUNTY, MICHIGAN

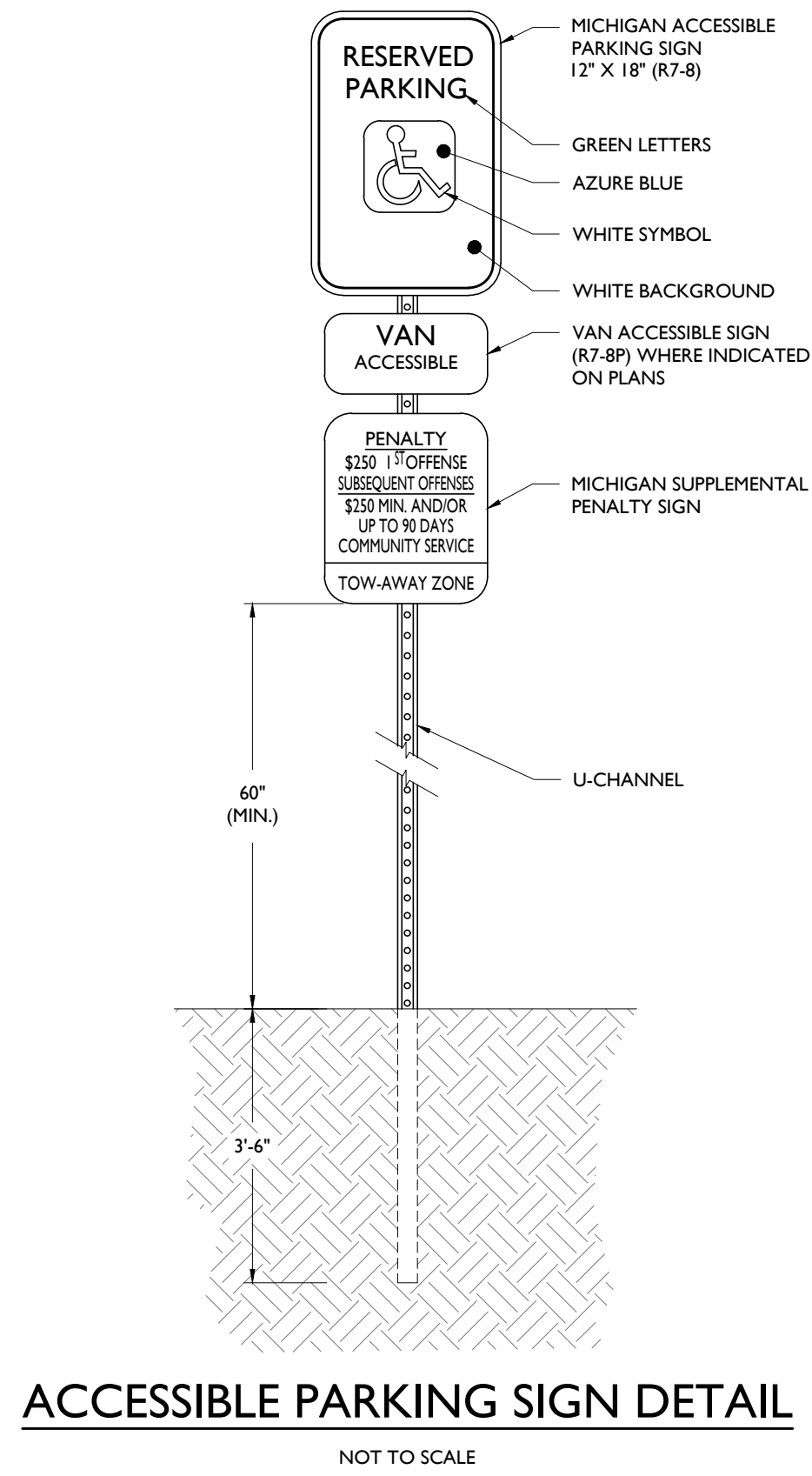
STATE OF MICHIGAN
ARTHUR COOKSEY, P.E.
MICHIGAN LICENSE NO. 9201069428
LICENSED PROFESSIONAL ENGINEER

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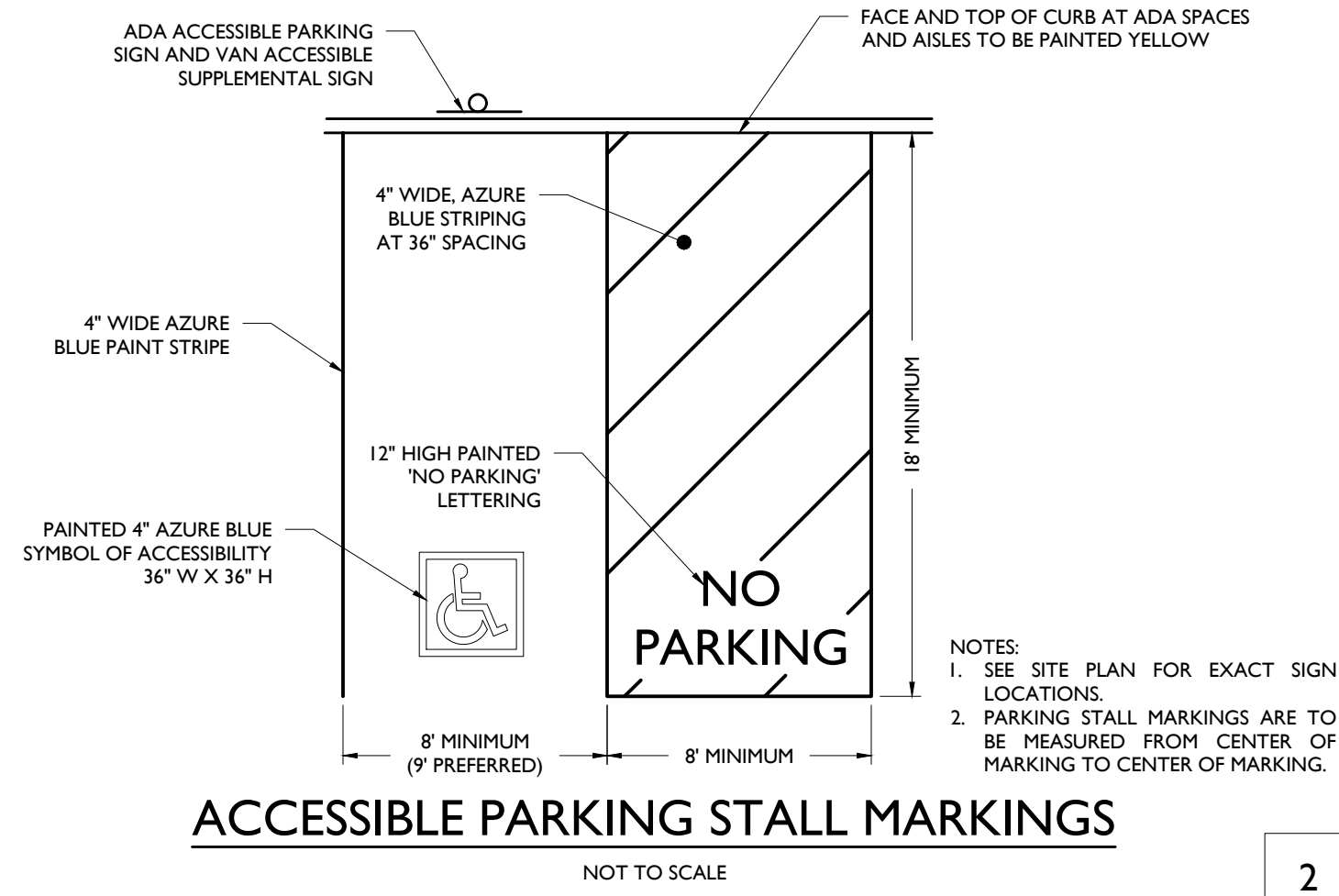
SCALE: 1" = 30' PROJECT ID: DET-230040

TITLE: **SOIL EROSION & SEDIMENT CONTROL PLAN**

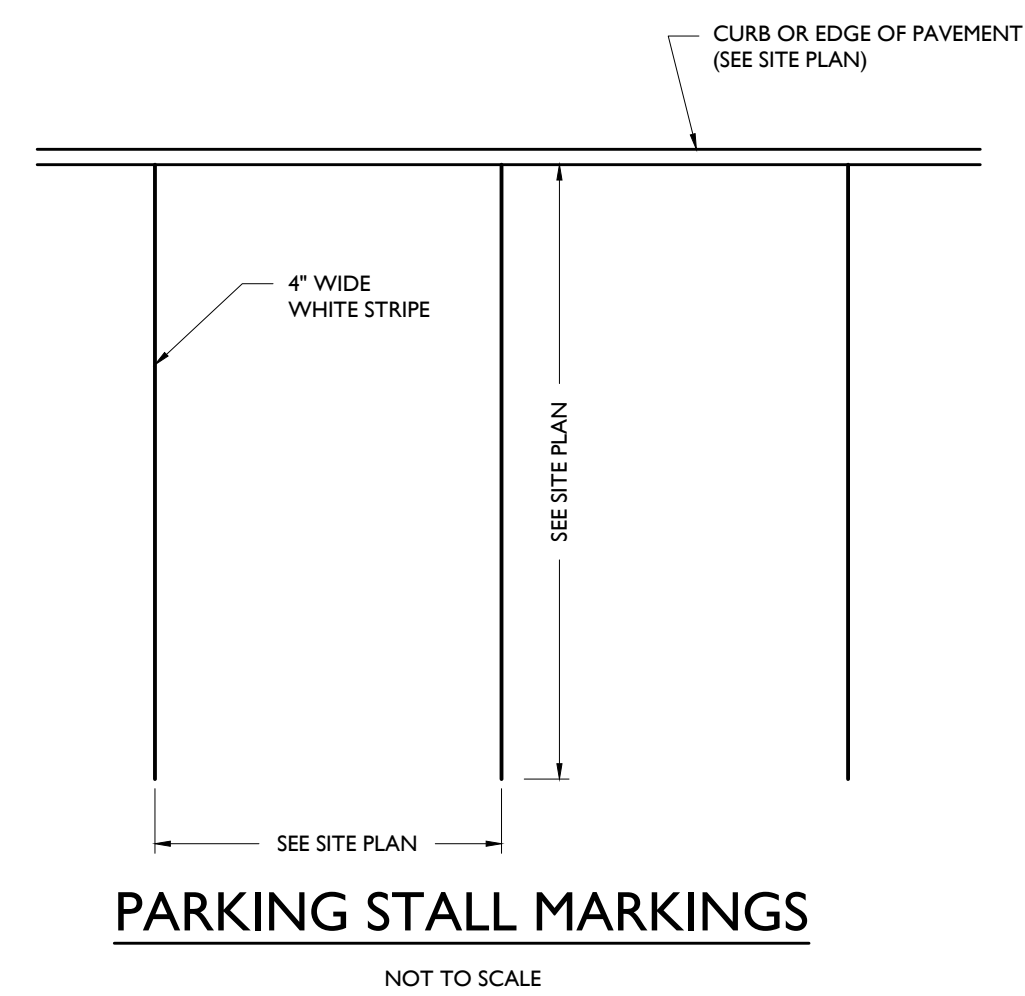
DRAWING: **C-11**



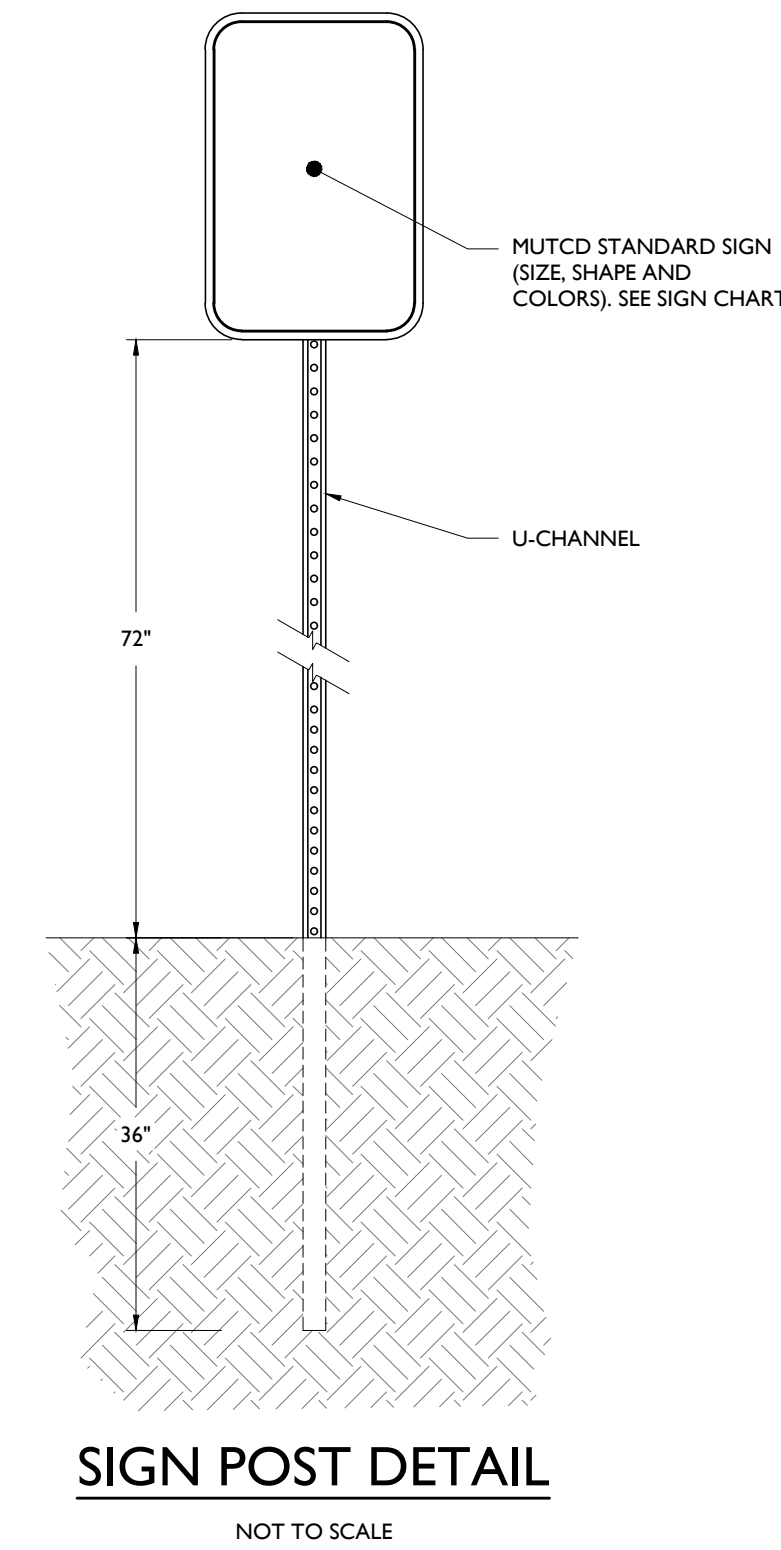
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



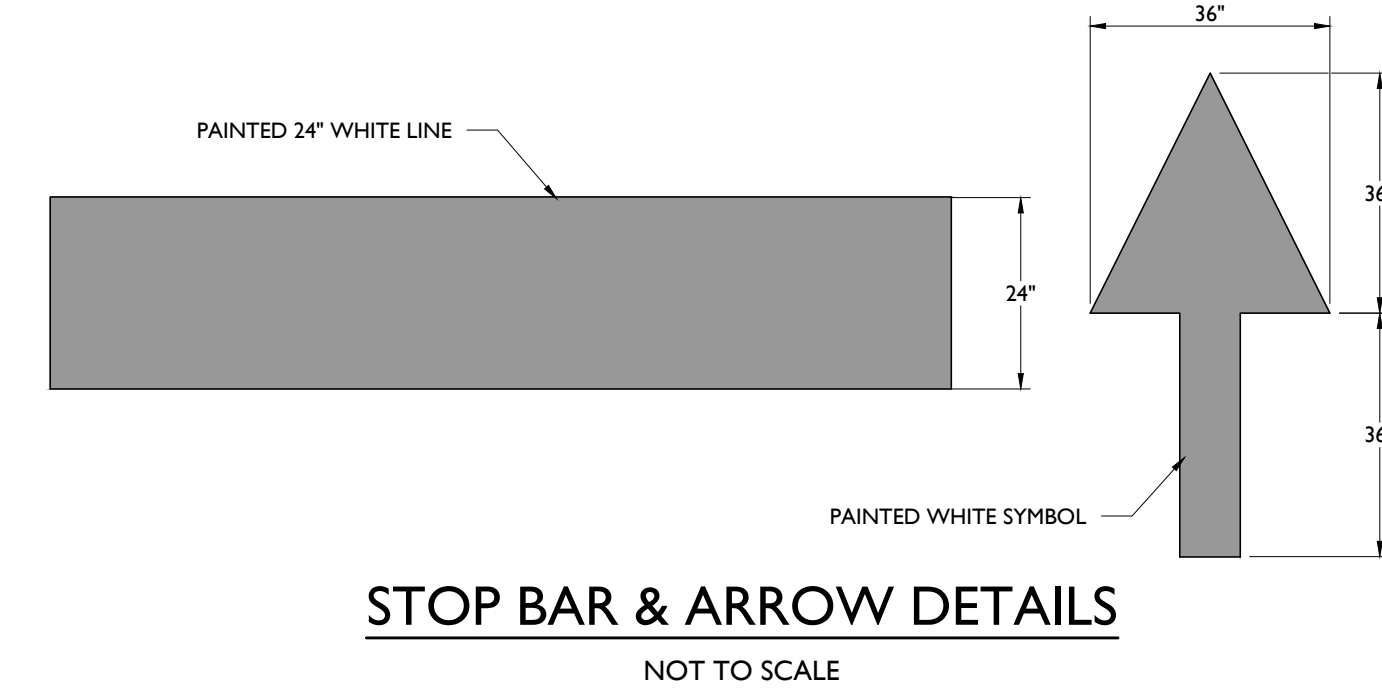
ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE



PARKING STALL MARKINGS
NOT TO SCALE



SIGN POST DETAIL
NOT TO SCALE

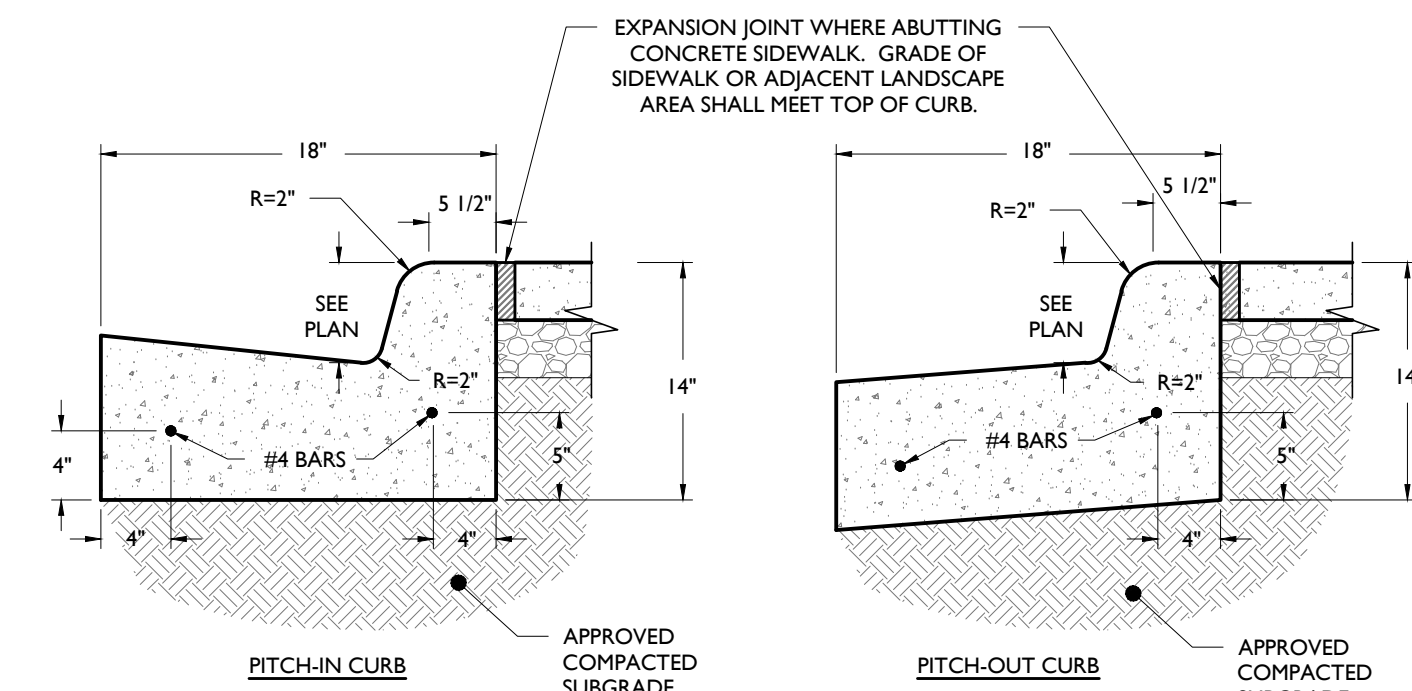


STOP BAR & ARROW DETAILS
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36" x 36"	GROUND

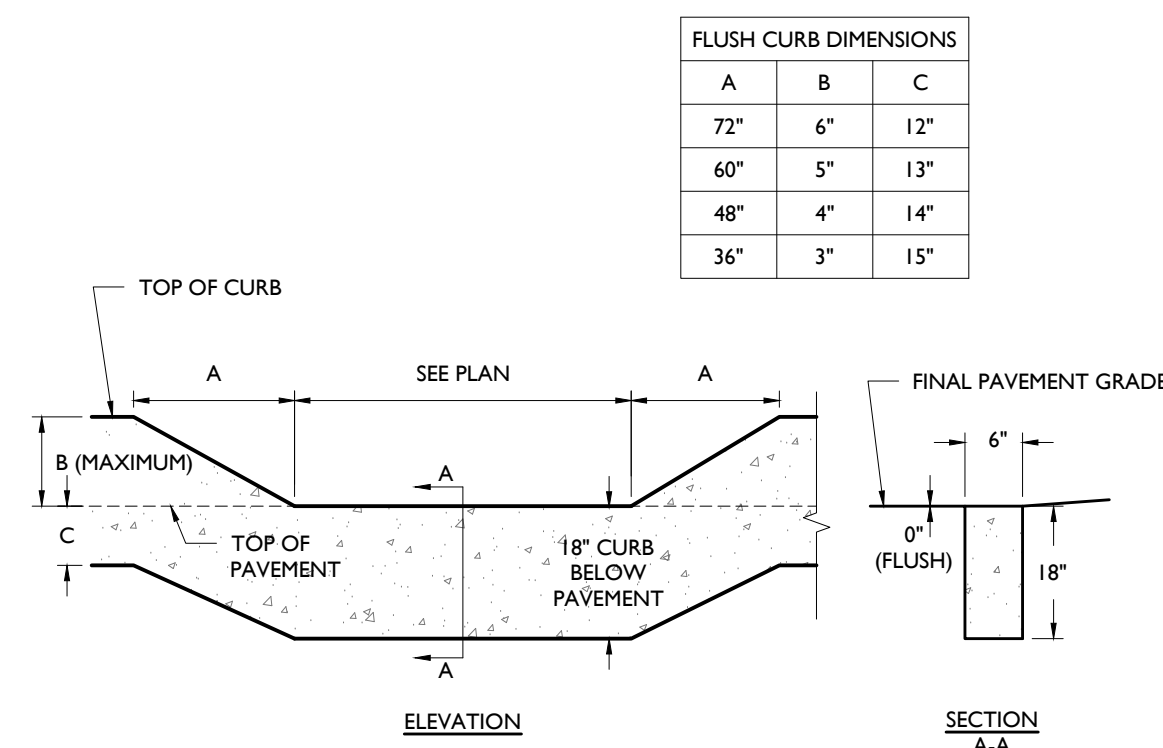
- NOTE:
- ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 - ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE

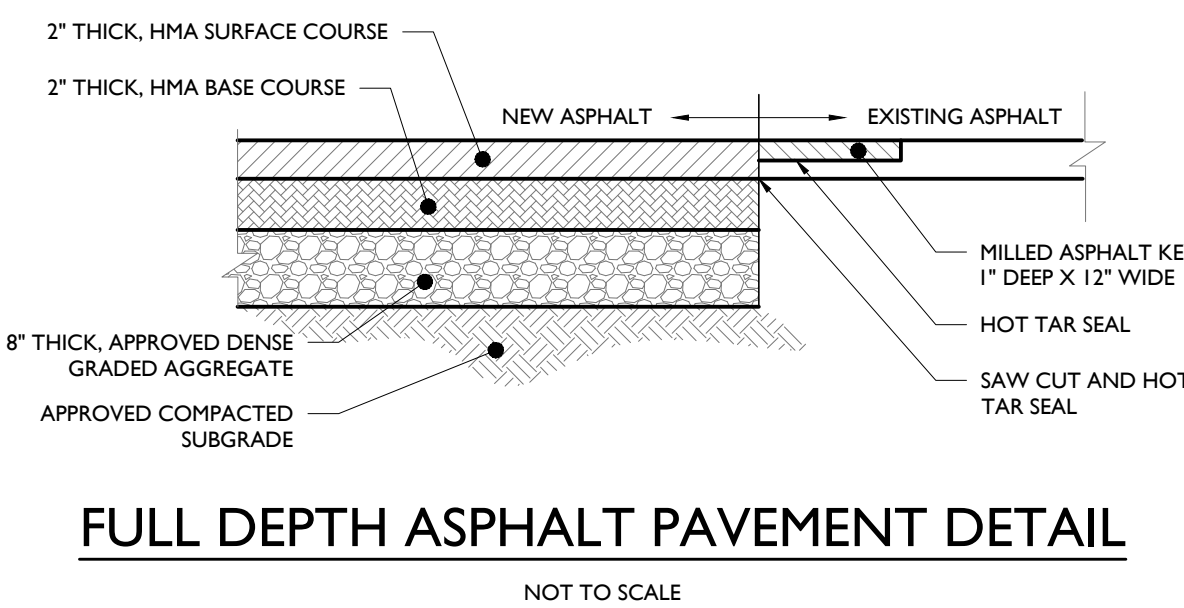


CONCRETE CURB AND GUTTER DETAIL
NOT TO SCALE

- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-HOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



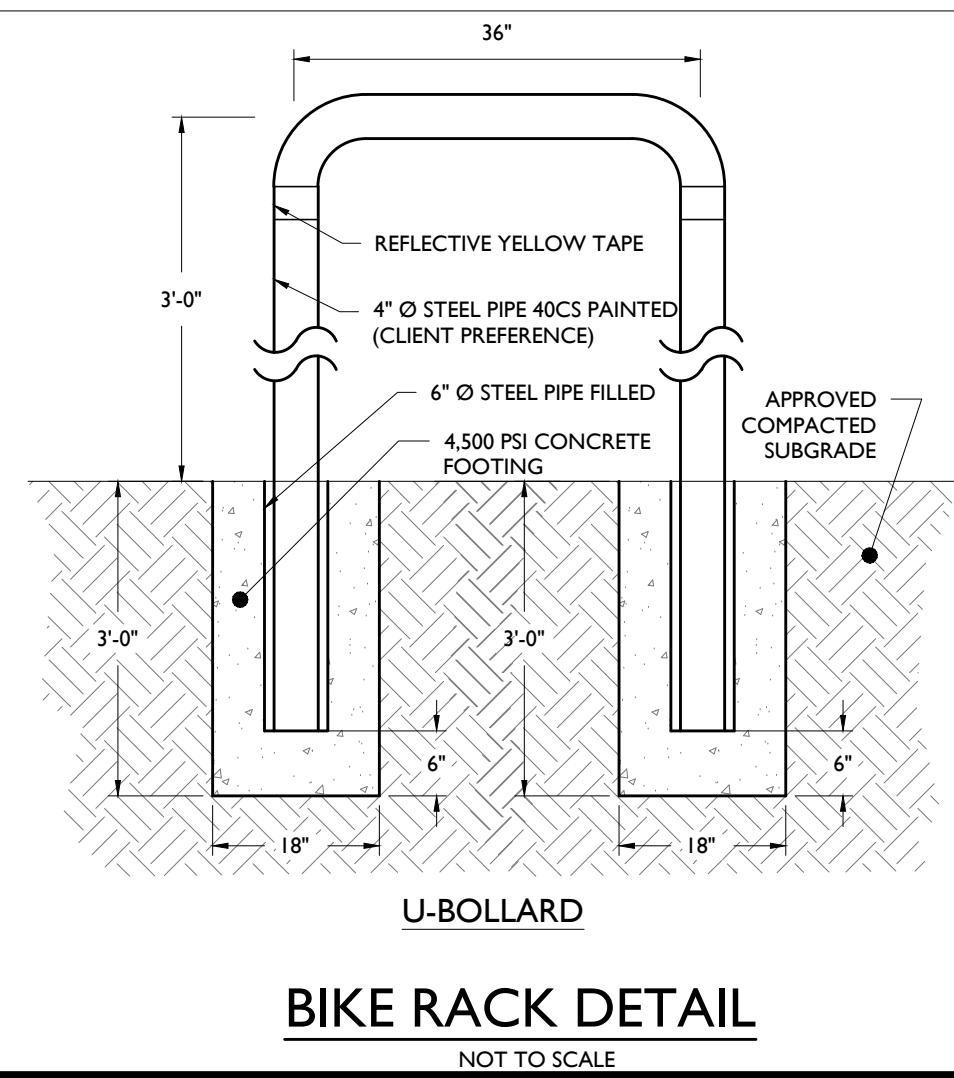
FLUSH CURB DETAIL
NOT TO SCALE



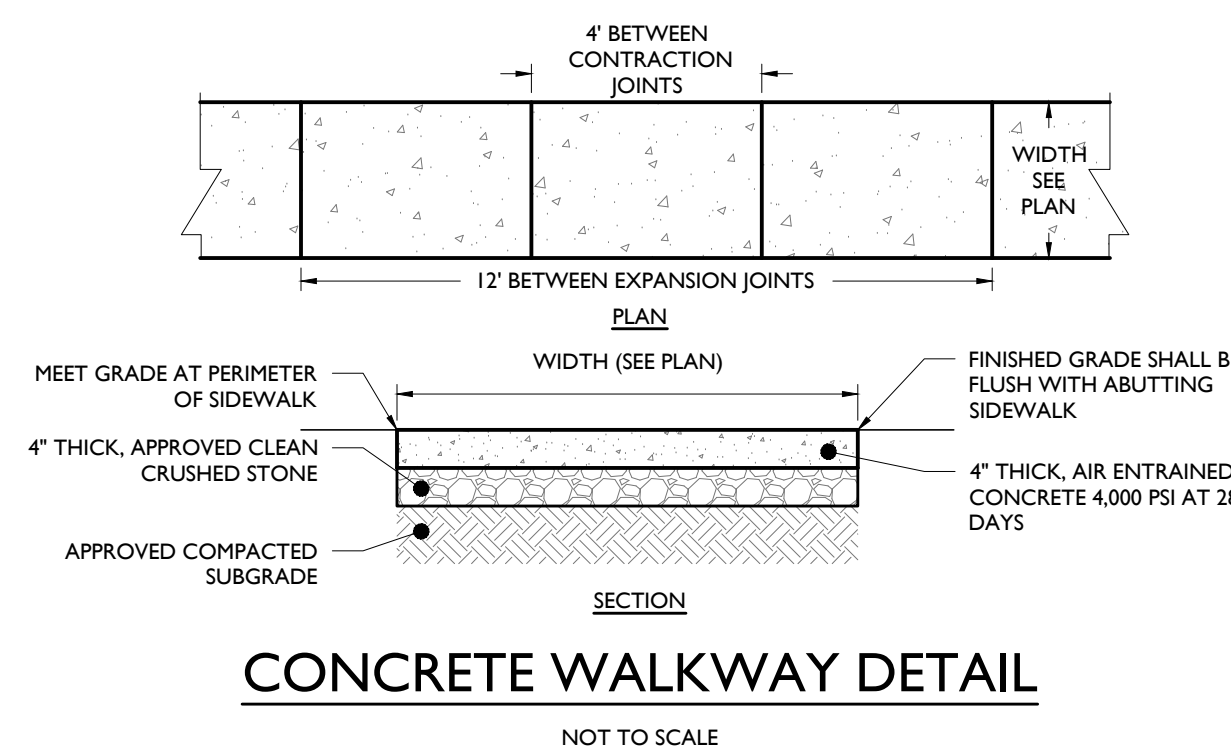
FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

- NOTE:
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

- PAVEMENT STRIPING & MARKINGS NOTES:
- ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
 - ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
 - PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
 - UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.

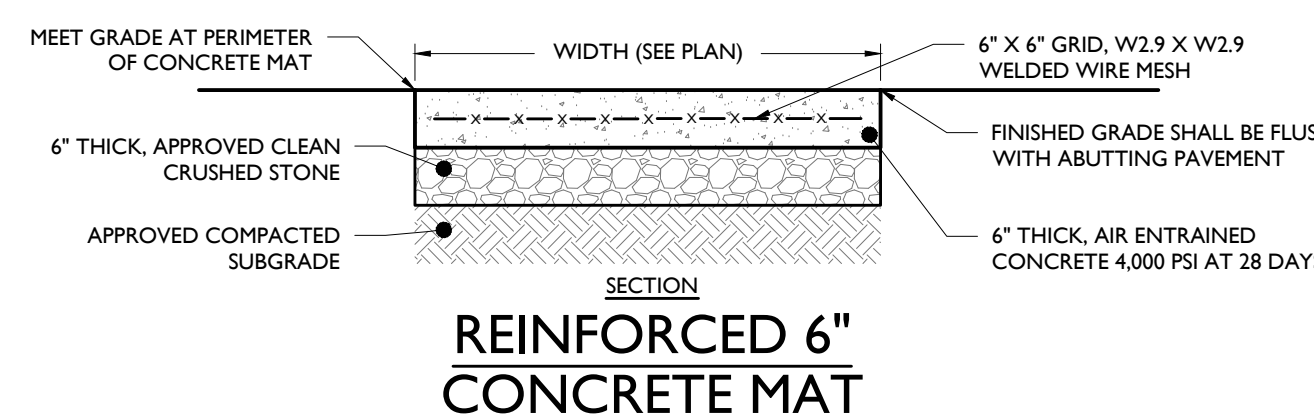


BIKE RACK DETAIL
NOT TO SCALE



CONCRETE WALKWAY DETAIL
NOT TO SCALE

- NOTES:
- MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 - 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-HOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 - 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 - EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



REINFORCED 6" CONCRETE MAT
NOT TO SCALE

- NOTES:
- 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-HOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 - 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 - CONCRETE SHALL RECEIVE BROOM FINISH.
 - ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.



7 FT TREX COMPOSITE FENCE DETAIL
NOT TO SCALE

SITE DEVELOPMENT PLANS
PET RESORT NOVI
PROPOSED PET BOARDING FACILITY

PID: 22-22-274-017
NOVI ROAD AND GEN MAR
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

REED COOKSEY P.E.
MICHIGAN LICENSE NO. 0201069428
LICENSED PROFESSIONAL ENGINEER

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SCALE: AS SHOWN PROJECT ID: DET-230040

TITLE:
CONSTRUCTION DETAILS

DRAWING:

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1	05/23/2023	NB		PRELIMINARY SITE PLAN APPROVAL

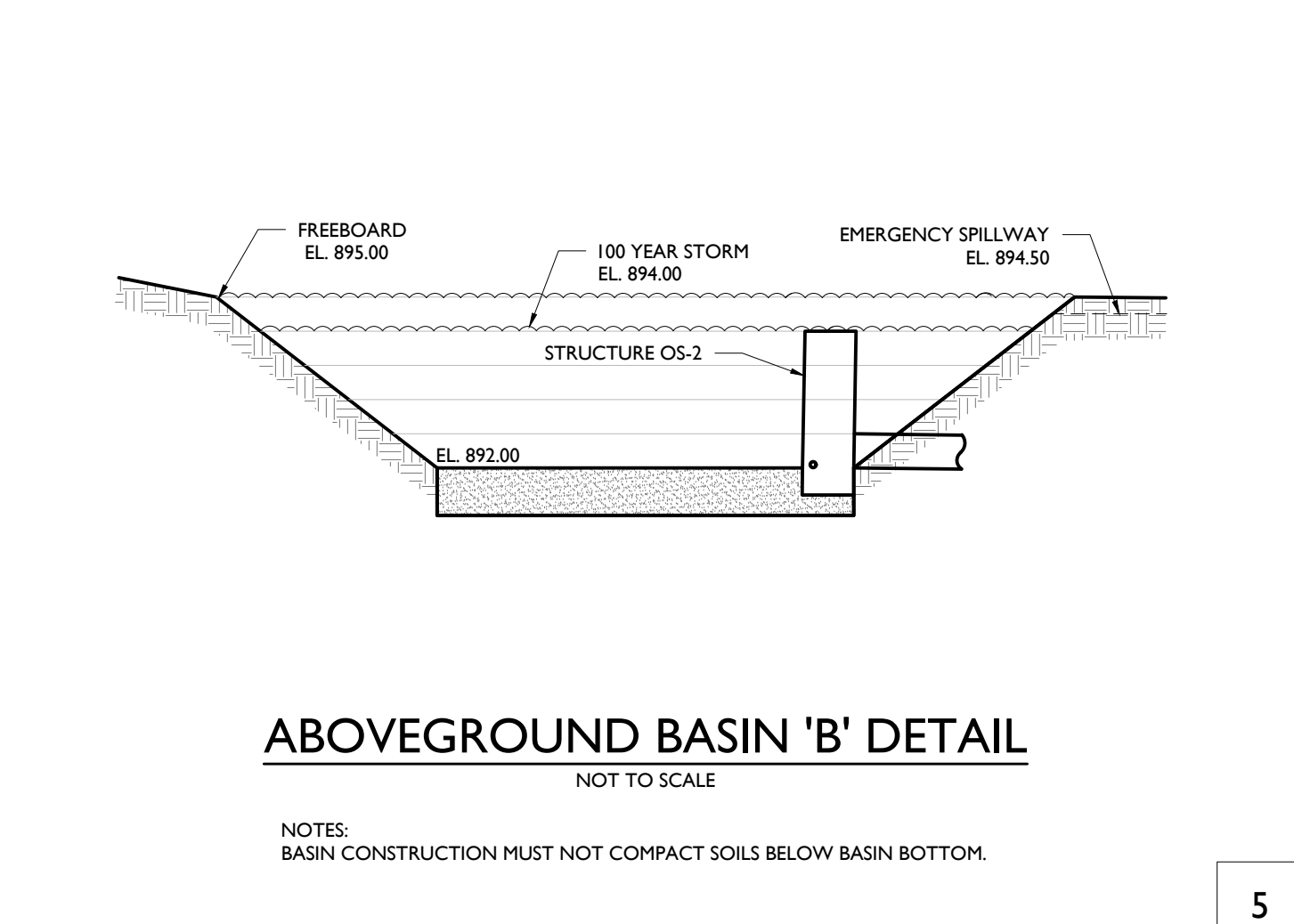
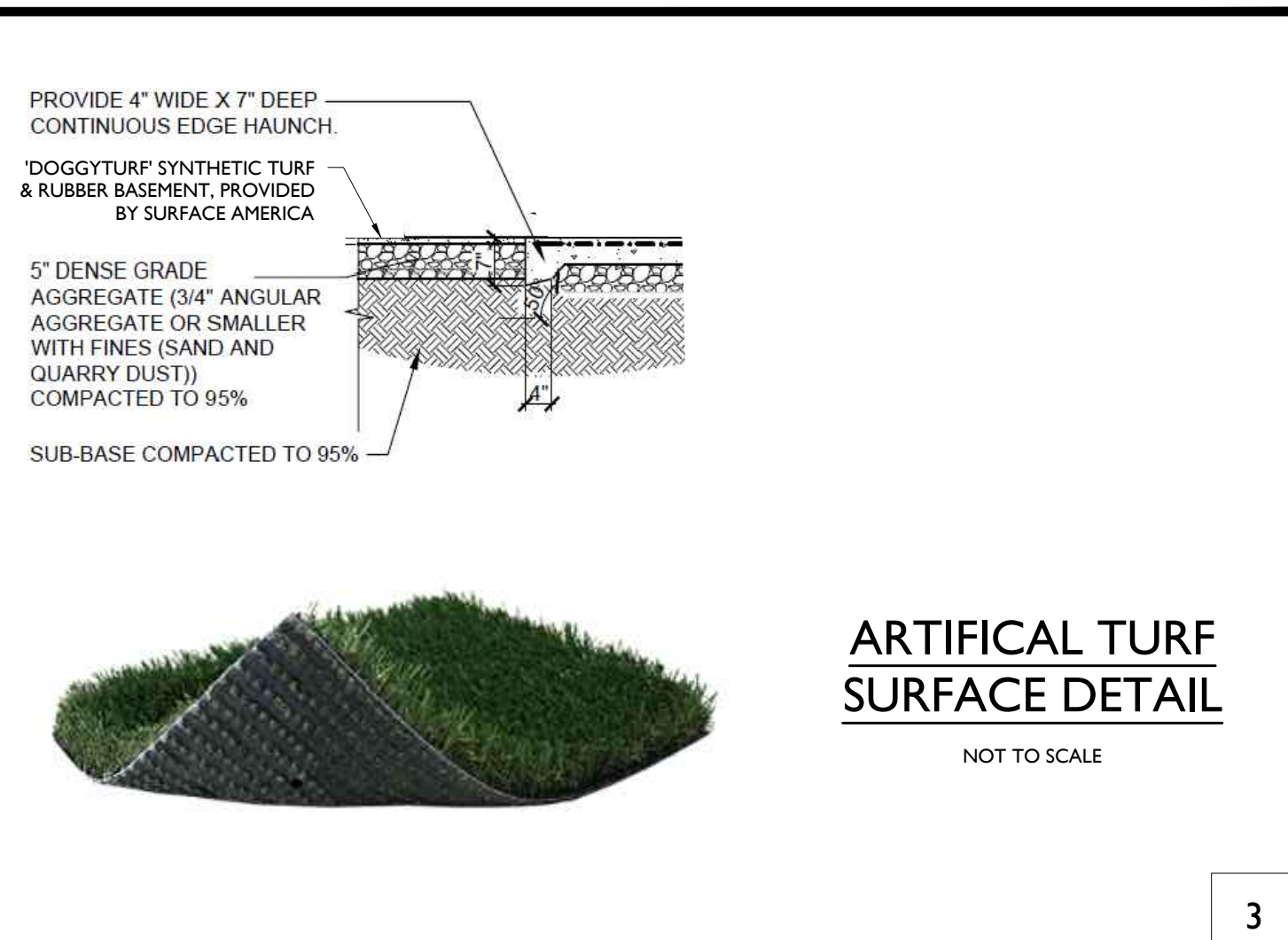
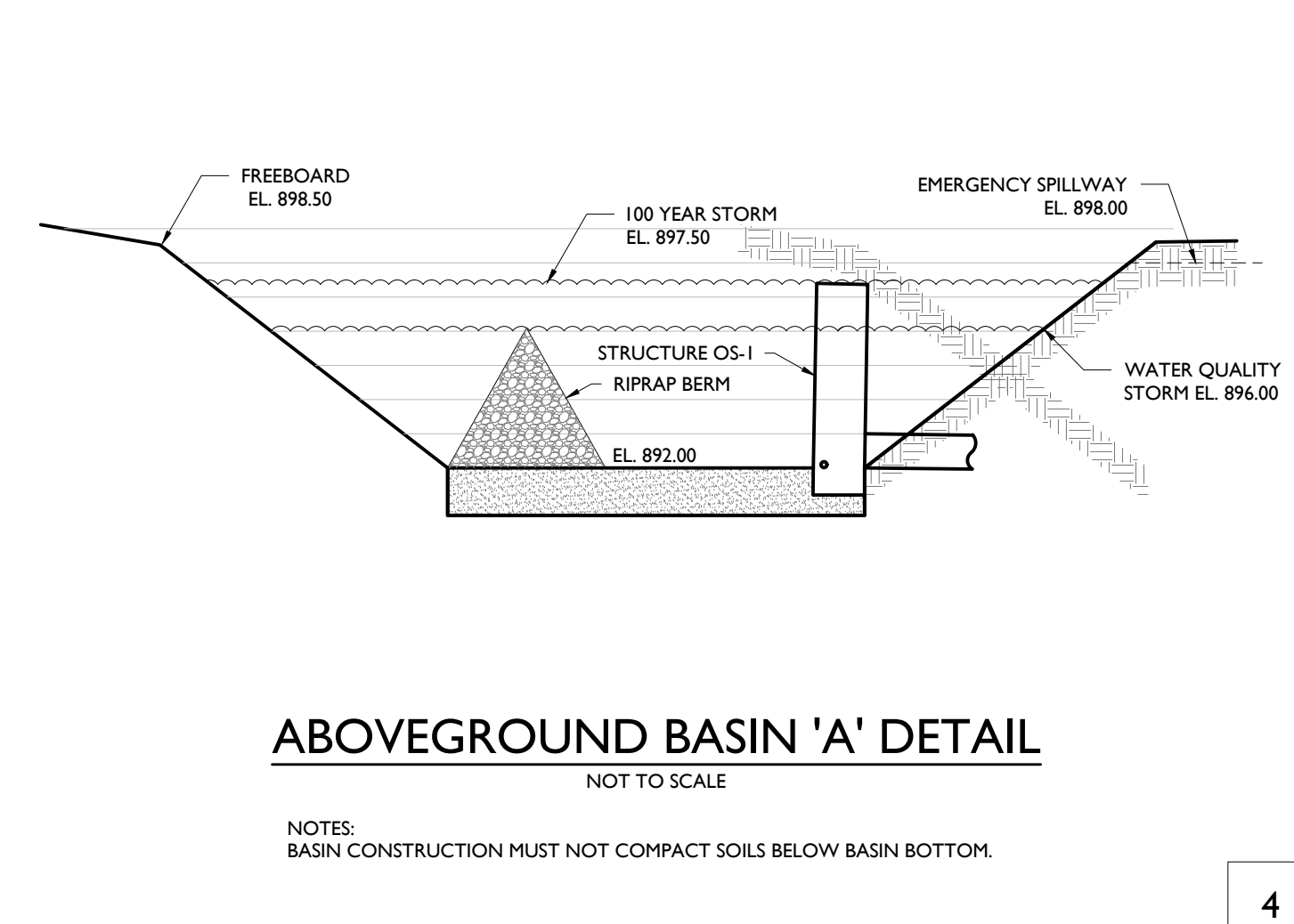
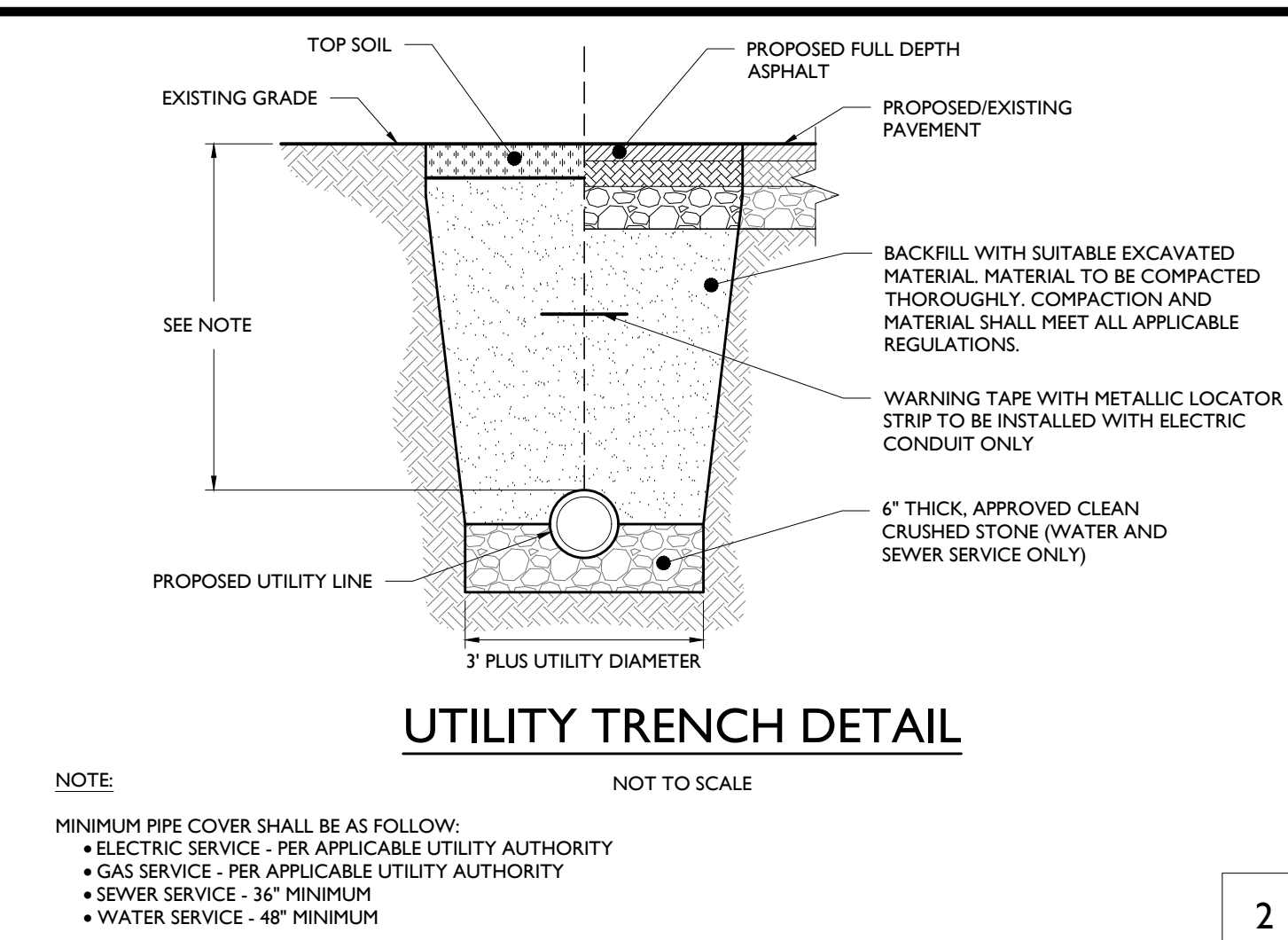
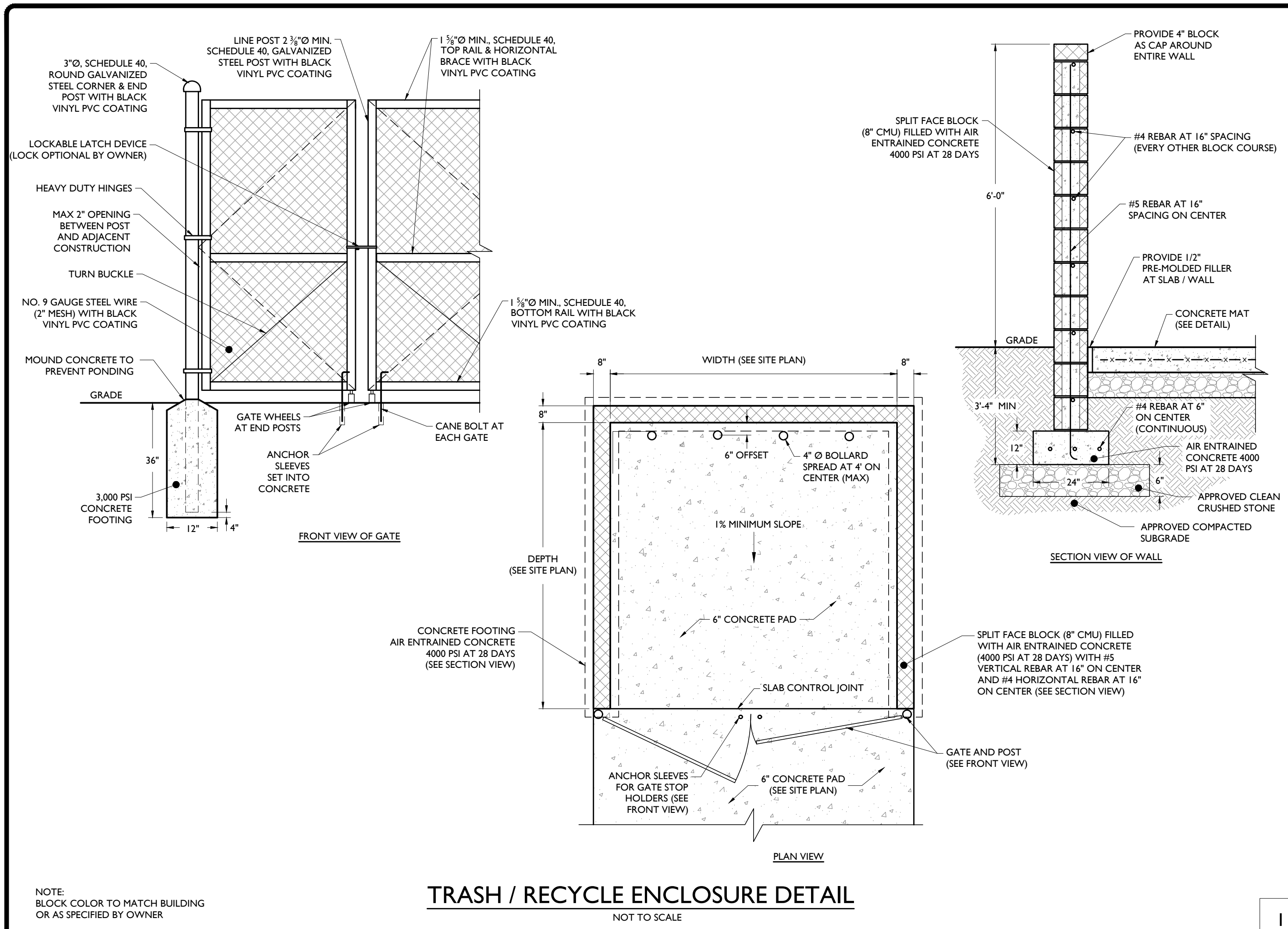
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TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL

Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation ²	Voltage	Driver
MRM - Mirada Medium Area Light	LED	9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms 55L - 55,000 lms Custom Lumen Packages ¹	SIL - Silicone	2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise	(blank) - standard L - Optics rotated left 90° R - Optics rotated right 90°	LUNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)

FIXTURE 'A' CUT SHEET

TYPICAL ORDER EXAMPLE: SSW LED 3L FT UNV DIM 40 BRZ PC

Prefix	Light Source	Lumen Package	Distribution	Voltage	Driver	Color Temperature / Rendering	Finish	Options
SSW - Small Commercial Wall	LED	3L - 3,000	3 - Type 3 FT - Forward Throw Type 4	UNV - Universal Voltage (120-277V)	DIM - 0-10V Dimming ²	40 - 4000K / 70 CRI 50 - 5000K / 70 CRI	BRZ - Bronze	Blank - None PCUNV - Button Photocontrol (120-277V)

FIXTURE 'B' CUT SHEET

NO.	DATE	BY	DESCRIPTION
2	07/19/2023	NB	RESUBMISSION FOR PRELIMINARY SITE PLAN APPROVAL
1	05/23/2023	NB	PRELIMINARY SITE PLAN APPROVAL

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SITE DEVELOPMENT PLANS

PET RESORT NOVI

PROPOSED PET BOARDING FACILITY

PID: 22-22-274-017
NOVI ROAD AND GEN MAR
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

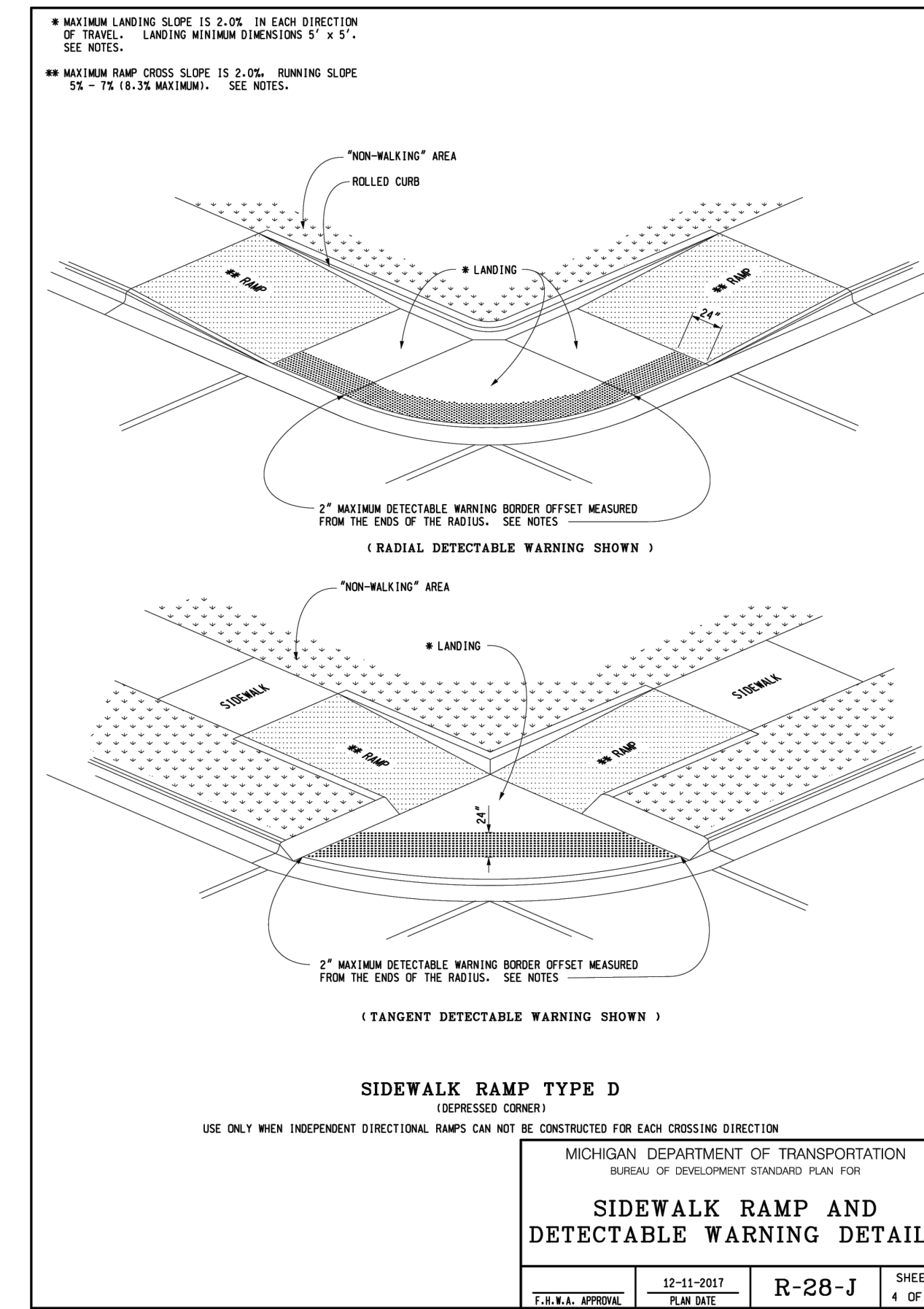
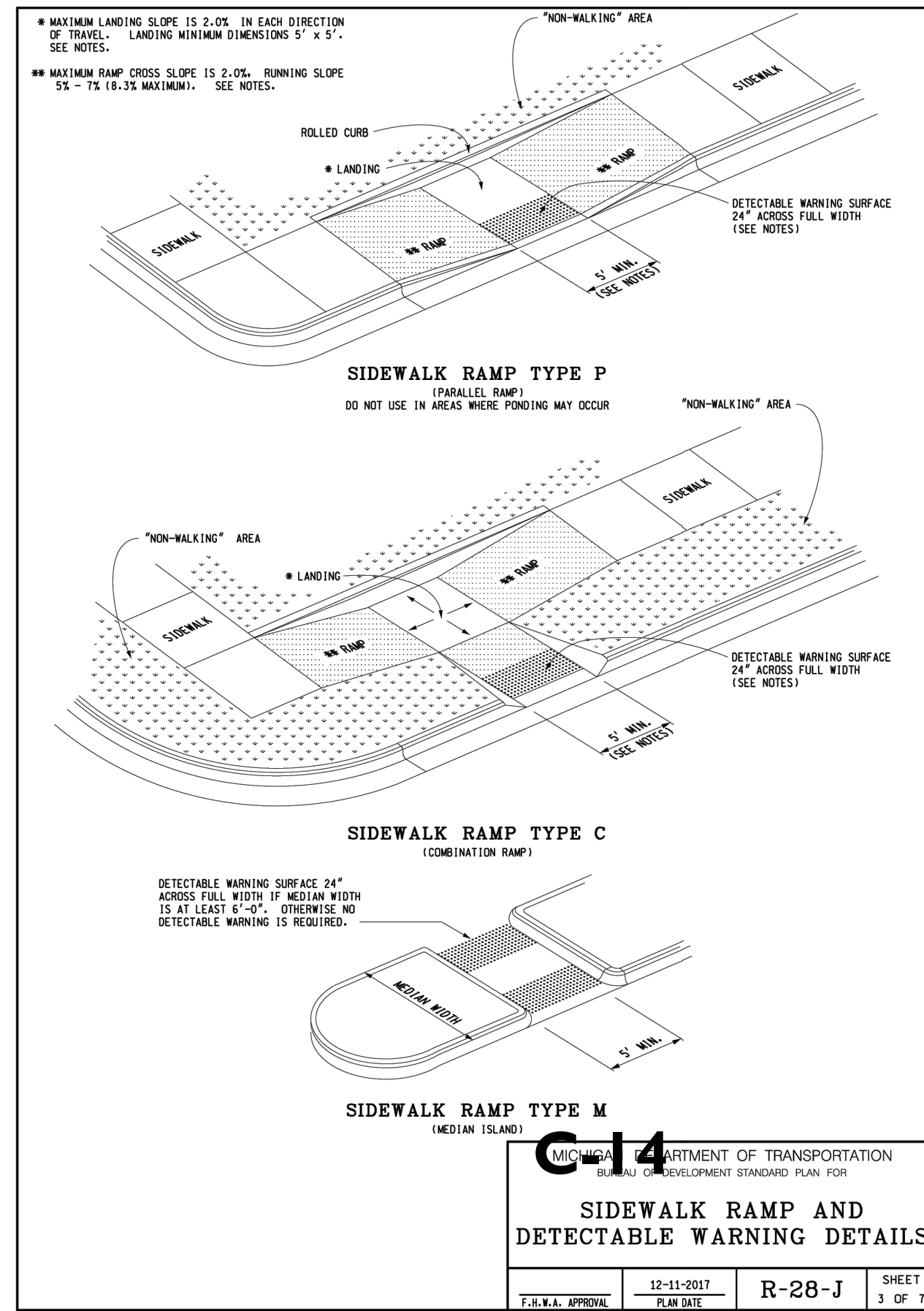
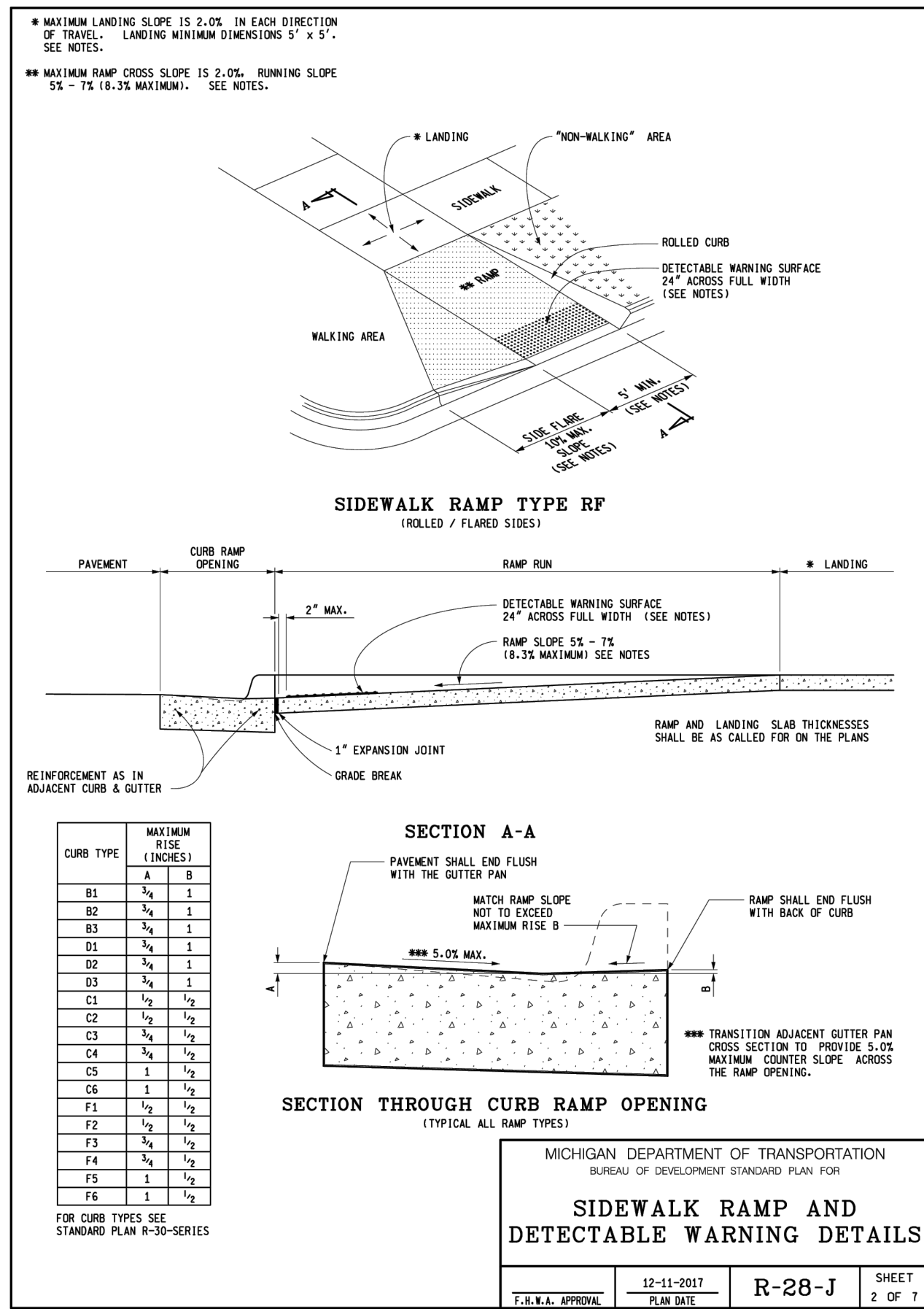
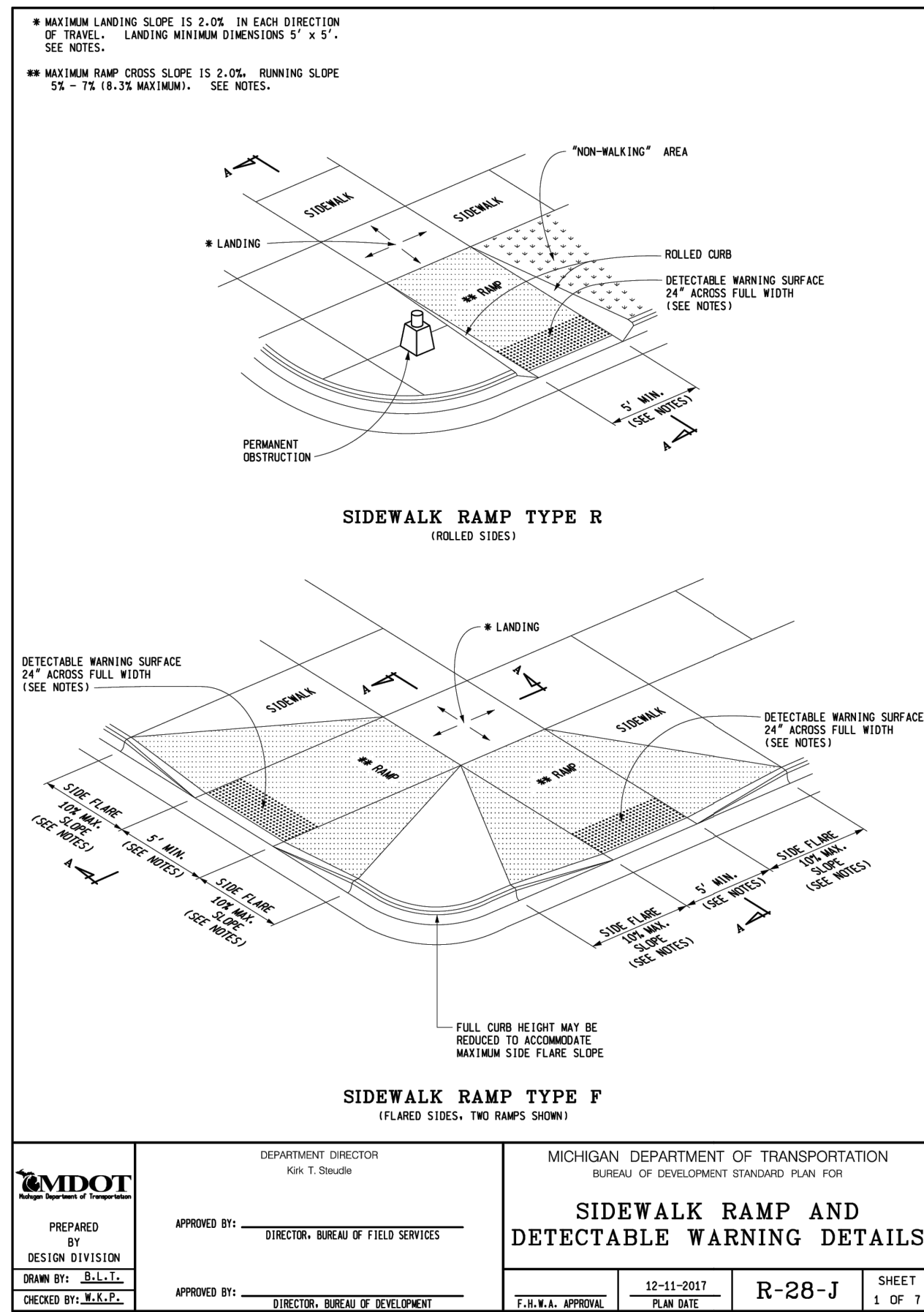
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TITLE: **CONSTRUCTION DETAILS**

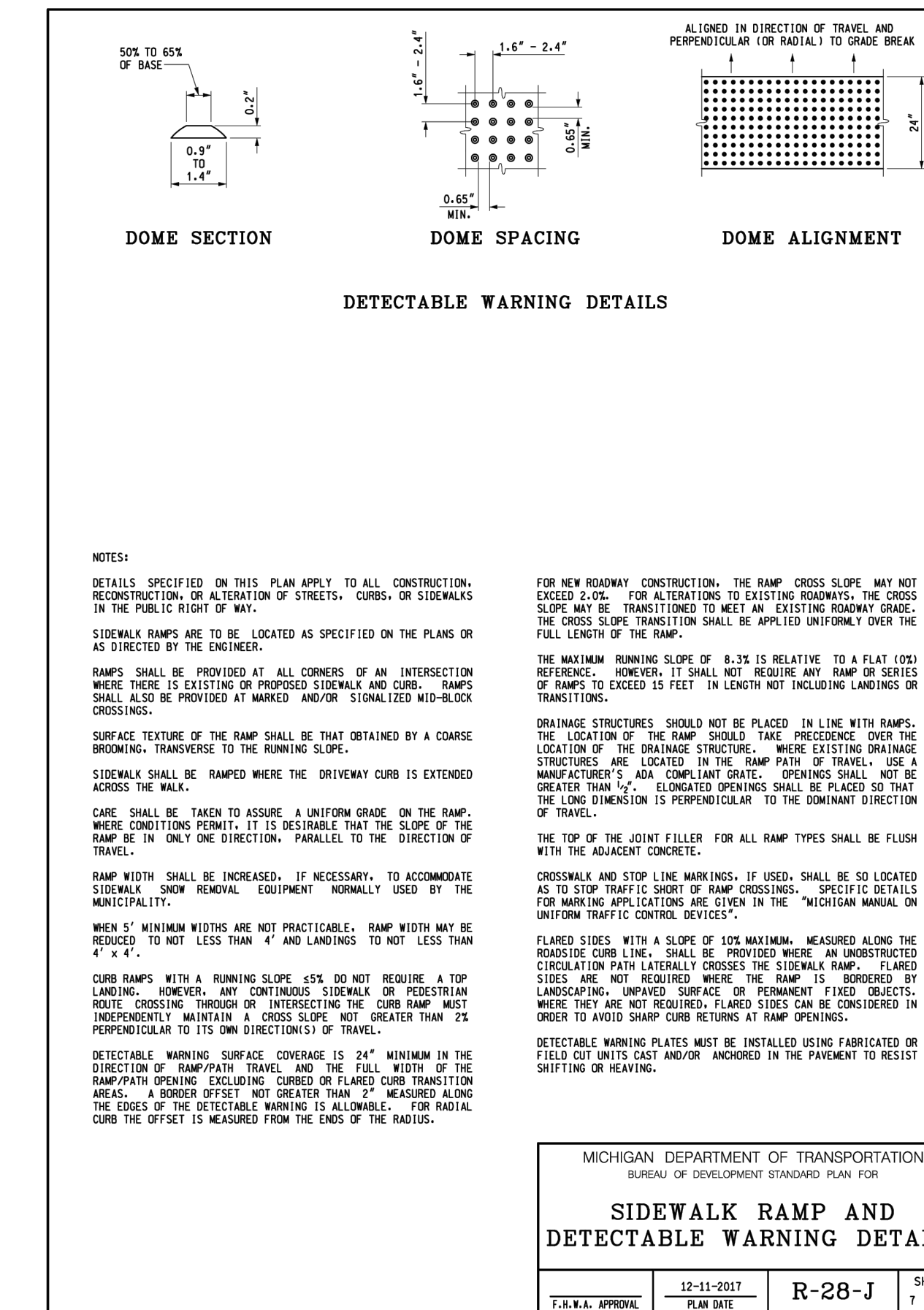
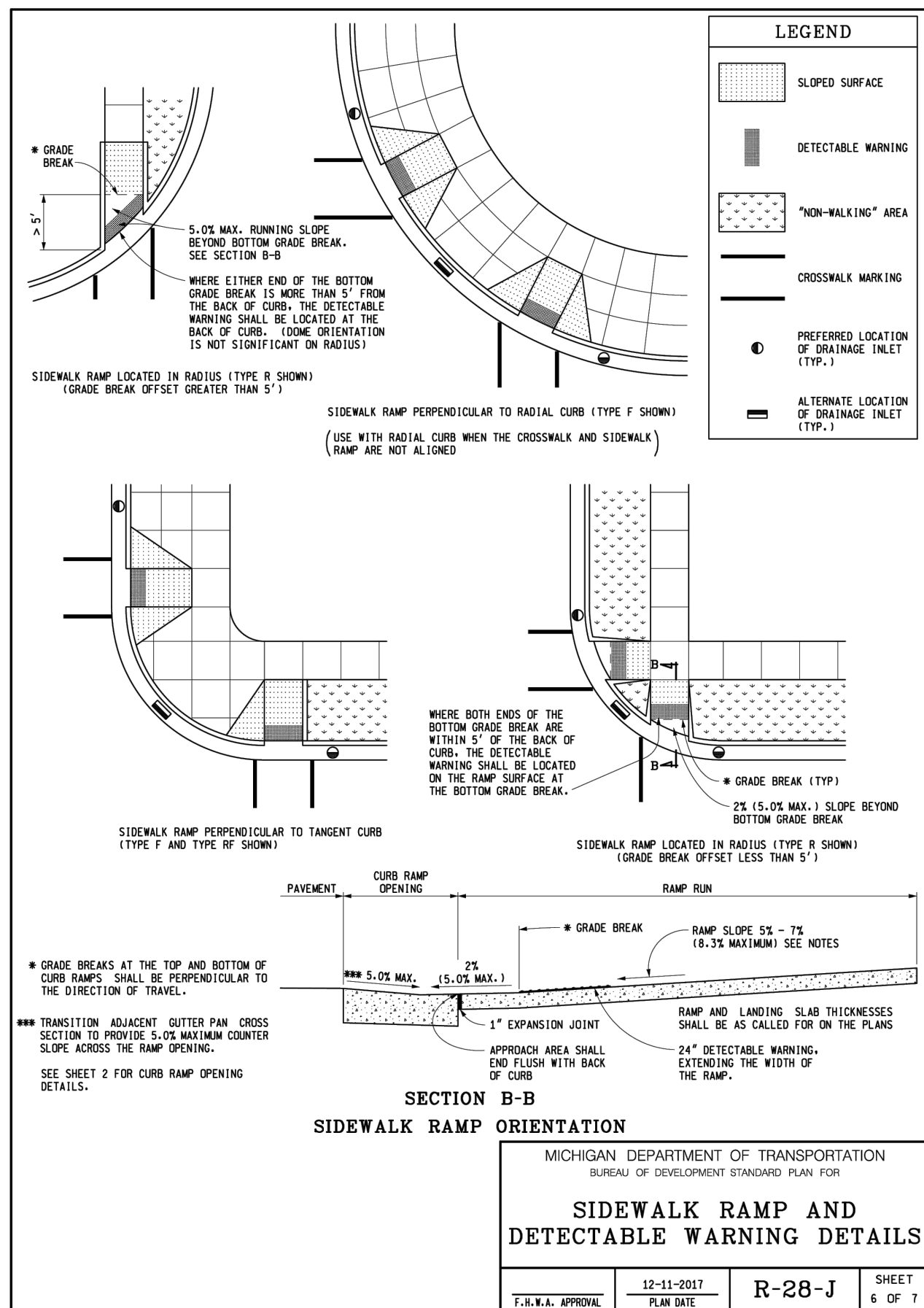
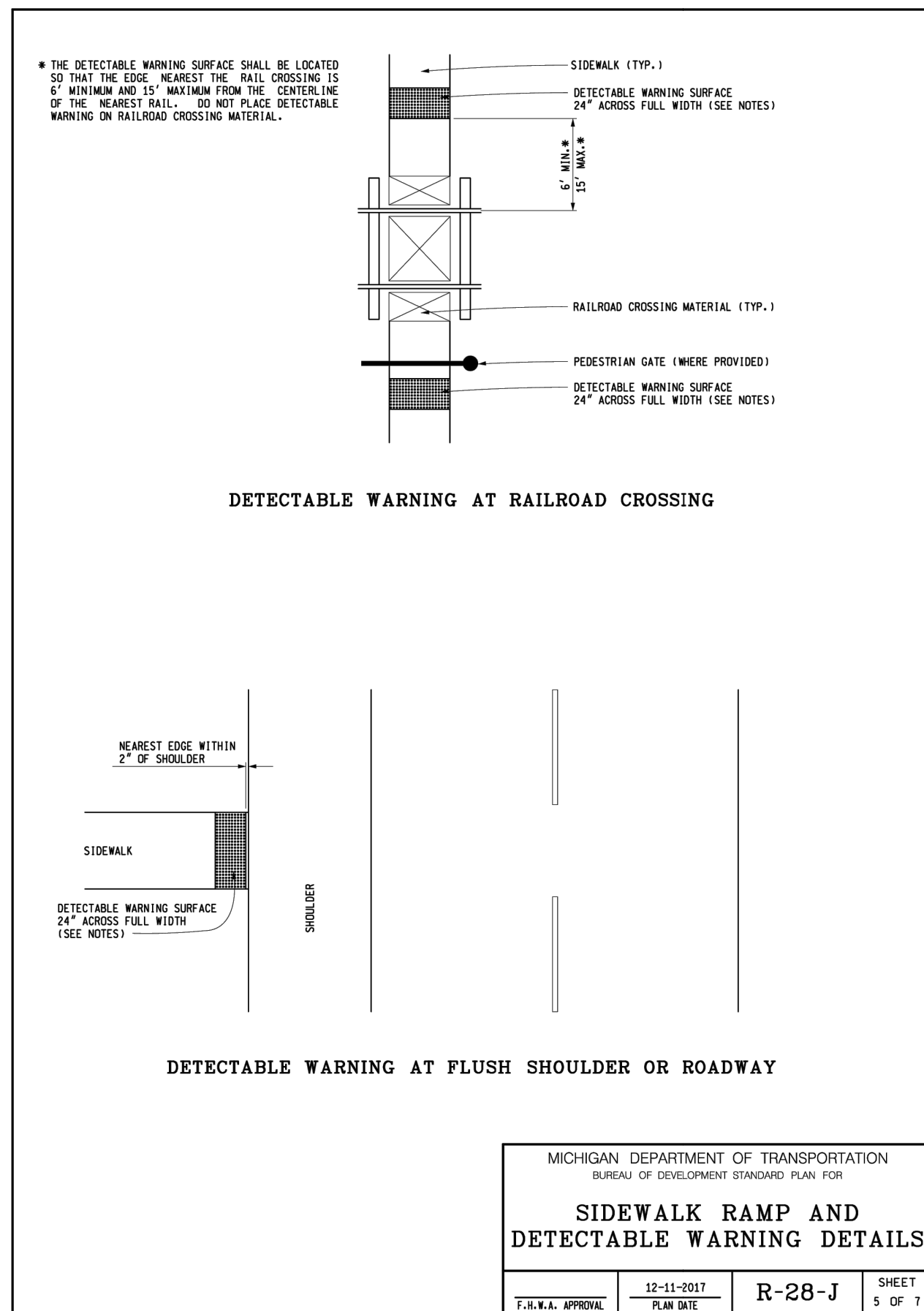
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MDOT SIDEWALK RAMP AND DETECTABLE WARNING STRIP DETAIL

NOT TO SCALE



MDOT SIDEWALK RAMP AND DETECTABLE WARNING STRIP DETAIL CONT.

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SITE DEVELOPMENT PLANS
PET RESORT NOVI
 PROPOSED PET BOARDING FACILITY

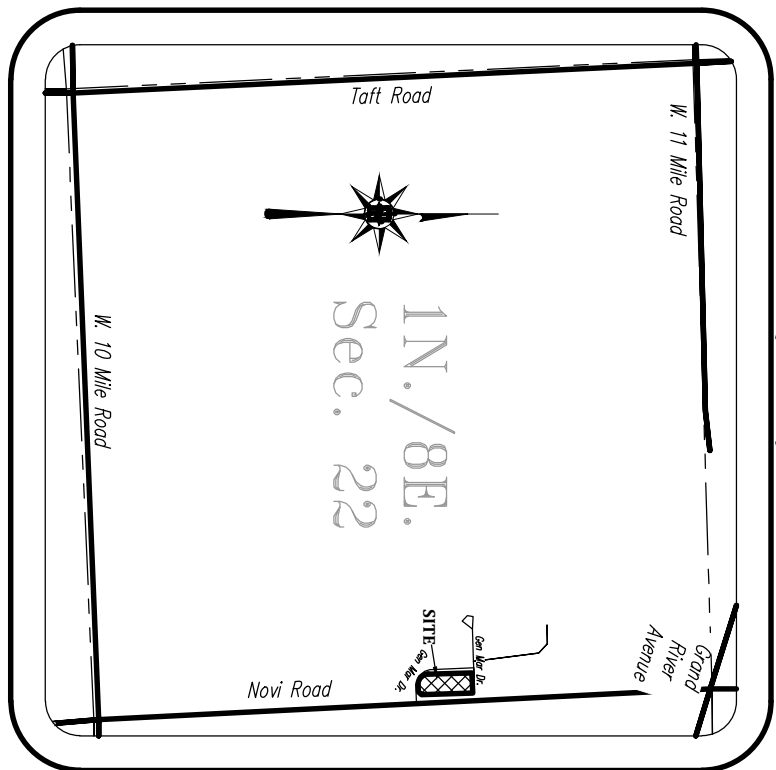
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STATE OF MICHIGAN
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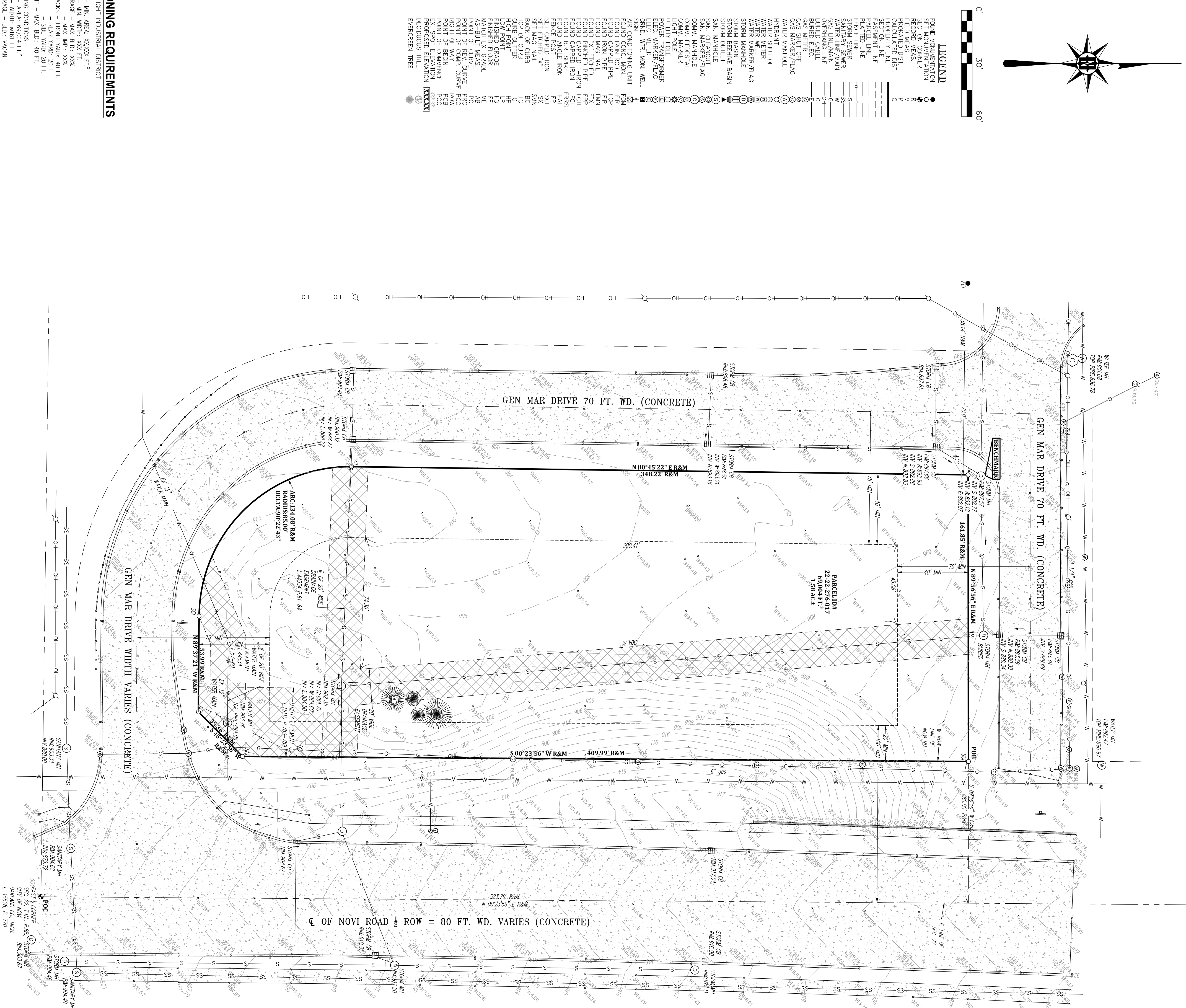
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 TITLE:
CONSTRUCTION DETAILS
 DRAWING:
C-14

SITE LOCATION MAP
(NOT SCALE)



BOUNDARY & TOPOGRAPHIC SURVEY
Parcel ID#22-22-276-017



- LEGEND**
- FOUND MONUMENTATION
 - SET MONUMENTATION
 - RECORD MONUMENTATION
 - RECORD WELLS
 - FIELD WELLS
 - CALCULATED DIST.
 - SECTION LINE
 - EASEMENT LINE
 - PLATTED LINE
 - FENCE LINE
 - SANITARY SEWER
 - WATER MAIN
 - OVERHANG LINE
 - BURIED ELEC.
 - GAS METER
 - GAS MARKER/FLAG
 - WATER MARKER/FLAG
 - WATER MAINHOLE
 - WATER METER
 - WATER METER FLAG
 - WATER MARKER/FLAG
 - STORM MANHOLE
 - STORM BASIN
 - STORM OUTLET
 - S.M. MARKER
 - S.M. MARKER/FLAG
 - C.O.M. MARKER
 - C.O.M. MARKER
 - LIGHT POLE
 - POWER TRANSFORMER
 - ELEC. MARKER/FLAG
 - GRND. WTR. MON. WELL
 - AIR CONDITIONING UNIT
 - FOUND CONC. MON.
 - FOUND CAPPED PIPE
 - FOUND R.O.N. PIPE
 - FOUND R.O.N. PIPE
 - FOUND "X" ETCHED
 - FOUND "X" ETCHED
 - FOUND "X" ETCHED
 - FOUND GAPPED IRON
 - FOUND ANGLE IRON
 - FENCE POST IRON
 - SET IRON
 - SET MAG. NAIL
 - TOP OF CURB
 - DIRT COLLAR
 - LOW POINT
 - FINISHED FLOOR
 - VAULT EX. GRADE
 - POINT OF CURVE
 - POINT OF BEGIN. CURVE
 - POINT OF END. CURVE
 - POINT OF WAY. CHANGE
 - POINT OF COMENCE
 - EX. SPOT ELEVATION
 - DECADUOUS TREE
 - EVERGREEN TREE

- ZONING REQUIREMENTS**
- I-1 LIGHT INDUSTRIAL DISTRICT
- LOT - MIN. AREA: XXXXX FT²
 - CONCRETE - MAX. BLD.: XXX
 - STREETS - FRONT YARD: 40 FT.
 - REAR YARD: 20 FT.
 - HEIGHT - MAX. BLD.: 40 FT.
- EXISTING CONDITIONS
- LOT - AREA: 65,004 FT²
 - LOT - WIDTH: 648 FT.
 - CONCRETE - BLD. W/ASNT

BENCHMARK:

BM 2211 ON NORTH RIM OF SANITARY MANHOLE LOCATED ACROSS FROM INTERSECTION OF CENTERLINE OF NOV ROAD AND 80 FEET NORTH OF CENTERLINE OF GEN-MAR.

ELEVATION = 892.08980 NAVD88

NOTE:

1. BENCHMARK IS LOCATED 7 FEET NORTH AND 1 FEET FROM THE NORTHWESTERLY MOST PROPERTY CORNER.

ELEVATION = 897.57 NAVD88

LEGAL DESCRIPTION

PARCEL ID# 22-22-276-017

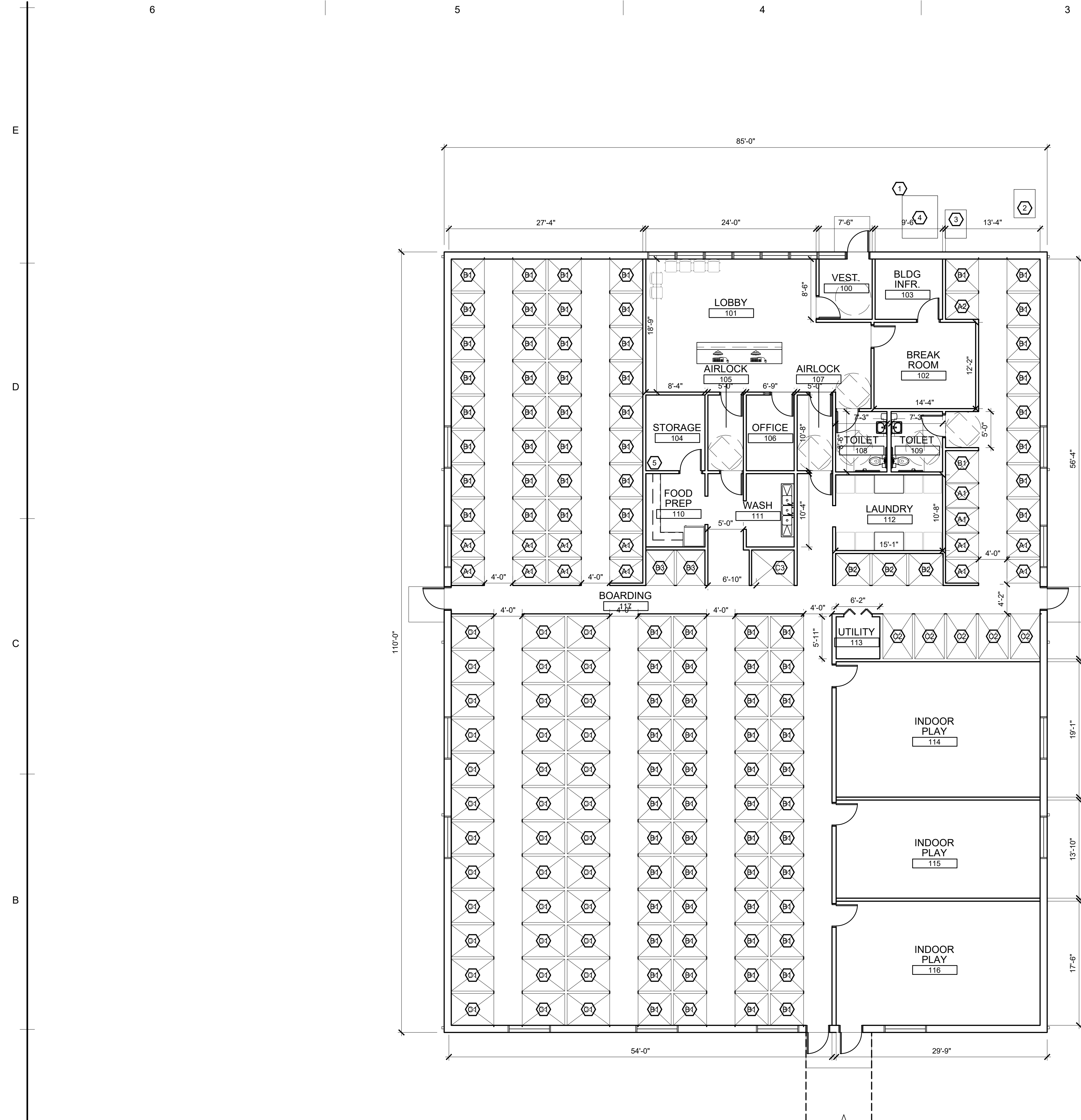
A PARCEL OF LAND BEING PART OF THE NORTHEAST 1/4 OF SECTION 22, OF TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOV, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 22; THENCE NORTH 00 DEGREES 23 MINUTES 56 SECONDS EAST 523.79 FEET ALONG THE EAST LINE OF SAID SECTION 22, SAID LINE ALSO BEING CENTERLINE OF GEN MAR DRIVE; THENCE SOUTH 00 DEGREES 23 MINUTES 56 SECONDS WEST 409.99 FEET ALONG THE WESTERLY RIGHT OF WAY TO A POINT ON THE RIGHT OF WAY LINE GEN MAR DRIVE (VARIABLE WIDTH); THENCE ALONG SAID RIGHT OF WAY LINE THE FOLLOWING FIVE (5) CALLS: (1) SOUTH 45 DEGREES 23 MINUTES 18 SECONDS WEST 35.58 FEET; (2) SOUTH 85 DEGREES 31 MINUTES 53 SECONDS WEST 49.86 FEET; (3) SOUTH 43 DEGREES 22 MINUTES 43 SECONDS EAST 349.22 FEET; (4) NORTH 89 DEGREES 56 SECONDS WEST 170.60 FEET; (5) NORTH 00 DEGREES 45 MINUTES 22 SECONDS EAST 159.84 FEET; (6) SOUTH 44 DEGREES 22 MINUTES 43 SECONDS WEST 170.60 FEET; (7) NORTH 89 DEGREES 56 SECONDS EAST 161.85 FEET TO THE POINT OF BEGINNING CONTAINING 1.59 ACRES OF LAND MORE OR LESS, ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF USE ON RECORD.



SECTION:	N.E. 1/4 Sec. 22	DATE:	3/15/23	CLIENT:	DC 121 Inc - Christopher Aulepp 114 Beddingham Court Saline, MI 48151
T.N./R.G.E.:	1N./8E.	PROJ. #:	023-010	DWG. BY:	JCP
CITY/TWP:	Novi	COUNTY:	Oakland	SCALE:	1 INCH = 30 FEET
				PAGE:	1 OF 1

I, Michael J. Nowry, a Professional Surveyor in the State of Michigan do hereby certify that the parcel of land described and delineated herein has been surveyed under my supervision, that the plot hereon is a true representation of the survey as performed, that the error of closure is no greater than 1 in 5000 and that I have fully complied with the requirements of Section 3, Public Act 132 of 1970.

Michael J. Nowry Professional Surveyor # 52472



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS, IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATMS.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS. MINIMUM 2 LOCATIONS EACH WALL, TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)

FLOOR PLAN KEY LEGEND:

- 1 REFER TO LANDSCAPE PLAN FOR SCREENING
- 2 NEW BUILDING TRANSFORMER
- 3 MAKE UP AIR UNIT
- 4 GROUND MTD RTU
- 5 LADDER TO STORAGE MEZZANINE ABOVE

KENNEL MATRIX:

- A1 14 SMALL - 4'-8" X 3'-4"
- A2 1 SMALL - 4'-8" X 3'-8"
- B1 90 MEDIUM - 4'-8" X 4'-6"
- B2 3 MEDIUM - 4'-10" X 4'-6"
- B3 2 MEDIUM - 5'-0" X 4'-0"
- C1 36 LARGE - 6'-0" X 4'-6"
- C2 5 LARGE - 6'-4" X 4'-2"
- C3 1 LARGE - 6'-0" X 5'-0"
- 152 TOTAL



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
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WWW.STUCKYVITALE.COM

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Consultants:

Project :
PET RESORT | NOVI
NOVI RD. & GEN MAR DR.
NOVI, MI 48375

Issued for :
SITE PLAN APPROVAL
07.21.23

Drawn by :
SVA
Checked by :
JAV, MJB, AJD
Sheet Title :
FLOOR PLAN

Project No. :
2023.030

Sheet No. :
A1.1

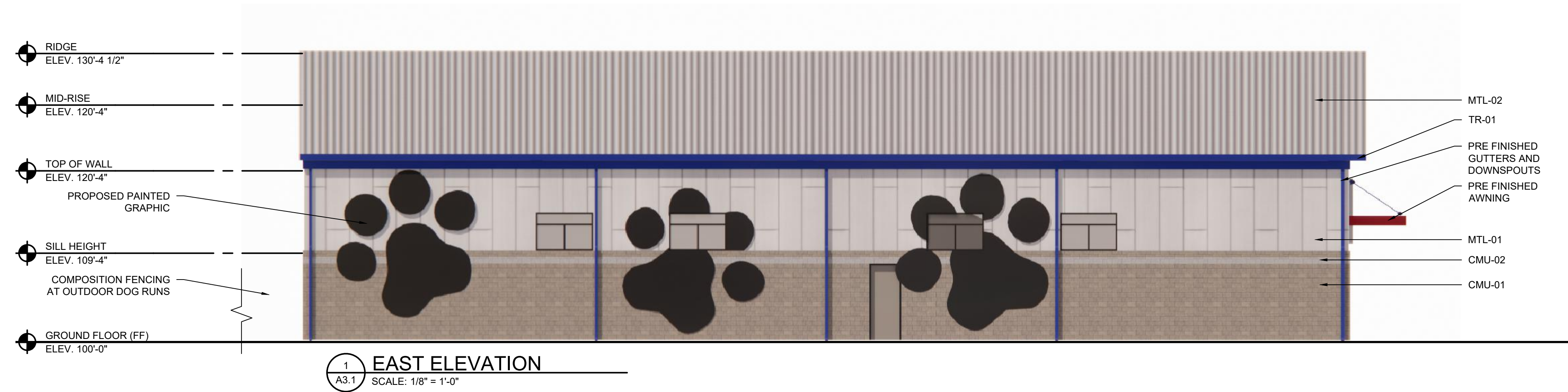
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1 WEST ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

LIST OF MATERIALS	
CMU-01	DESCRIPTION: INTEGRAL COLOR MASONRY TYPE: SPLIT FACE COLOR: FAWN
CMU-02	DESCRIPTION: INTEGRAL COLOR MASONRY TYPE: SPLIT FACE COLOR: CHARDONNAY
MTL-01	DESCRIPTION: PREFINISHED FLAT FACE METAL PANEL COLOR: ALABASTER
MTL-02	DESCRIPTION: STANDING SEAM METAL ROOFING COLOR: PURE WHITE
TR-01	DESCRIPTION: METAL TRIM COLOR: REGAL BLUE

FACADE MATERIAL PERCENTAGES	
CMU	32% TOTAL COVERAGE
MTL-01 FLAT METAL PANEL	38% TOTAL COVERAGE
MTL-02 STANDING SEAM METAL ROOF	24% TOTAL COVERAGE
TR-01 TRIM	6% TOTAL COVERAGE

SVA
 STUCKY VITALE ARCHITECTS
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Consultants:

Project :
 PET RESORT | NOVI
 NOVI RD. & GEN MAR DR.
 NOVI, MI 48375

Issued for :
 SITE PLAN APPROVAL
 07.21.23

Drawn by :
 KSH
 Checked by :
 JAV, MJB
 Sheet Title :
 EXTERIOR
 ELEVATIONS

Project No. :
 2023.030

Sheet No. :
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