



## AUDI SERVICE CENTER JSP23-40

### **JSP23-40 AUDI SERVICE CENTER**

Consideration of Preliminary Site Plan and Storm Water Management Plan approval at the request of Lithia Motors, Inc. for a partial demolition and renovation of an existing auto service center. The subject property is approximately 8.15 acres and is located north of Ten Mile Road on the west side of Haggerty Road in the B-3, General Business District. The applicant is proposing to demolish a part of an existing building in the southwest portion of the site and remodel the remainder of the building, in addition to the construction and reconstruction of an approximately 77,537 square foot parking lot. The remodeled service center would be used by the proposed Audi dealership abutting the south side of the site.

### **Required Action**

Approve/Deny the Preliminary Site Plan and Storm Water Management Plan.

<b>REVIEW</b>	<b>RESULT</b>	<b>DATE</b>	<b>COMMENTS</b>
Planning	Approval recommended	10-6-23	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Engineering	Approval recommended	10-6-23	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant at Electronic Stamping Set submittal</li> </ul>
Landscaping	Approval recommended	9-26-23	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Traffic	Approval recommended	10-9-22	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant at Electronic Stamping Set submittal</li> </ul>
Façade	Approval recommended	10-9-23	<ul style="list-style-type: none"> <li>• Preliminary and Final Site plan approved</li> </ul>
Fire	Approval recommended	10-2-22	<ul style="list-style-type: none"> <li>• Preliminary and Final Site plan approved</li> </ul>

## **MOTION SHEET**

### **Approval – Preliminary Site Plan**

In the matter of Audi Service Center, JSP23-40, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Planning Commission approval of the shared loading zone area between Audi Service Center and Porsche of Novi (proposed loading area of 1,800 square feet is of a sufficient size for each building separately, and the buildings are located on the same site);
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- c. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**– AND –**

### **Approval – Stormwater Management Plan**

In the matter of Audi Service Center, JSP23-40, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**– OR –**

### **Denial – Preliminary Site Plan**

In the matter of Audi Service Center, JSP23-40, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**– AND –**

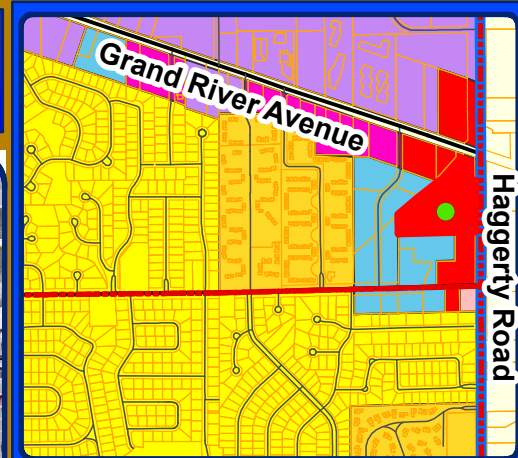
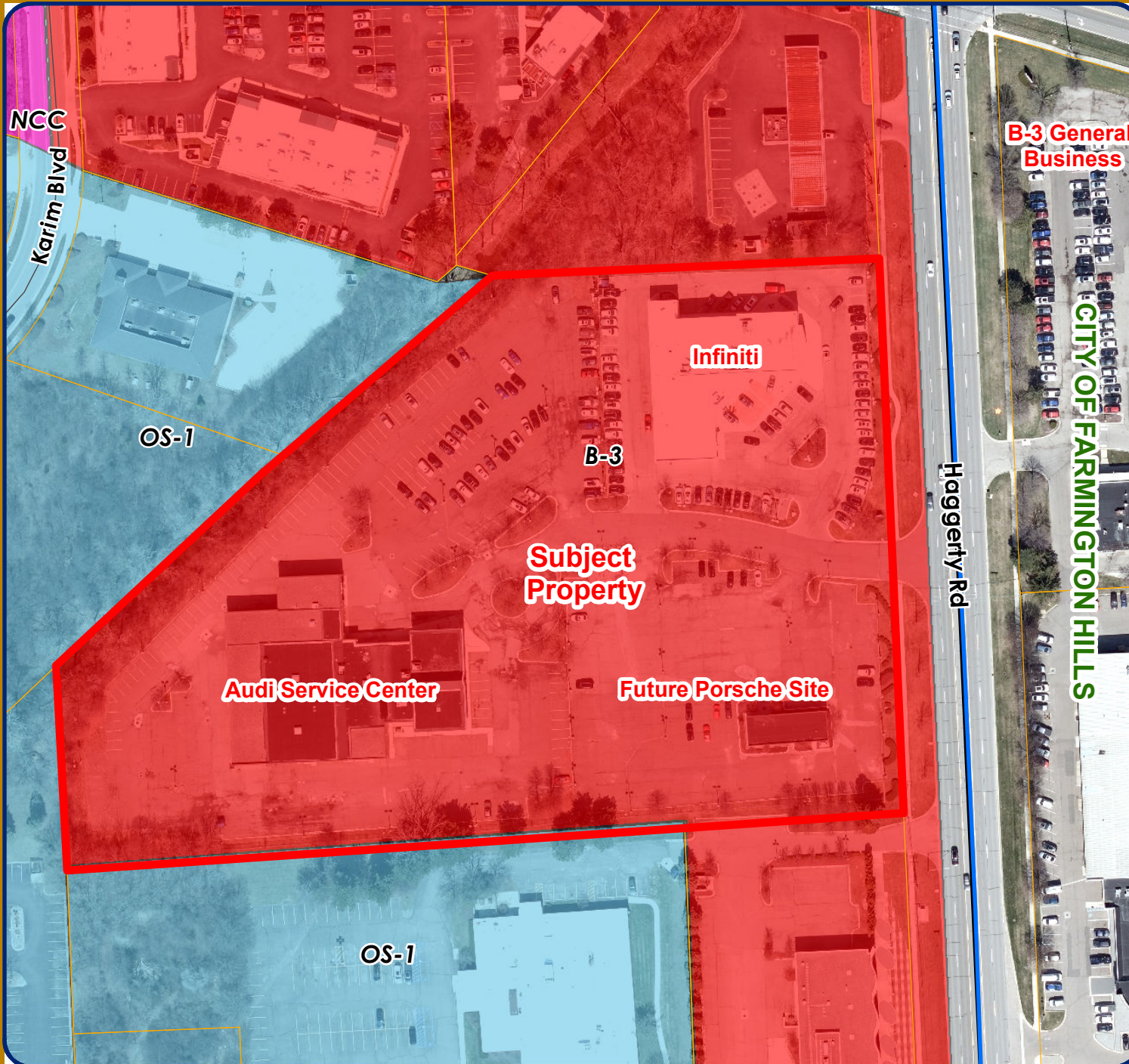
### **Denial – Stormwater Management Plan**

In the matter of Audi Service Center, JSP23-40, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

# JSP23- 40 AUDI SERVICE CENTER

## CURRENT ZONING



### LEGEND

- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- I-1: Light Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- Subject Property

**City of Novi**  
 Dept. of Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: James Hill  
 Date: 11/2/2023  
 Project: JSP23-40 Audi Service Center  
 Version #: 1

Feet  
 0 30 60 120 180

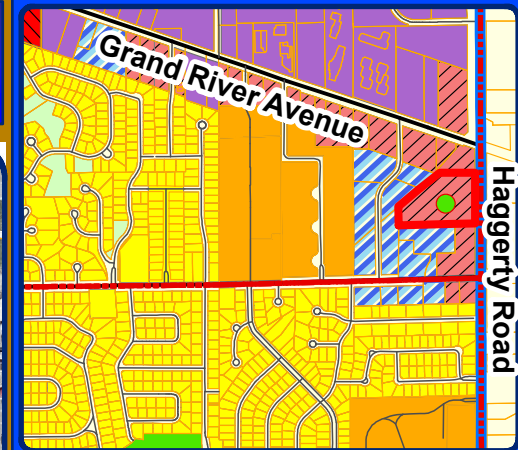
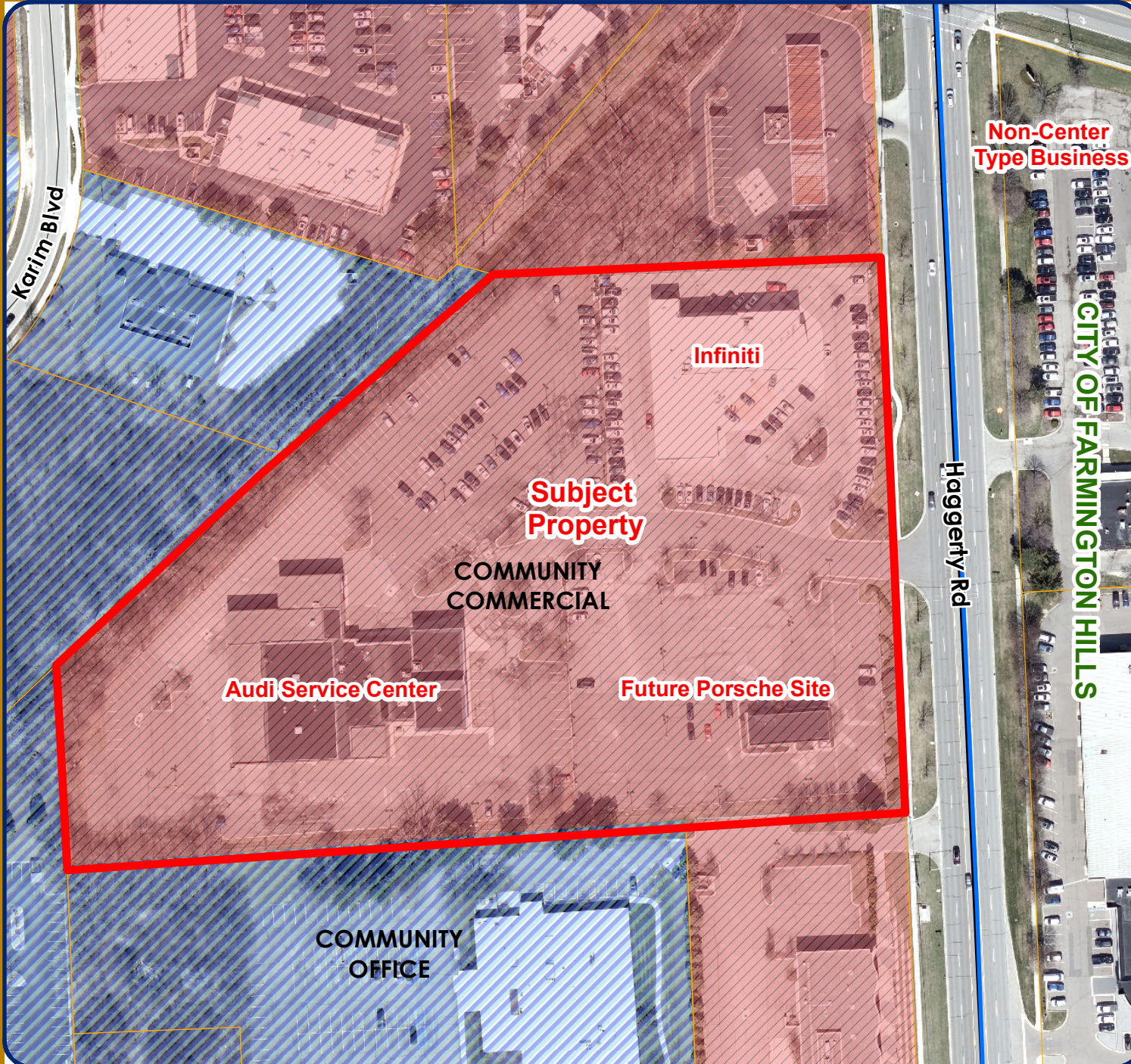
1 inch = 138 feet

**MAP INTERPRETATION NOTICE**

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP23- 40 AUDI SERVICE CENTER

## FUTURE LAND USE



**LEGEND**

- Single Family
- Multiple-Family Residential
- Community Office
- Industrial, Research, Development and Technology
- Community Commercial
- Town Center Gateway
- Educational Facility
- Public Park
- Private Park
- Subject Property

**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

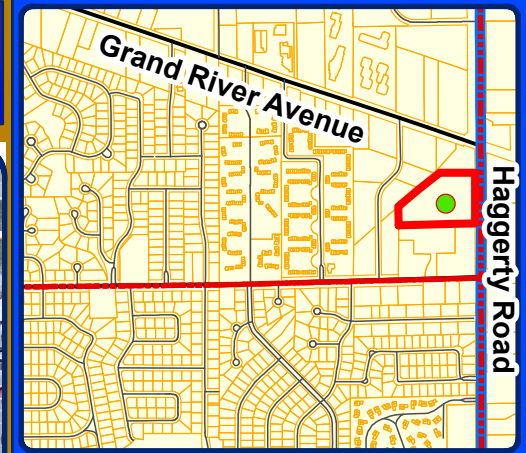
Map Author: James Hill  
Date: 11/2/2023  
Project: JSP23-40 Audi Service Center  
Version #: 1

0 30 60 120 180 Feet  
1 inch = 138 feet


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# JSP23- 40 AUDI SERVICE CENTER LOCATION



## LEGEND

 Subject Property

## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: James Hill  
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1 inch = 138 feet

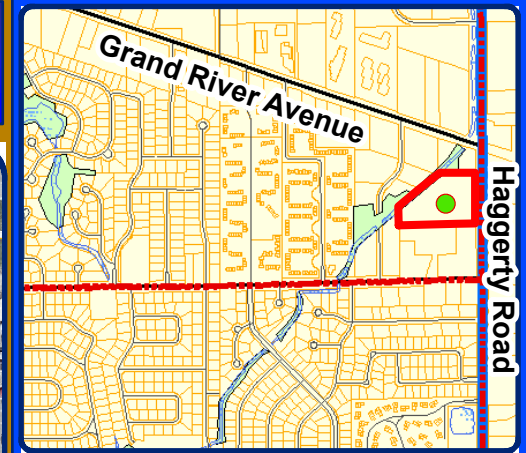


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# JSP23- 40 AUDI SERVICE CENTER

## NATURAL FEATURES



### LEGEND

-  WETLANDS
-  WOODLANDS
-  Subject Property

**City of Novi**  
 Dept. of Community Development  
 City Hall / Civic Center  
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 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: James Hill  
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**SITE PLAN**

**(Full plan set available for viewing at the Community Development Department)**





**AUDI SERVICE BUILDING  
CONCEPTUAL SITE PLAN RENDERING  
10.25.2023**

City of Novi,  
Oakland County, Michigan  
**PRELIMINARY AND FINAL SITE PLAN**  
Prepared For  
**Lithia Motors, Inc.**  
PART OF THE SOUTHEAST 1/4 OF SECTION 23,  
TOWN 1 NORTH, RANGE 8 EAST

**Owner**  
LITHIA MOTORS, INC.  
150 N. BARTLETT STREET  
MEDFORD, OREGON 97501

CONTACT:  
MR. JOSEPH GILARDONE  
PHONE: (734) 645-7442  
EMAIL: JOSEPHGILARDONE@LITHIA.COM

**Architect**  
STUDIO DETROIT  
2040 PARK AVENUE  
SUITE 200  
DETROIT, MICHIGAN 48226

CONTACT:  
MR. SHANE BURLEY AIA, NCARB  
PHONE: (313) 919-5886  
EMAIL: SHANE@STUDIO-DETROIT.COM

**Civil Engineer**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342

CONTACT:  
MR. JASON R. LONGHURST, P.E.  
PHONE: (248) 332-7931  
EMAIL: JLONGHURST@NFE-ENGR.COM

**Landscape Architect**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342

CONTACT:  
MR. GEORGE OSTROWSKI  
PHONE: (248) 332-7931  
EMAIL: GOSTROWSI@NFE-ENGR.COM

**SHEET INDEX**

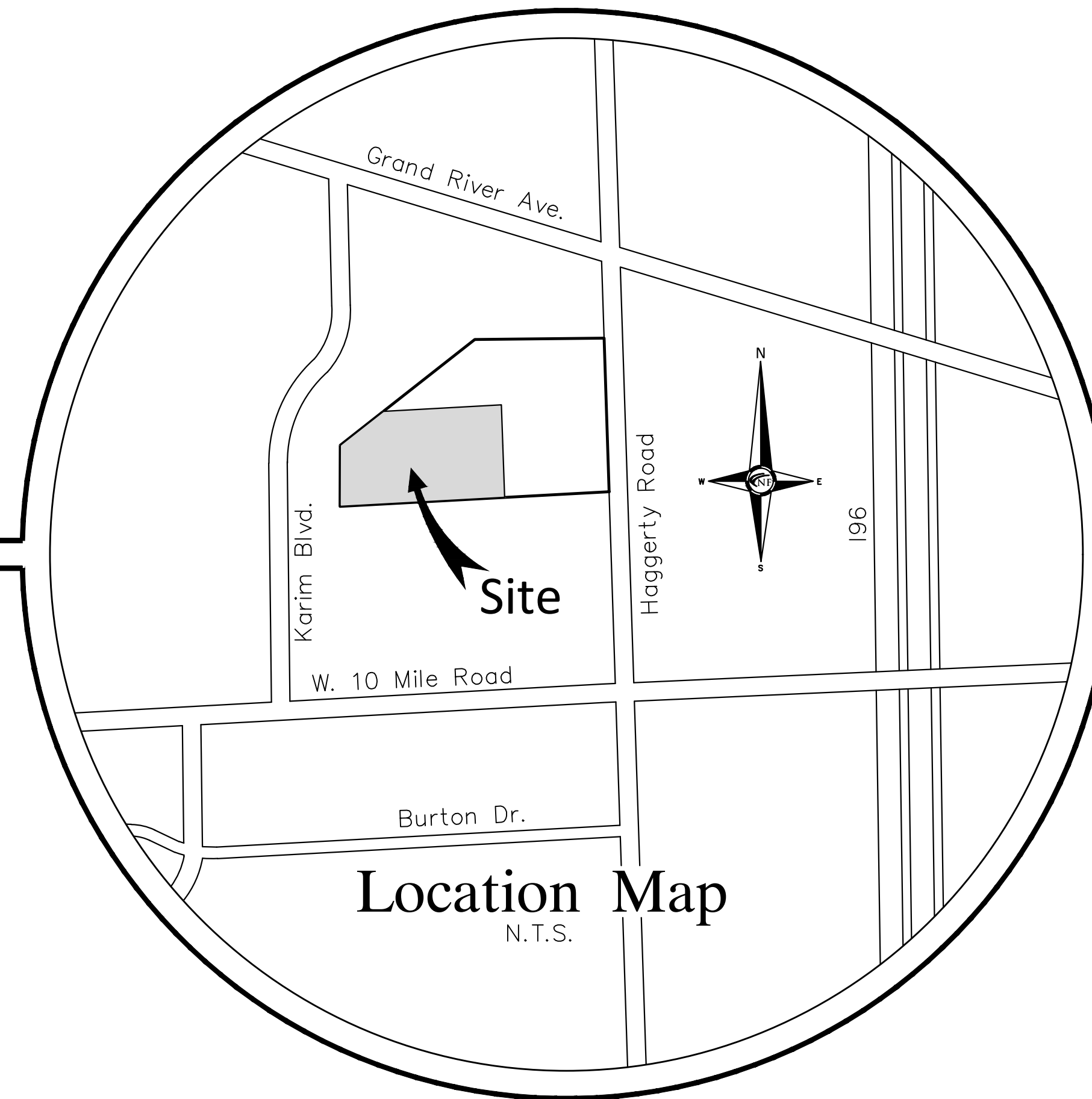
C0	Cover Sheet
C1	Overall Topographic Survey
C2	Topographic Survey
C3	Demolition Plan
C4	Dimensional Site Plan
C5	Paving and Grading Plan
C6	Storm Sewer Plan
C7	Storm Sewer Profiles
C8	Soil Erosion and Sedimentation Control Plan
C9	Truck Maneuvering and Hydrant Coverage Plan
C10	Notes and Details
C11	Notes and Details

L1	Landscape Plan
L2	Landscape Notes and Details

TS1.5	Composite Plan
SP1.1	Site Plan
A2.1	Exterior Elevations

1 of 1	Photometric Plans
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1 of 2	City of Novi Paving Standard Details
2 of 2	City of Novi Paving Standard Details
1 of 3	City of Novi Sanitary Sewer Standard Details
2 of 3	City of Novi Sanitary Sewer Standard Details
3 of 3	City of Novi Sanitary Sewer Standard Details
1 of 2	City of Novi Storm Sewer Standard Details
2 of 2	City of Novi Storm Sewer Standard Details
1 of 5	City of Novi Water Main Standard Details
2 of 5	City of Novi Water Main Standard Details
3 of 5	City of Novi Water Main Standard Details
4 of 5	City of Novi Water Main Standard Details
5 of 5	City of Novi Water Main Standard Details
1 of 1	OCWRC Soil Erosion and Sedimentation Control Details



**LEGAL DESCRIPTION**  
LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI, AS DESCRIBED AS:

PARCEL I:  
A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24; THENCE SOUTH 88 DEGREES 40 MINUTES 57 SECONDS WEST (RECORDED AS SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST) 60.02 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 583.59 (RECORDED AS 571.73) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST 800.00 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 190.00 FEET; THENCE NORTH 49 DEGREES 33 MINUTES 57 SECONDS EAST 150.25 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 20 SECONDS EAST 685.42 FEET TO THE WESTERLY LINE OF SAID HAGGERTY ROAD; THENCE SOUTH 00 DEGREES 03 MINUTES 40 SECONDS WEST 265.00 FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING.

PARCEL II:  
A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24; THENCE SOUTH 88 DEGREES 40 MINUTES 57 SECONDS WEST (RECORDED AS SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST) 60.02 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 848.59 (RECORDED AS 836.73) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 56 MINUTES 20 SECONDS WEST 685.42 FEET; THENCE NORTH 49 DEGREES 33 MINUTES 57 SECONDS EAST 116.83 FEET; THENCE NORTH 51 DEGREES 56 MINUTES 03 SECONDS EAST (RECORDED AS NORTH 51 DEGREES 56 MINUTES 00 SECONDS EAST) 289.40 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 20 SECONDS EAST 368.93 FEET TO THE WESTERLY LINE OF SAID HAGGERTY ROAD; THENCE SOUTH 00 DEGREES 03 MINUTES 40 SECONDS WEST 254.54 FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING

COMMONLY KNOWN AS: 24315 HAGGERTY, NOVI, MI  
TAX ID: 22-24-476-022 (PARCEL I AND II TOGETHER)

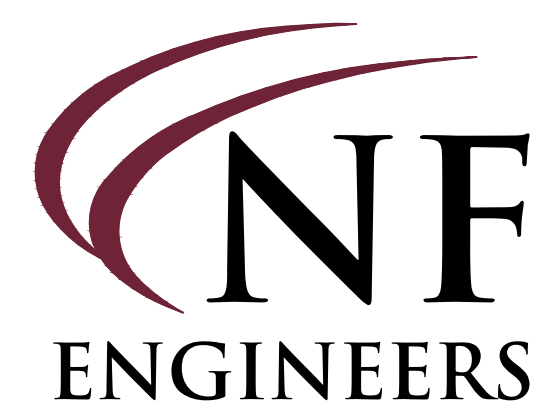
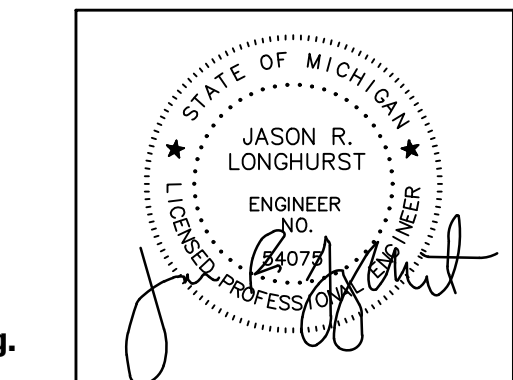
**REVISIONS:**  
2023-09-20 - ISSUED FOR PSP/FSP REVIEW

Project Name

**Audi Novi Service Shop**  
**24315 Haggerty Road**



NFE JOB #I921-06  
NOVI PROJECT #J2P22-0032



CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

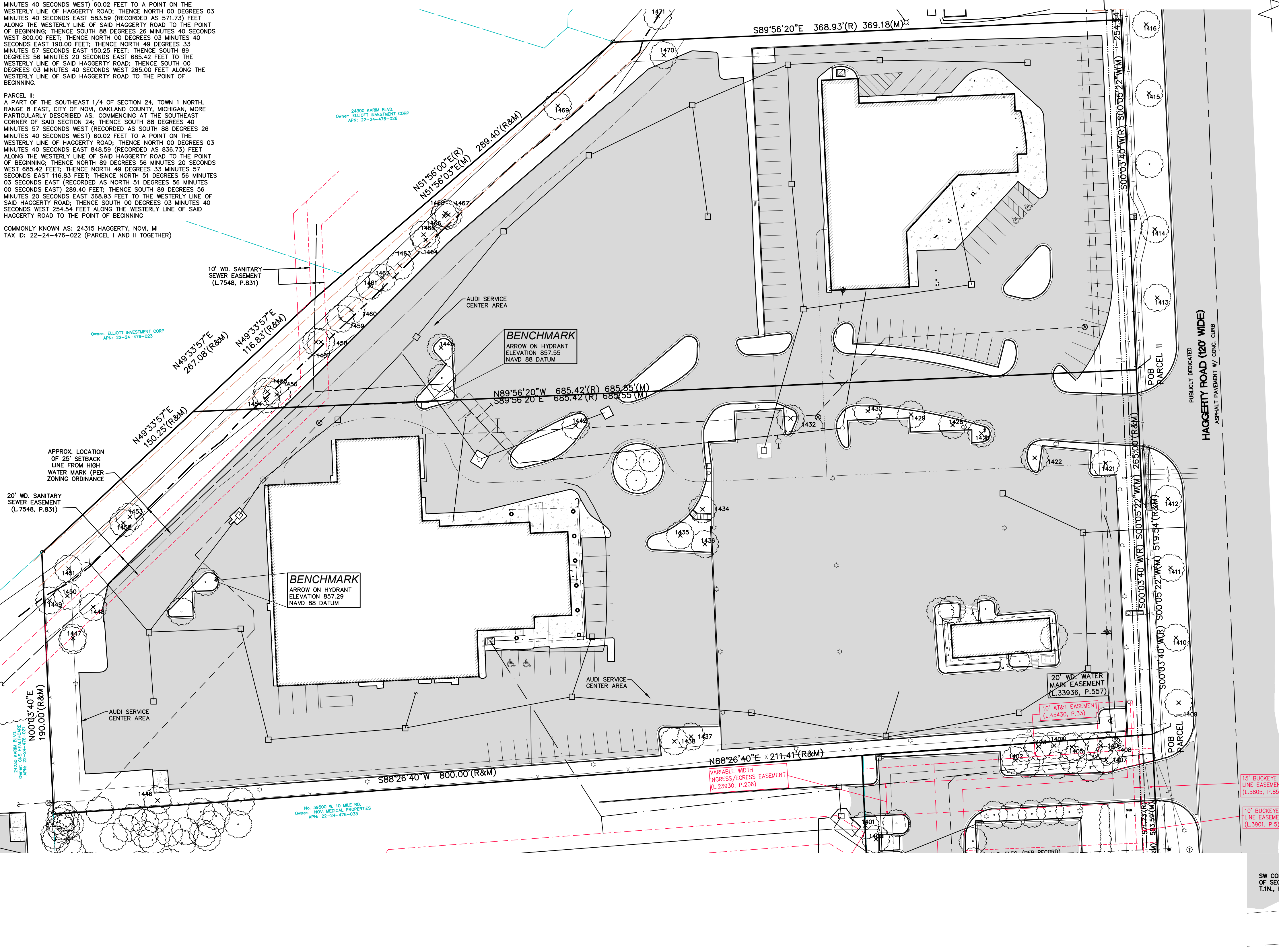
NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NFE-ENGR.COM

**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

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 TEL. (248) 332-7931  
 FAX. (248) 332-8257  
 WWW.NOWAKFRAUS.COM



**LEGAL DESCRIPTION**  
 LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI, AS DESCRIBED AS:  
 PARCEL I:  
 A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24; THENCE SOUTH 89 DEGREES 40 MINUTES 57 SECONDS WEST (RECORDED AS SOUTH 89 DEGREES 26 MINUTES 40 SECONDS WEST) 60.02 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 383.59 (RECORDED AS 371.73) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 28 MINUTES 40 SECONDS EAST 190.00 FEET; THENCE NORTH 49 DEGREES 33 MINUTES 57 SECONDS EAST 150.25 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 20 SECONDS EAST 685.42 FEET TO THE WESTERLY LINE OF SAID HAGGERTY ROAD; THENCE SOUTH 00 DEGREES 03 MINUTES 40 SECONDS WEST 265.00 FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING.  
 PARCEL II:  
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 COMMONLY KNOWN AS: 24315 HAGGERTY, NOVI, MI  
 TAX ID: 22-24-478-022 (PARCEL I AND II TOGETHER)



**Tree Inventory List**

Job Number: 821-01  
 Job Location: Novi, MI  
 Date: 3/27/2019  
 Performed By: Jacob R. Hamilton Forestry Reg No. 3301046119

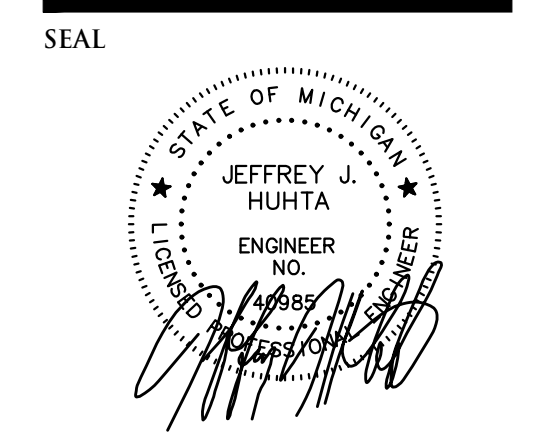
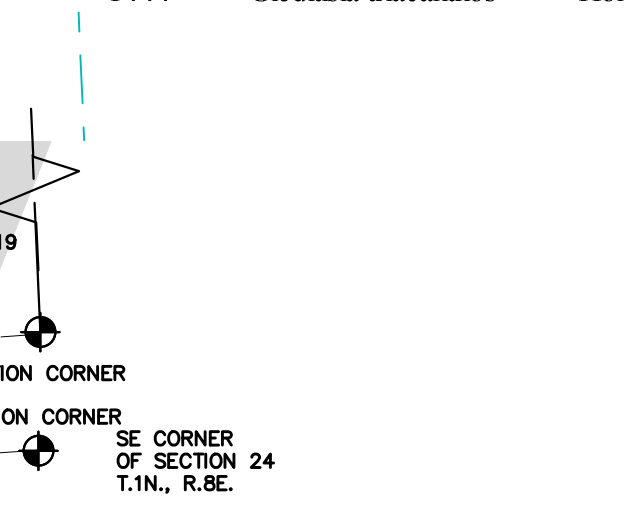
**Condition Description Notes:**  
 "Good" - no observed structural defects\*  
 "Fair" - minor structural defects, marginal form, some insect activity noted\*  
 "Poor" - major structural defects, poor form, insect infested\*

\*Structural defects may include decayed wood, cracks, root problems, weak branch unions, cankers, poor tree architecture, dead/failed branches due to various causes.

Tree #	Botanical Name	Common Name	Dia.	Type	Other Dia.	Condition
1400	Picea pungens	Colorado Blue Spruce	10			Good
1401	Picea pungens	Colorado Blue Spruce	9			Good
1402	Pyrus calleryana	Bradford Pear	9			Good
1403	Pyrus calleryana	Bradford Pear	8			Fair
1404	Pyrus calleryana	Bradford Pear	9			Good
1405	Pyrus calleryana	Bradford Pear	9			Good
1406	Picea pungens	Colorado Blue Spruce	10			Good
1407	Picea pungens	Colorado Blue Spruce	11			Good
1408	Picea pungens	Colorado Blue Spruce	11			Fair
1409	Ginkgo biloba	Ginkgo	9			Good
1410	Ginkgo biloba	Ginkgo	12			Good
1411	Ginkgo biloba	Ginkgo	10			Fair
1412	Ginkgo biloba	Ginkgo	13			Good
1413	Ginkgo biloba	Ginkgo	8			Good
1414	Ginkgo biloba	Ginkgo	9			Good
1415	Ginkgo biloba	Ginkgo	12			Good
1416	Ginkgo biloba	Ginkgo	10			Good
1417	Quercus macrocarpa	Bur Oak	8			Good
1418	Quercus macrocarpa	Bur Oak	8			Good
1419	Quercus macrocarpa	Bur Oak	9			Good
1420	Pyrus calleryana	Bradford Pear	13	Twin 9		Poor
1421	Pyrus calleryana	Bradford Pear	8	Multiple 8,5		Poor
1422	Quercus macrocarpa	Bur Oak	8			Good
1423	Quercus macrocarpa	Bur Oak	8			Good
1424	Pyrus calleryana	Bradford Pear	5	Multiple 5,5,4,3		Good
1425	Pyrus calleryana	Bradford Pear	5	Multiple 5,5,4,3,3		Good
1426	Pyrus calleryana	Bradford Pear	6	Multiple 5,3,3,3		Good
1427	Quercus macrocarpa	Bur Oak	10			Fair
1428	Pyrus calleryana	Bradford Pear	5	Multiple 5,5,4,4,3,3		Good
1429	Pyrus calleryana	Bradford Pear	5	Multiple 4,4,3,3,3		Good
1430	Pyrus calleryana	Bradford Pear	5	Multiple 5,5,3		Good
1431	Quercus macrocarpa	Bur Oak	8			Good
1432	Gleditsia triacanthos	Honeylocust	8			Good
1433	Gleditsia triacanthos	Honeylocust	9			Good
1434	Gleditsia triacanthos	Honeylocust	9			Good
1435	Gleditsia triacanthos	Honeylocust	11			Good
1436	Pyrus calleryana	Bradford Pear	6	Multiple 5,5,4,4,4		Good
1437	Tilia cordata	Little-leaf Linden	13			Good
1438	Gleditsia triacanthos	Honeylocust	10			Good
1439	Gleditsia triacanthos	Honeylocust	10			Good
1440	Gleditsia triacanthos	Honeylocust	10			Good
1441	Gleditsia triacanthos	Honeylocust	8			Good
1442	Gleditsia triacanthos	Honeylocust	8			Good
1443	Gleditsia triacanthos	Honeylocust	9			Good
1444	Gleditsia triacanthos	Honeylocust	8			Good

**LEGEND**

MANHOLE  
 HYDRANT  
 MANHOLE  
 UTILITY POLE  
 EXISTING SANITARY SEWER  
 EXISTING SAN. CLEAN OUT  
 EXISTING WATER MAIN  
 EXISTING STORM SEWER  
 EX. R.Y. CATCH BASIN  
 EXISTING BURIED CABLES  
 OVERHEAD LINES  
 LIGHT POLE  
 SIGN  
 EXISTING GAS MAIN



PROJECT  
 Audi Novi Service Shop -  
 24315 Haggerty Road

CLIENT  
 Lithia Motors, Inc.  
 150 N. Bartlett Street  
 Medford, OR 97501

Contact:  
 Mr. Joseph Gilardone  
 Phone: (734)645-7442  
 email:josephgilardone@lithia.com

PROJECT LOCATION  
 Part of the SE 1/4  
 of Section 24,  
 T. 1N., R. 8E.,  
 City of Novi,  
 Oakland County, MI

SHEET  
 Overall Topographic  
 Survey



DATE ISSUED/REVISED  
 2023-09-20 - ISSUED FOR PSP/FSP REVIEW

DRAWN BY:  
 T. Wood

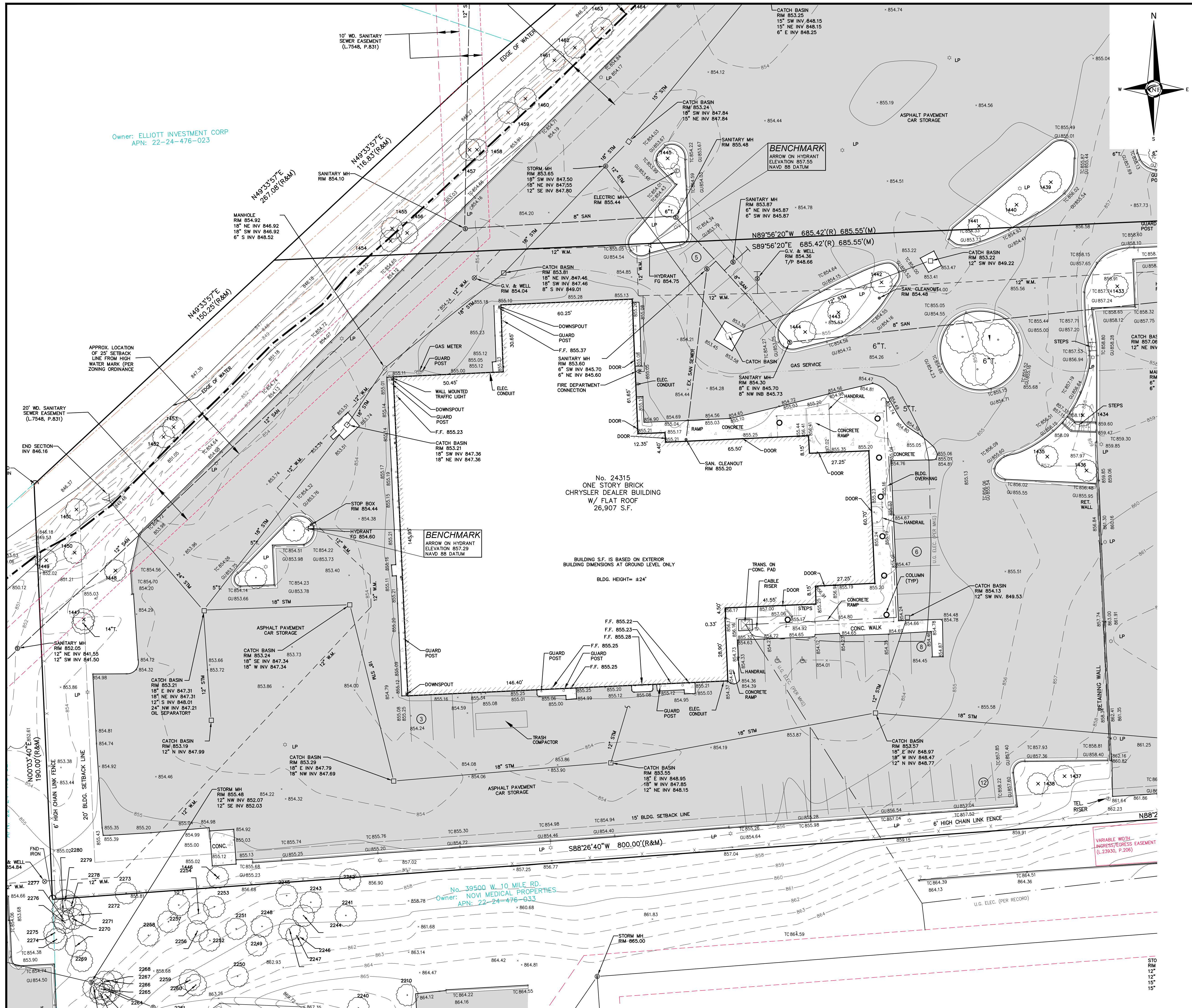
DESIGNED BY:

APPROVED BY:  
 J. Huhta

DATE:  
 August 6, 2019

SCALE: 1" = 20'

NFE JOB NO. 1921-06  
 SHEET NO. C1



Owner: ELLIOTT INVESTMENT CORP  
APN: 22-24-476-023

No. 39500 W. 10 MILE RD.  
Owner: NOVI MEDICAL PROPERTIES  
APN: 22-24-476-033



**NF ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM

SEAL

STATE OF MICHIGAN  
JEFFREY J. HUHTA  
ENGINEER NO. 10000  
1/1/2019

PROJECT  
Audi Novi Service Shop -  
24315 Haggerty Road

CLIENT  
Lithia Motors, Inc.  
150 N. Bartlett Street  
Medford, OR 97501

Contact:  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
email:josephgilardone@lithia.com

PROJECT LOCATION  
Part of the SE 1/4  
of Section 24,  
T. 1N., R. 8E.  
City of Novi,  
Oakland County, MI

SHEET  
Topographic Survey

**MISS DIG / UTILITY DISCLAIMER NOTE**  
A MISS DIG TICKET NUMBER B90791822, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON AUGUST 6, 2019. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISHED PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

**WETLANDS NOTE**  
WETLANDS ARE LOCATED ALONG THE NORTHWEST PROPERTY LINE. PROPOSED PROJECT HAS NO IMPACT ON WETLAND AREA.

**FLOODPLAIN NOTE**  
FLOODPLAIN IS LOCATED ALONG THE NORTHWEST PROPERTY LINE. PROPOSED PROJECT HAS NO IMPACT ON FLOODPLAIN AREA.

**WOODLANDS NOTE**  
THERE ARE NO WOODLANDS LOCATED ON THIS PROPERTY.

**TOPOGRAPHIC SURVEY NOTES**  
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.  
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.  
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE		EXISTING WATER MAIN
	CATCH BASIN		EXISTING STORM SEWER
	SAN. CLEAN OUT		EX. R.Y. CATCH BASIN
	UTILITY POLE		EXISTING BURIED CABLES
	GUY POLE		OVERHEAD LINES
	GUY WIRE		LIGHT POLE
	SIGN		EXISTING GAS MAIN

DATE ISSUED/REVISED  
2023-09-20 - ISSUED FOR PSP/FSP REVIEW

DRAWN BY:  
T. Wood

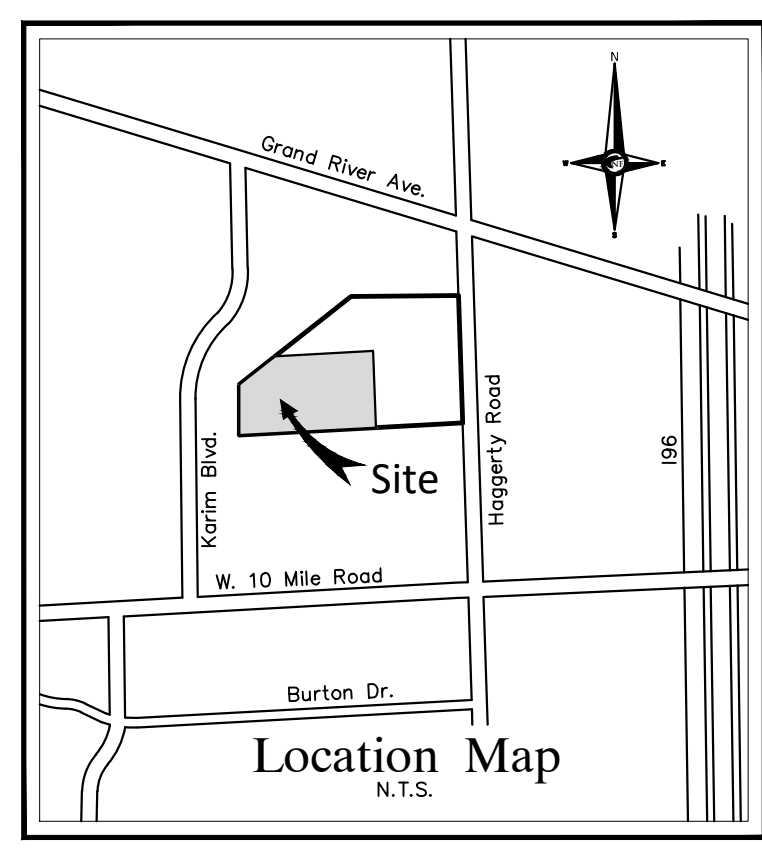
DESIGNED BY:

APPROVED BY:  
J. Huhta

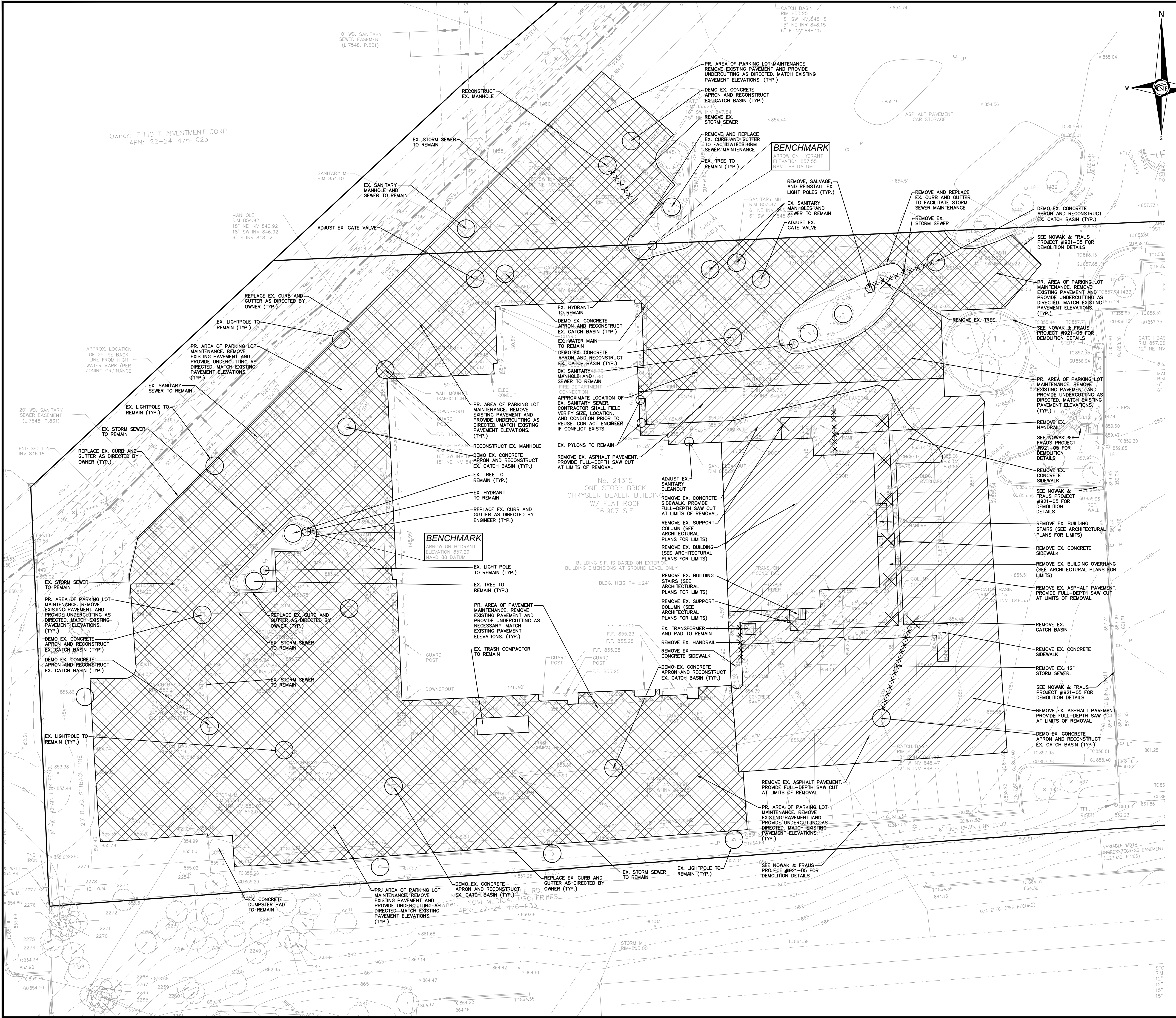
DATE:  
August 6, 2019

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.  
1921-06 C2



Owner: ELLIOTT INVESTMENT CORP  
APN: 22-24-476-023



### DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION.

FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LIKewise SHALL ARRANGE FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL OF DEBRIS THAT IS TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

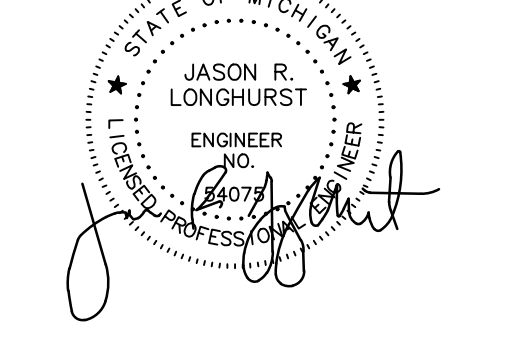
THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

SEAL



PROJECT  
Audi Novi Service Shop -  
24315 Haggerty Road

CLIENT  
Lithia Motors, Inc.  
150 N. Bartlett Street  
Medford, OR 97501

Contact:  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
email:josephgilardone@lithia.com

PROJECT LOCATION  
Part of the SE 1/4  
of Section 24,  
T. 1N., R. 8E.  
City of Novi,  
Oakland County, MI

SHEET  
Demolition Plan



DATE ISSUED/REVISED  
2023-09-20 - ISSUED FOR PSP/FSP REVIEW

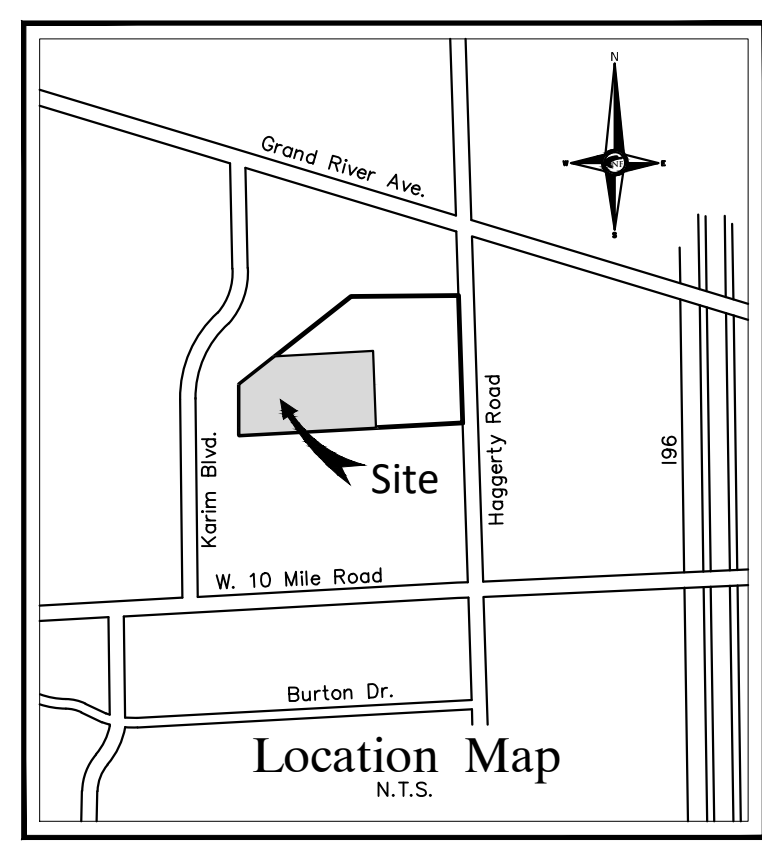
DRAWN BY:  
B. Girbach  
DESIGNED BY:  
T. Wood  
APPROVED BY:  
J. Longhurst

Date:  
September 12, 2023

SCALE: 1" = 20'  
20 10 0 10 20 30

NFE JOB NO. SHEET NO.  
I921-06 C3

LEGEND	
MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
MANHOLE CATCH BASIN	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
UTILITY POLE	OVERHEAD LINES
GUY POLE	GUY WIRE
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
XXXXXX	EXISTING UTILITY TO BE REMOVED
//////	EXISTING UTILITY TO BE ABANDONED
12" MAPLE	INDICATES EXISTING TREE TO BE REMOVED
	INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED
	INDICATES AREAS OF PARKING LOT MAINTENANCE



### SITE INFORMATION

EXISTING ZONING: B-3 GENERAL BUSINESS DISTRICT  
 TOTAL PROPERTY AREA: 350,320.53 SF, OR 8.04 ACRES  
 SITE ADDRESS: 24315 HAGGERTY ROAD

MIN. YARD SETBACKS:	REQUIRED	EXISTING
FRONT (EAST)	30'	486.29'
SIDE (SOUTH)	15'	77.27'
REAR (WEST)	15'	166.5'
SIDE (NORTH)	15'	76.18'

MIN. PARKING SETBACKS:	REQUIRED	EXISTING
FRONT (EAST)	20'	387.43' (PROPOSED)
SIDE (SOUTH)	10'	10.02'
REAR (WEST)	10'	23.19'
SIDE (NORTH)	10'	45.27'

MAX. BLDG. HEIGHT: 30' 24'

VEHICLE PARKING:	AUTOMOBILE SERVICE ESTABLISHMENTS
REQUIRED:	TWO (2) SPACES FOR EACH SERVICE BAY, PLUS ONE (1) FOR EVERY EMPLOYEE.
25 SERVICE BAYS * 2 SPACES	= 50
25 EMPLOYEES * 1 SPACE	= 25
105 TOTAL (INCLUDING 2 VAN ACCESSIBLE SPACES)	

REQUIRED:	75 SPACES
PROVIDED:	25 EMPLOYEE 80 SERVICE

REQUIRED:	MOTOR VEHICLE SERVICE
2 SPACES	

### ADJACENT LAND ZONING AND USE

ADJACENT LAND	ZONING	USE
NORTH	OS-1	22-24-476-012 BUSINESS
WEST	OS-1	22-24-476-026 OFFICE
WEST	OS-1	22-24-476-023 OFFICE
WEST	OS-1	22-24-476-021 OFFICE
SOUTH	OS-1	22-24-476-033 OFFICE
SOUTH	OS-1	22-24-476-030 OFFICE
EAST	FARMINGTON HILLS B-3	23-19-351-020 BUSINESS
EAST	FARMINGTON HILLS B-3	23-19-351-015 BUSINESS

### ESTIMATED QUANTITIES

SIGNS	DESCRIPTION	QUANTITY	UNITS
NO PARKING FIRE LANE SIGN (R8-31)		3	EA.
VAN ACCESSIBLE PARKING SIGN (R7-B)		2	EA.
VAN ACCESSIBLE PARKING SIGN (R7-BP)		2	EA.

### PAVING LEGEND

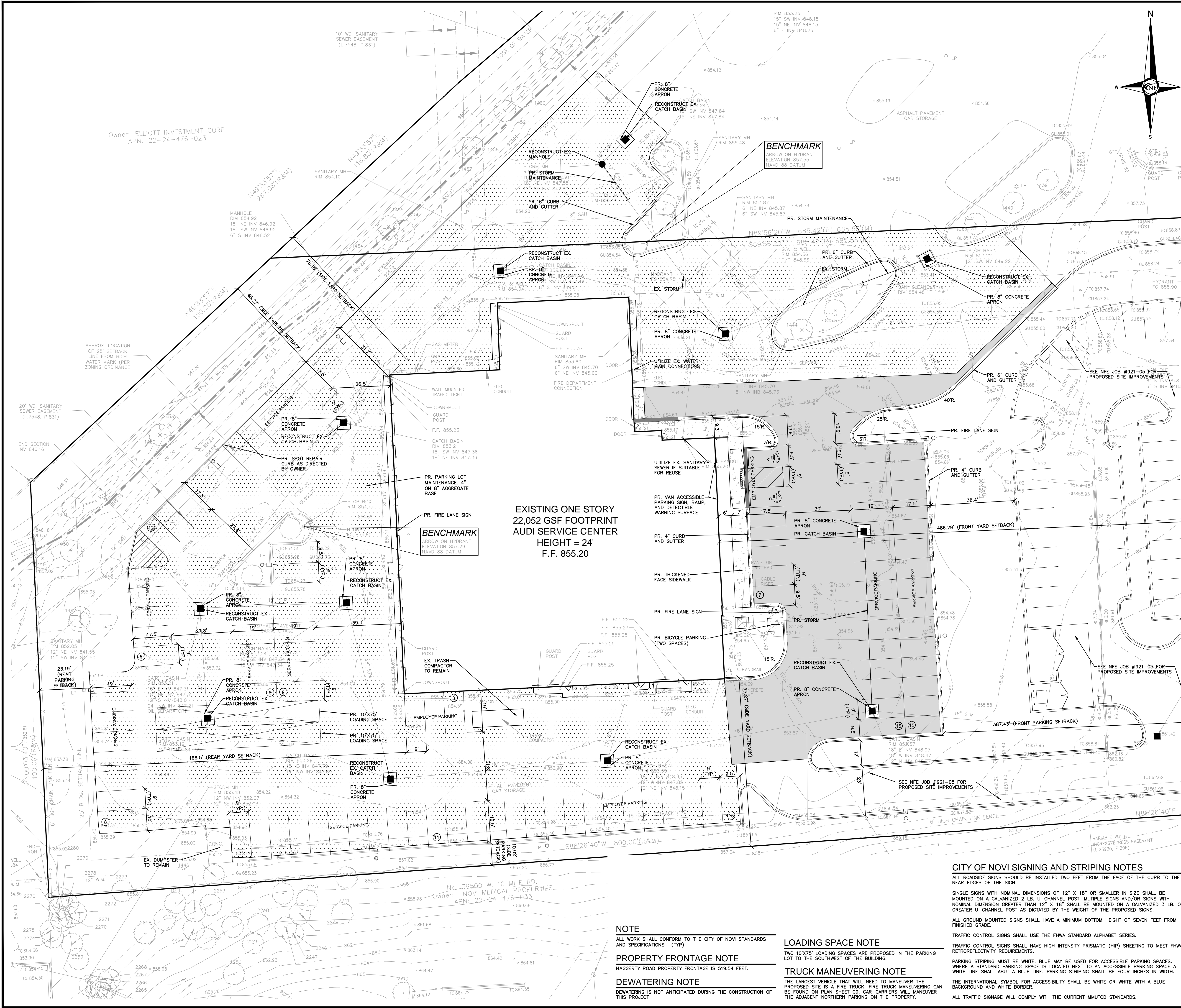
[Pattern]	PROPOSED ASPHALT MAINTENANCE
[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED ASPHALT PAVEMENT

### LEGEND

[Symbol]	MANHOLE	EXISTING SANITARY SEWER
[Symbol]	HYDRANT	SAN. CLEAN OUT
[Symbol]	MANHOLE	EXISTING WATERMAIN
[Symbol]	UTILITY POLE	EXISTING STORM SEWER
[Symbol]	GUY POLE	EX. R. Y. CATCH BASIN
[Symbol]	GUY WIRE	EXISTING BURIED CABLES
[Symbol]	MANHOLE	OVERHEAD LINES
[Symbol]	HYDRANT	LIGHT POLE
[Symbol]	INLET	SIGN
[Symbol]	C.O.	EXISTING GAS MAIN
[Symbol]	HYDRANT	PR. SANITARY SEWER
[Symbol]	INLET	PR. WATER MAIN
[Symbol]	MANHOLE	PR. STORM SEWER
[Symbol]	MANHOLE	PR. R. Y. CATCH BASIN
[Symbol]	MANHOLE	PROPOSED LIGHT POLE
[Symbol]	MANHOLE	PR. TOP OF CURB ELEVATION
[Symbol]	MANHOLE	PR. GUTTER ELEVATION
[Symbol]	MANHOLE	PR. TOP OF WALK ELEVATION
[Symbol]	MANHOLE	PR. TOP OF PAVT. ELEVATION
[Symbol]	MANHOLE	FINISH GRADE ELEVATION
[Symbol]	MANHOLE	PR. 6" CURB AND GUTTER
[Symbol]	MANHOLE	PR. 4" CURB AND GUTTER

DATE	ISSUED/REVIEWED
2023-09-20	ISSUED FOR PSP/ESP REVIEW

DRAWN BY: B. Girbach  
 DESIGNED BY: T. Wood  
 APPROVED BY: J. Longhurst  
 DATE: September 12, 2023  
 SCALE: 1" = 20'  
 NFE JOB NO. 1921-06 SHEET NO. C4



**NOTE**  
 ALL WORK SHALL CONFORM TO THE CITY OF NOVI STANDARDS AND SPECIFICATIONS. (TYP)

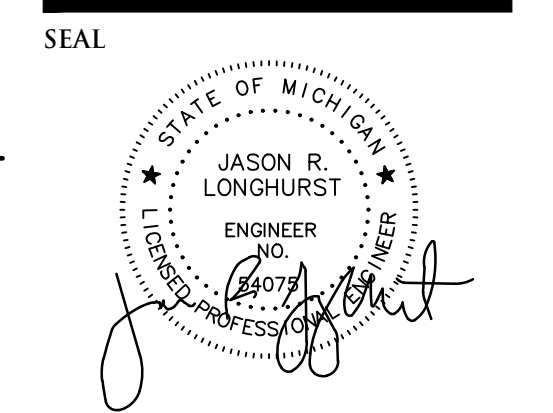
**PROPERTY FRONTAGE NOTE**  
 HAGGERTY ROAD PROPERTY FRONTAGE IS 519.54 FEET.

**DEWATERING NOTE**  
 DEWATERING IS NOT ANTICIPATED DURING THE CONSTRUCTION OF THIS PROJECT

**LOADING SPACE NOTE**  
 TWO 10'X7' LOADING SPACES ARE PROPOSED IN THE PARKING LOT TO THE SOUTHWEST OF THE BUILDING.

**TRUCK MANEUVERING NOTE**  
 THE LARGEST VEHICLE THAT WILL NEED TO MANEUVER THE PROPOSED SITE IS A FIRE TRUCK. FIRE TRUCK MANEUVERING CAN BE FOUND ON PLAN SHEET C9. CAR-CARRIERS WILL MANEUVER THE ADJACENT NORTHERN PARKING ON THE PROPERTY.

**CITY OF NOVI SIGNING AND STRIPING NOTES**  
 ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGES OF THE SIGN  
 SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHEMEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHEMEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.  
 ALL GROUND MOUNTED SIGNS SHALL HAVE A MINIMUM BOTTOM HEIGHT OF SEVEN FEET FROM FINISHED GRADE.  
 TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.  
 TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.  
 PARKING STRIPING MUST BE WHITE. BLUE MAY BE USED FOR ACCESSIBLE PARKING SPACES, WHERE A STANDARD PARKING SPACE IS LOCATED NEXT TO AN ACCESSIBLE PARKING SPACE A WHITE LINE SHALL ABUT A BLUE LINE. PARKING STRIPING SHALL BE FOUR INCHES IN WIDTH.  
 THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH A BLUE BACKGROUND AND WHITE BORDER.  
 ALL TRAFFIC SIGNAGE WILL COMPLY WITH THE CURRENT MUTCD STANDARDS.



**PROJECT**  
 Audi Novi Service Shop -  
 24315 Haggerty Road

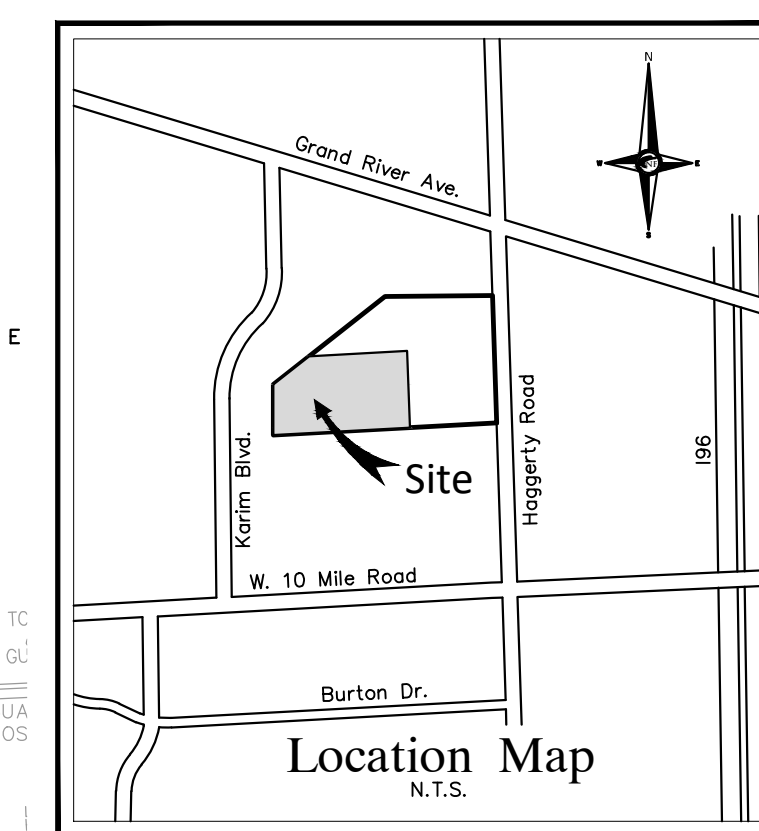
**CLIENT**  
 Lithia Motors, Inc.  
 150 N. Bartlett Street  
 Medford, OR 97501

**Contact:**  
 Mr. Joseph Gilardone  
 Phone: (734)645-7442  
 email:josephgilardone@lithia.com

**PROJECT LOCATION**  
 Part of the SE 1/4  
 of Section 24,  
 T. 1N., R. 8E.  
 City of Novi,  
 Oakland County, MI

**SHEET**  
 Dimensional Site Plan





**GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

**CONCRETE:** PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

**ASPHALT:** BASE COURSE - MDOT HMA, 4E ML; SURFACE COURSE - MDOT HMA, 5E ML; BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-516A.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES AND ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

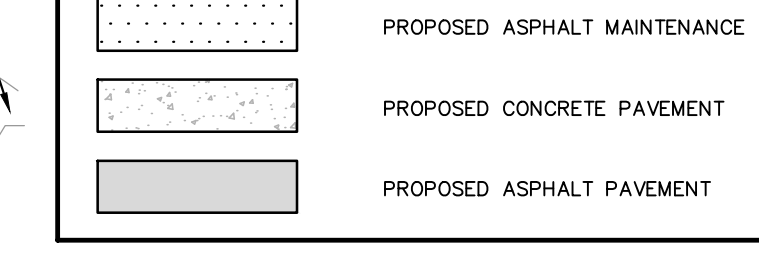
**ESTIMATED QUANTITIES**

DESCRIPTION	QUANTITY	UNITS
4" ASPHALT ON 8" 21AA BASE	1,550	S.Y.
THICKENED EDGE SIDEWALK	925	S.F.
8" CONCRETE APRON	8	S.F.
4" CONCRETE CURB & GUTTER	210	L.F.
6" CONCRETE CURB & GUTTER	390	L.F.

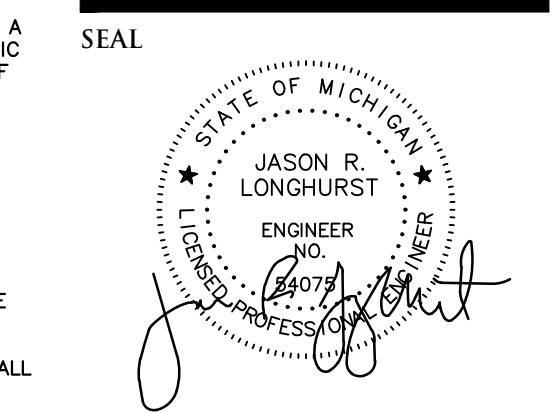
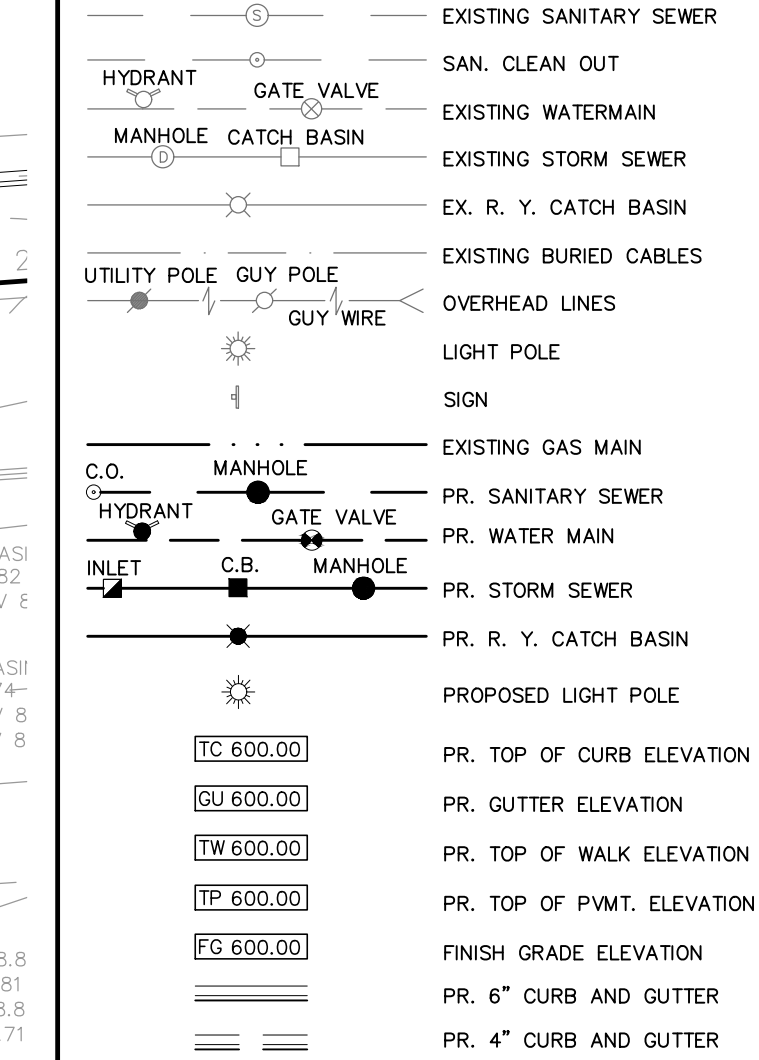
  

DESCRIPTION	QUANTITY	UNITS
4" ASPHALT ON 8" 21AA BASE	5,910	S.Y.
CONCRETE APRON	40	S.Y.
6" CONCRETE CURB & GUTTER	290	L.F.

**PAVING LEGEND**



**LEGEND**



**PROJECT**  
Audi Novi Service Shop -  
24315 Haggerty Road

**CLIENT**  
Lithia Motors, Inc.  
150 N. Bartlett Street  
Medford, OR 97501

**Contact:**  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
email:josephgilardone@lithia.com

**PROJECT LOCATION**  
Part of the SE 1/4  
of Section 24,  
T. 1N., R. 8E.,  
City of Novi,  
Oakland County, MI

**SHEET**  
Paving and Grading Plan



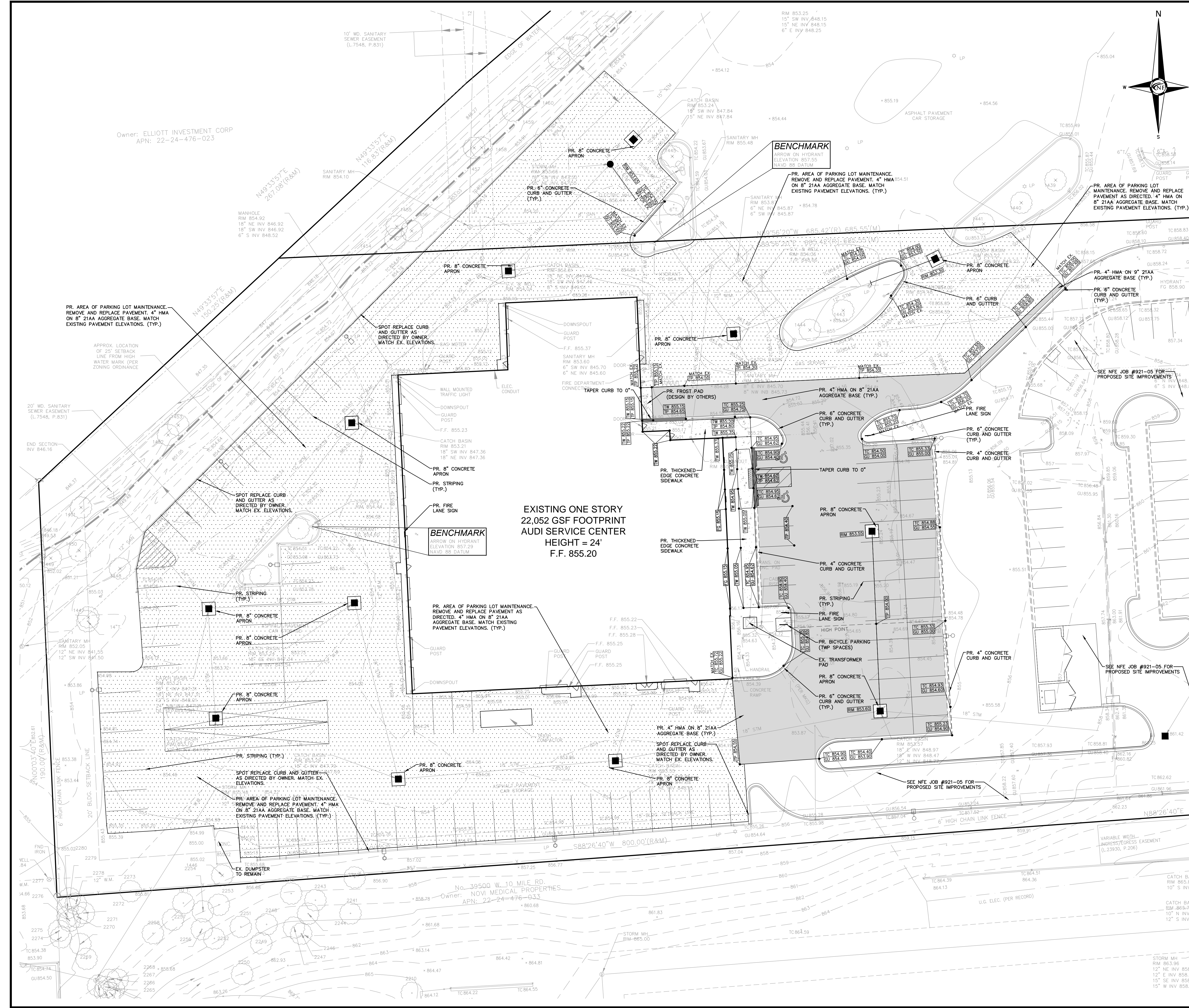
**DATE** ISSUED/REVISED  
2023-09-20 - ISSUED FOR PSP/FSP REVIEW

**DRAWN BY:**  
B. Girbach  
**DESIGNED BY:**  
T. Wood

**APPROVED BY:**  
J. Longhurst

**DATE:**  
September 12, 2023

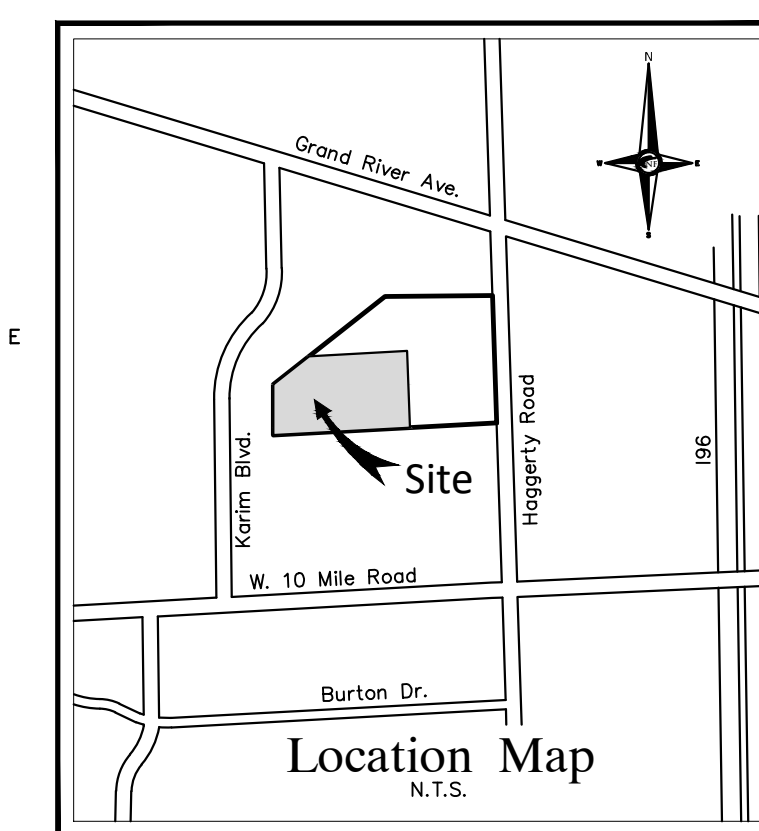
**SCALE:** 1" = 20'  
20 10 0 10 20 30  
**NFE JOB NO.** 1921-06 **SHEET NO.** C5



**EXISTING ONE STORY  
22,052 GSF FOOTPRINT  
AUDI SERVICE CENTER  
HEIGHT = 24'  
F.F. 855.20**

Owner: ELLIOTT INVESTMENT CORP  
APN: 22-24-476-023

No. 39500 W. 10 MILE RD.  
Owner: NOVI MEDICAL PROPERTIES  
APN: 22-24-476-033



### HISTORICAL DETENTION CALCULATIONS

**MITSUBISHI & CHRYSLER**

DETERMINE DETENTION REQUIRED (10-YEAR STORM)

$Q_{all} = 0.77 \text{ cfs (AC.} \times 0.2 \text{ cfs/AC.)}$   
 $AC = 3.05$   
 $C = 0.80$

$Q_0 = Q_{all} / (AC \times C) = 0.25$

$T = -25 + \sqrt{0.65625/Q_0} = 137.02 \text{ min.}$

$V_s = ((10500 \times T)/(T + 25)) - (40 \times Q_0 \times T) = 7509.63 \text{ C.F./Ac. Imp.}$

$V_s = V_s \times AC \times C = 23129.65 \text{ C.F.}$

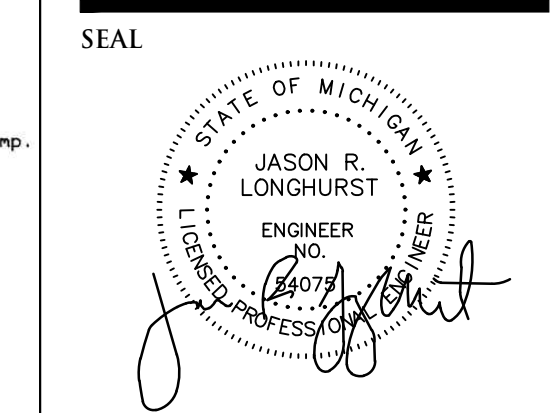
TOTAL DETENTION VOLUME REQUIRED = 23129.66 C.F.

DETERMINE OUTLET SIZE # 2 @ 1

$Q_{all} \text{ ON-SITE} = 3.05 \text{ AC.} \times 0.2 \text{ cfs/AC.} = 0.77 \text{ cfs}$   
 $\text{OFF-SITE} = 0.44 \text{ AC.} \times 3.09 \times 0.2 = 0.09 \text{ cfs}$   
 $\text{LEXUS} \& \text{ INFINITI} = (0.88 + 0.44) = 1.32 \text{ cfs}$

TOTAL  $Q_{all} = 2.18 \text{ cfs}$   
 $V = 1.47 \text{ Feet}$   
 $\text{Area} = 0.16 \text{ S.F.}$   
 $\text{Dia.} = 5.42 \text{ in.}$

USE 6 INCH OUTLET



PROJECT  
Audi Novi Service Shop -  
24315 Haggerty Road

CLIENT  
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150 N. Bartlett Street  
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Contact:  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
email:josephgilardone@lithia.com

PROJECT LOCATION  
Part of the SE 1/4  
of Section 24,  
T. 1N., R. 8E.  
City of Novi,  
Oakland County, MI

SHEET  
Storm Sewer Plan



DATE ISSUED/REVISED  
2023-09-20 - ISSUED FOR PSP/FSP REVIEW

DESCRIPTION	QUANTITY	UNITS
12" C-76, CLASS IV, SEWER PIPE	134	L.F.
4" DIA. CATCH BASIN W/ 2' SUMP	1	EA.
RECONSTRUCT EX. STRUCTURE	9	EA.
TAP/RECONSTRUCT	2	EA.

DRAWN BY:  
B. Girbach

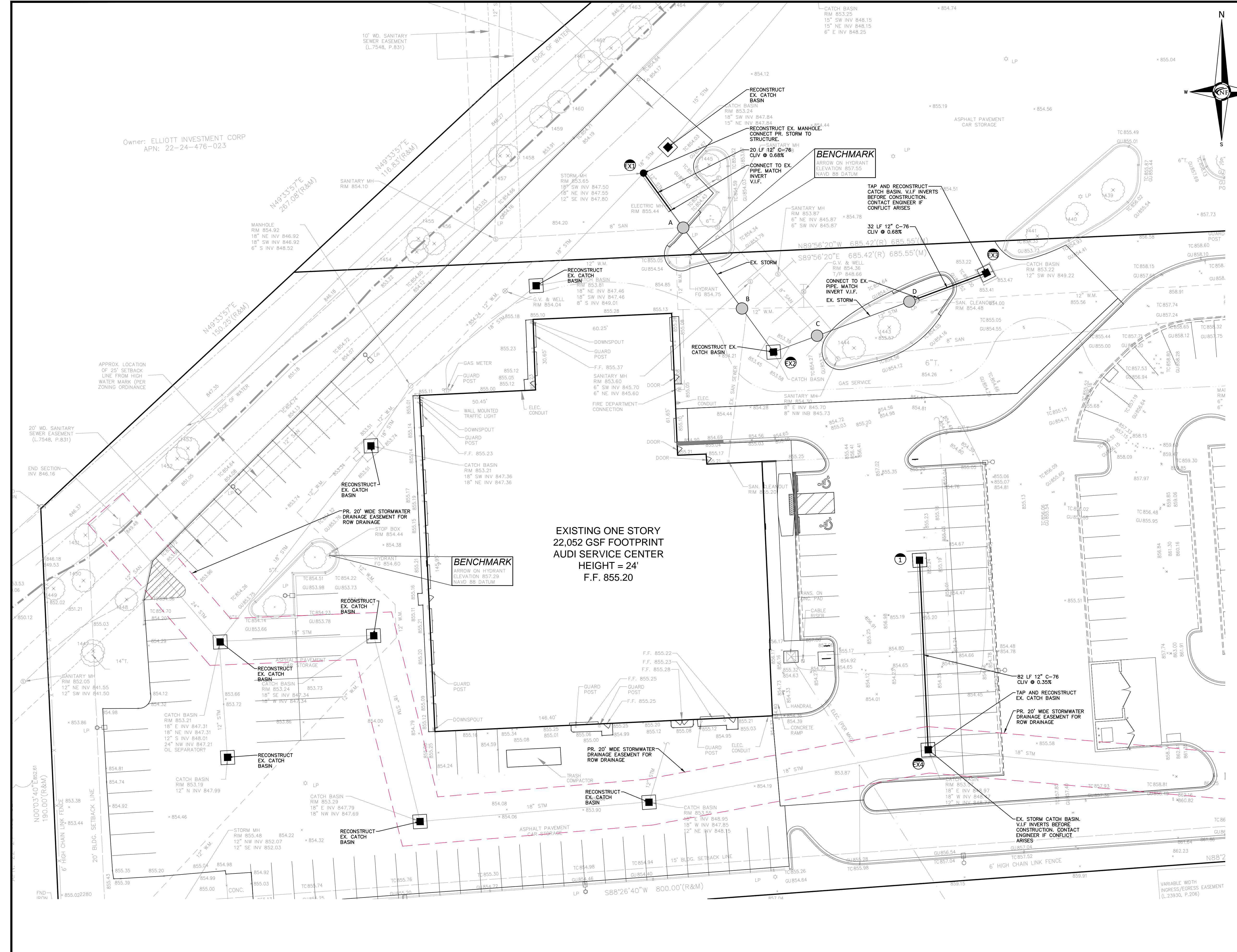
DESIGNED BY:  
T. Wood

APPROVED BY:  
J. Longhurst

DATE:  
September 12, 2023

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.  
1921-06 C6



**CITY OF NOVI NOTES**

COMPACTED MDOT CLASS II SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THEN A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

A MINIMUM COVER DEPTH OF 3 FEET SHALL BE MAINTAINED OVER ALL PROPOSED STORM SEWER.

**RIGHT-OF-WAY DRAINAGE NOTE**

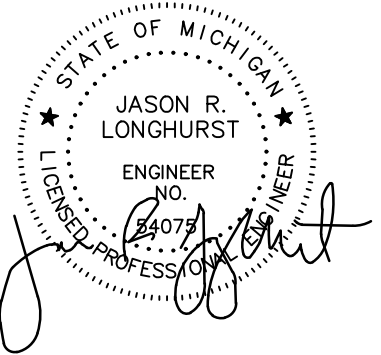
THIS PROPERTY HISTORICALLY RECEIVES DRAINAGE FROM THE RIGHT-OF-WAY OF HAGGERTY ROAD WHICH DRAINS ACROSS THE PROPERTY TO THE OUTLET AT THE DRAIN ON THE WEST SIDE OF THE PROPERTY. LITHIA TO PROVIDE AN EASEMENT FOR THE RIGHT-OF-WAY DRAINAGE ACROSS THE PROPERTY.

**SAND BACKFILL NOTE**

COMPACTED SAND BACKFILL (MDOT SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.



SEAL



PROJECT  
Audi Novi Service Shop -  
24315 Haggerty Road

CLIENT  
Lithia Motors, Inc.  
150 N. Bartlett Street  
Medford, OR 97501

Contact:  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
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PROJECT LOCATION  
Part of the SE 1/4  
of Section 24,  
T. 1N., R. 8E.,  
City of Novi,  
Oakland County, MI

SHEET  
Storm Sewer Profiles



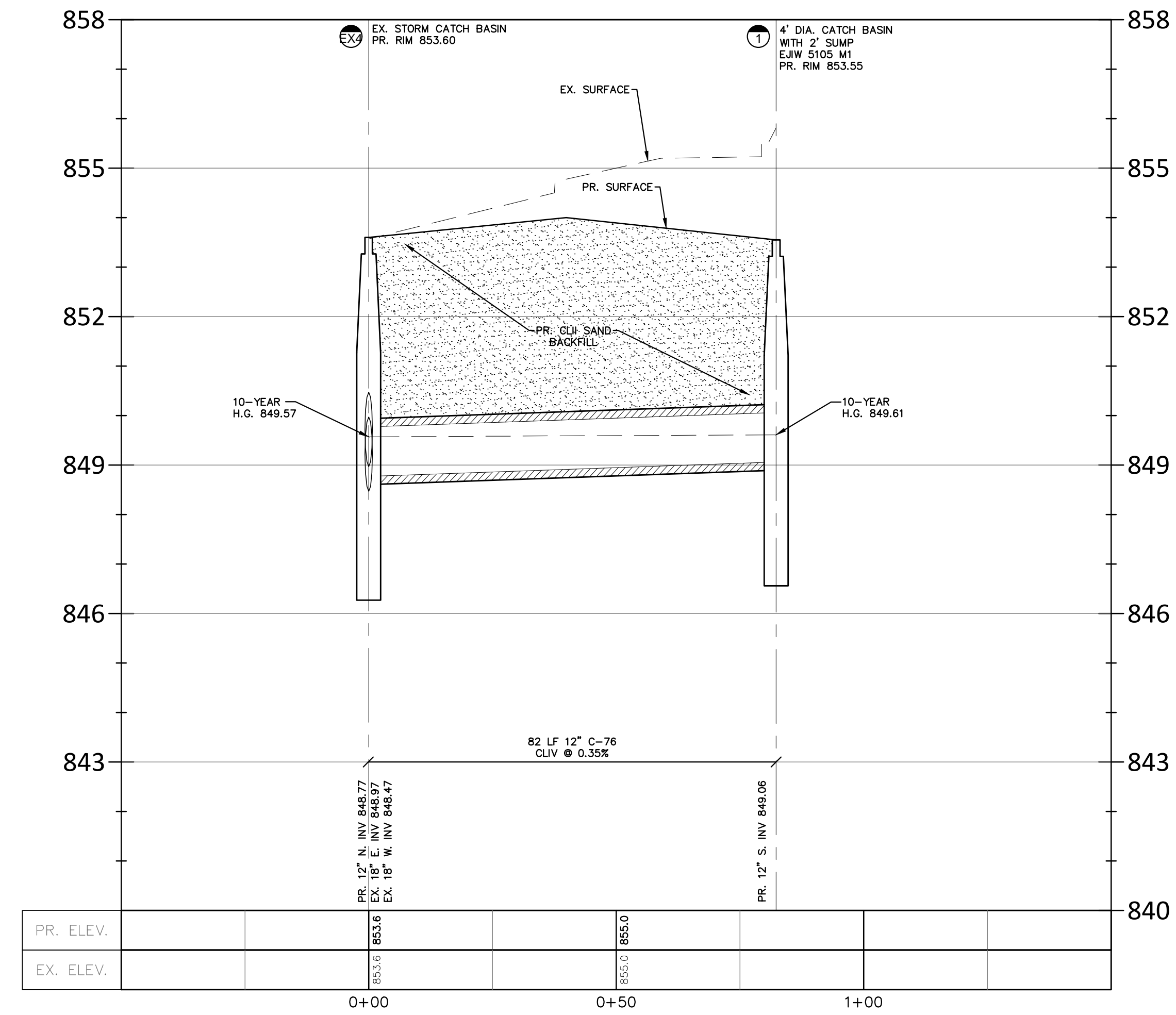
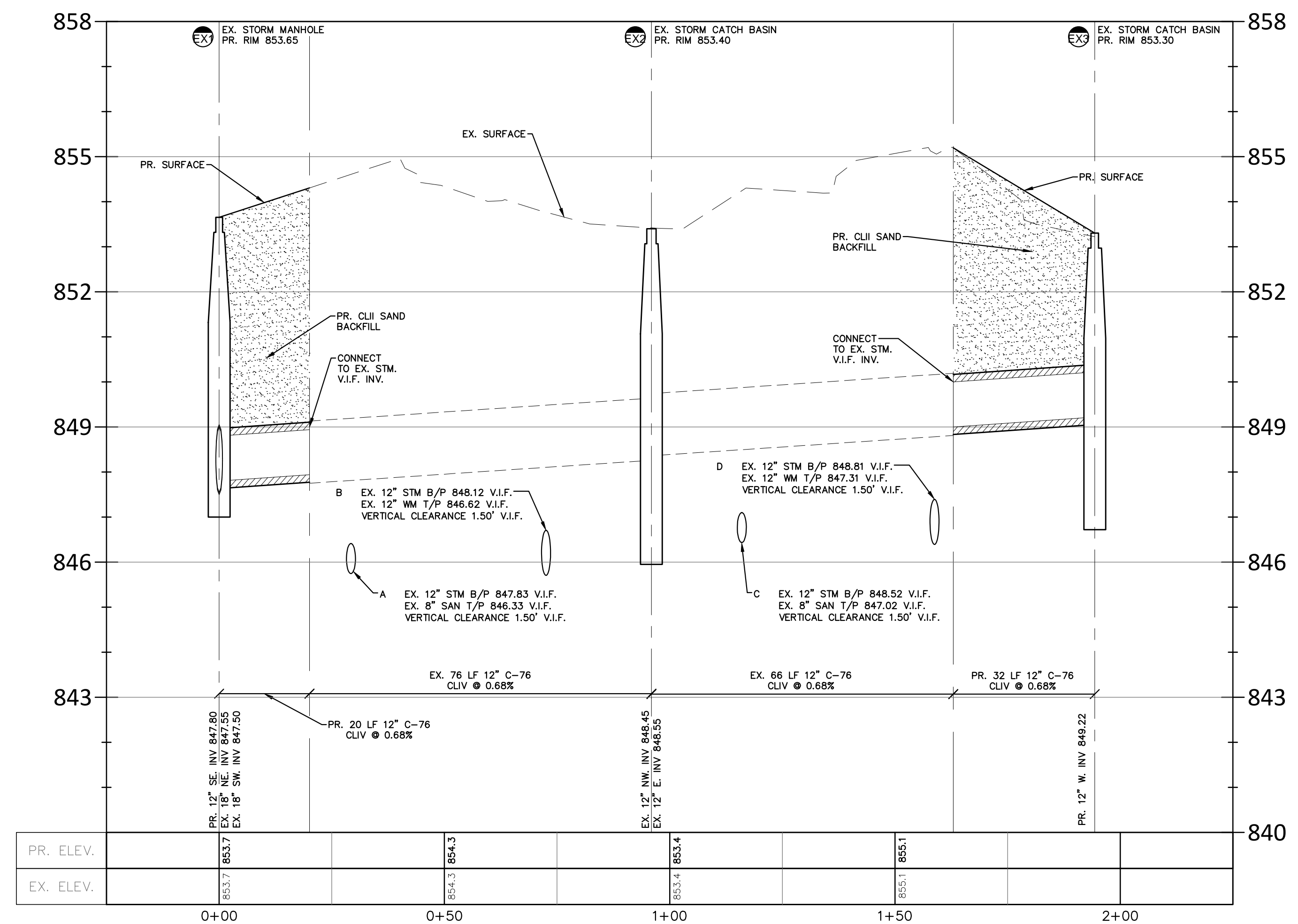
Know what's below  
Call before you dig.

DATE ISSUED/REVISED  
2023-09-20 - ISSUED FOR PSP/FSP REVIEW

DRAWN BY:  
B. Girbach  
DESIGNED BY:  
T. Wood  
APPROVED BY:  
J. Longhurst  
DATE:  
September 12, 2023

SCALE: 1" = 20' / 1" = 2'

NFE JOB NO. SHEET NO.  
1921-06 C7



T = 20 Minutes I = 175 / (T+25) I = 97 / (T+30)		Time of Concentration 10 Year Storm Event Intensity 1 Year Storm Event Intensity		Novi, Oakland County Storm Sewer Calculations		Project No: 1921-06 Project Name: Audi Service Center		Location: Novi Dated: 9/12/2023																	
n (Conc.) 0.013 n (Pvc) 0.012	Manning's Roughness Coefficient																								
Drainage Area	From Structure	To Structure	Drainage Area	Runoff Coefficient	Equivalent Area	Total Area	Time of Concentration	Rainfall Intensity	Actual Discharge	Pipe Size	Pipe Slope	Pipe Length	Flow Velocity	Time of Full	Full Capacity	H. G. Elev. Upper	H. G. Elev. Lower	H. G. Slope	Theoretical Velocity	Rim Elevation	Change in Elev. Upper	Invert Elev. Lower	COVER	RIM TO HG	
A	1	EX4	0.28	0.74	0.207	0.207	20.00	3.89	0.81	12	0.35	82	2.68	0.51	2.11	849.61	849.57	0.05	1.03	853.55	0.29	849.06	848.77	3.33	3.94

Surface Type	Runoff Coefficient	Drainage Area	
		A	B
Impervious Areas (Acres)	0.95	0.18	0.22
Pond Area (Acres)	1.00	0.00	0.00
Pervious Area (Acres)	0.35	0.10	0.15
Total Area (Acres)		0.28	0.37
Weighted C Factor		0.74	0.71

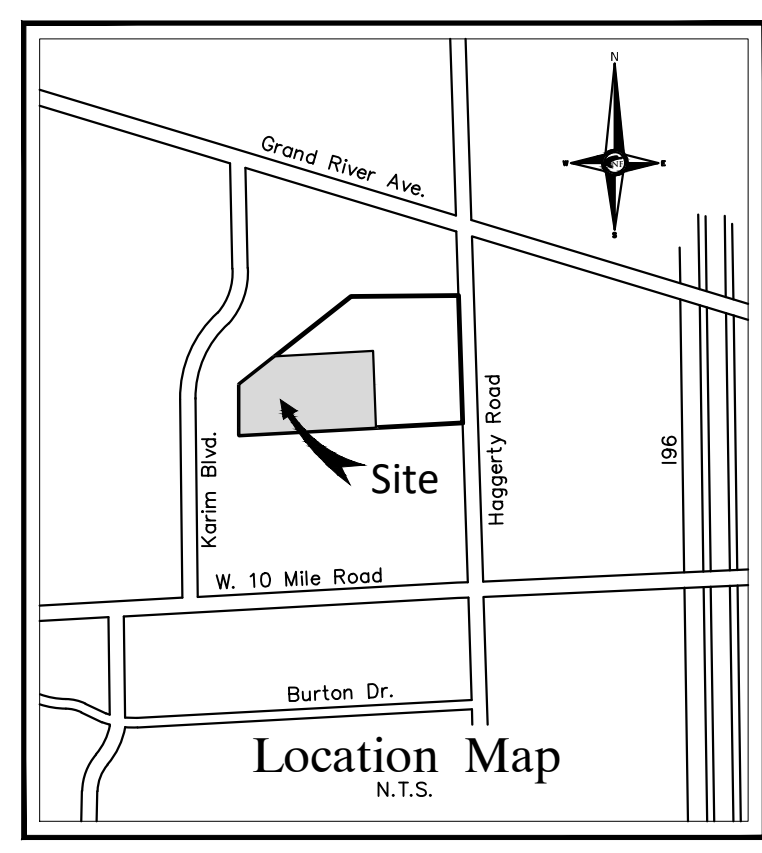
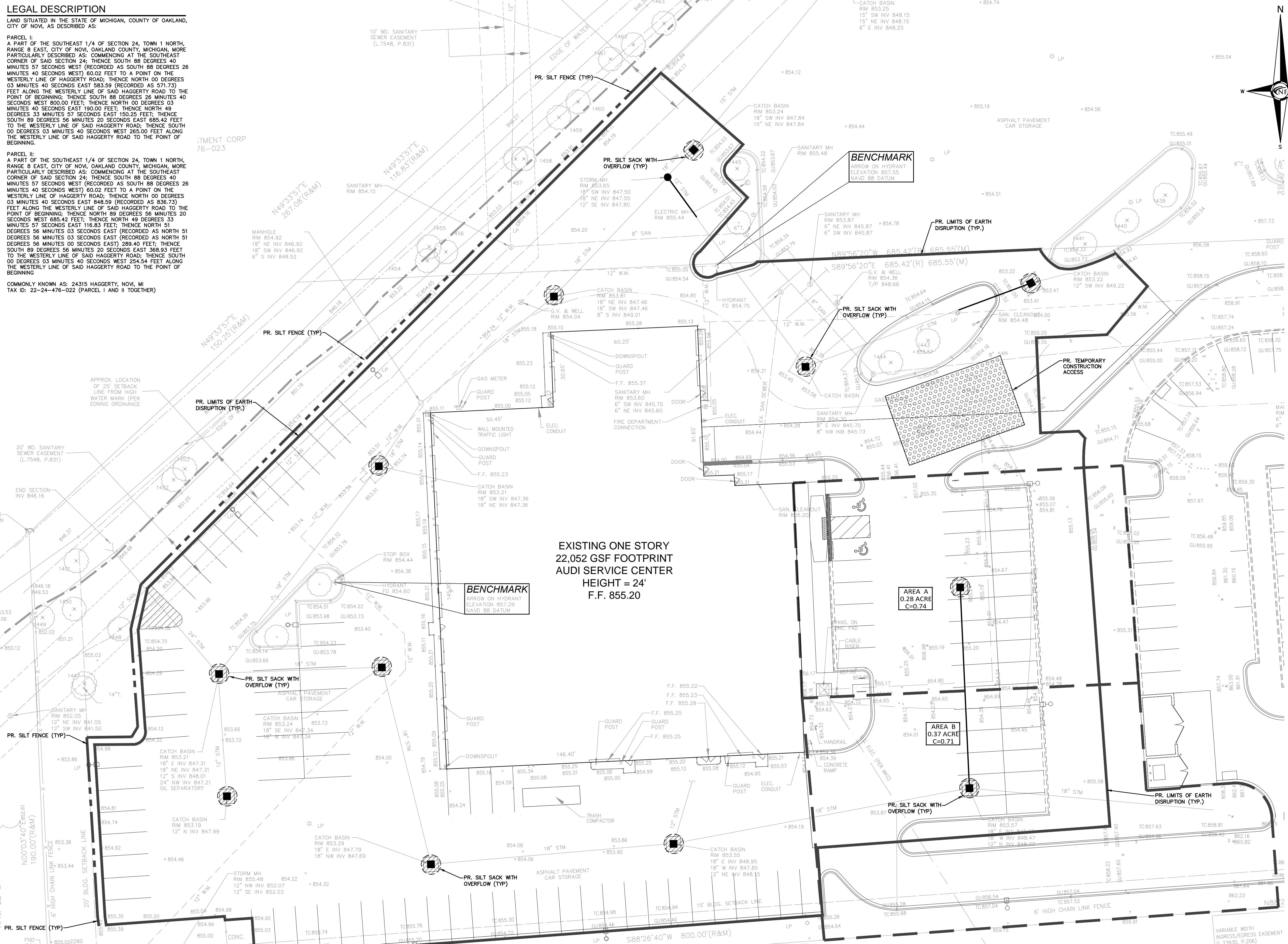
**LEGAL DESCRIPTION**

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI, AS DESCRIBED AS:

**PARCEL I:**  
A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24; THENCE SOUTH 88 DEGREES 40 MINUTES 57 SECONDS WEST (RECORDED AS SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST) 60.02 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 583.59 (RECORDED AS 571.73) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST 800.00 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 190.00 FEET; THENCE SOUTH 88 DEGREES 40 DEGREES 57 SECONDS WEST 285.00 FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING.

**PARCEL II:**  
A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24; THENCE SOUTH 88 DEGREES 40 MINUTES 57 SECONDS WEST (RECORDED AS SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST) 60.02 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 848.59 (RECORDED AS 836.73) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 56 MINUTES 20 SECONDS WEST 685.42 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 20 SECONDS EAST 368.93 FEET TO THE WESTERLY LINE OF SAID HAGGERTY ROAD; THENCE SOUTH 00 DEGREES 03 MINUTES 40 SECONDS WEST 254.54 FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING.

COMMONLY KNOWN AS: 24315 HAGGERTY, NOVI, MI  
TAX ID: 22-24-476-022 (PARCEL I AND II TOGETHER)



**NF ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM

SEAL

STATE OF MICHIGAN  
JASON R. LONGHURST  
ENGINEER  
NO. 0077  
LICENSED PROFESSIONAL ENGINEER

**PROJECT**  
Audi Novi Service Shop -  
24315 Haggerty Road

**CLIENT**  
Lithia Motors, Inc.  
150 N. Bartlett Street  
Medford, OR 97501

**Contact:**  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
email:josephgilardone@lithia.com

**PROJECT LOCATION**  
Part of the SE 1/4  
of Section 24,  
T. 1N., R. 8E,  
City of Novi,  
Oakland County, MI

**SHEET**  
Soil Erosion and  
Sedimentation Control  
Plan

**811**  
Know what's below  
Call before you dig.

**DATE** ISSUED/REVISED  
2023-09-20 - ISSUED FOR PSP/FSP REVIEW

**DRAWN BY:**  
B. Girbach

**DESIGNED BY:**  
T. Wood

**APPROVED BY:**  
J. Longhurst

**DATE:**  
September 12, 2023

**SCALE:** 1" = 20'  
20 10 0 10 20 30

**NFE JOB NO.** 1921-06 **SHEET NO.** C8

**CONSTRUCTION SEQUENCE / TIMING SCHEDULE**

1. INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED.	OCTOBER 2023
2. MASS GRADE SITE.	OCTOBER 2023
3. COMMENCE UNDERGROUND UTILITY WORK.	NOVEMBER 2023
4. INSTALL INLET FILTERS ON PROPOSED DRAINAGE STRUCTURES.	APRIL 2024
5. FILL IN SEDIMENTATION TRAPS AND PAVE SITE.	APRIL 2024
6. COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.	MAY 2024
7. JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.	JUNE 2024
8. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	JULY 2024

**CITY OF NOVI SESC NOTES**

INSPECT BMPs PRIOR TO FORECAST RAIN, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, WEEKLY DURING THE RAINY SEASON, AND AT TWO-WEEK INTERVALS DURING THE NON-RAINY SEASON.

SEDIMENT SHOULD BE REMOVED WHEN THE SEDIMENT ACCUMULATION REACHES 1/3 - 1/2 OF THE SILT FENCE HEIGHT. SEDIMENT REMOVED DURING MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.

SILT FENCE SHOULD BE INSPECTED AT LEAST WEEKLY, IMMEDIATELY BEFORE A FORECASTED RUNOFF EVENT, AND AFTER EACH RUNOFF EVENT FROM RAIN OR SNOWMELT.

ROUTINELY INSPECT THE ACCESS ROAD AND ADJACENT ROADWAYS FOR TRACKOUT, SOIL BUILD-UP, FILLED AGGREGATE HOLES, AND SIGNS OF ROAD BED FAILURE SUCH AS MIGRATION OF STONE INTO THE SUB-BASE, RUTTING, ETC.

IMMEDIATELY REMOVE ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAYS SWEEPING OR SHOVELING. DO NOT WASH SEDIMENT INTO WATERWAYS OR STORM SEWERS.

**CITY OF NOVI SESC NOTES**

INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING.

SILT FENCE: 6" ANCHOR TRENCH, STAKES 6' ON CENTER.

VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3"-4" OF TOPSOIL SHALL BE USED WHERE VEGETATION IS REQUIRED.

DIVERSION BERMS OR TERRACING SHALL BE IMPLEMENTED WHERE NECESSARY.

ALL DRAINAGE DITCHES SHALL BE STABILIZED WITH EROSION CONTROL BLANKET AND SHALL UTILIZE CHECK DAMS AS NECESSARY. DRAINAGE DITCHES STEEPER THAN 3% SHALL BE SOGGED.

ALL CULVERT END SECTIONS MUST CONTAIN GROUDED RIPRAP IN ACCORDANCE WITH ORDINANCE SPECIFICATIONS.

INSPECT PRE-TREATMENT STRUCTURE WEEKLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED AND CLEAN AS REQUIRED.

**CITY OF NOVI SESC NOTES**

IF Dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the engineering division for review.

IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBED AREAS DUE TO THE INSTALLATION OF PUBLIC UTILITIES.

CONTRACTOR SHALL PROVIDE STREET SWEEPING AND DUST CONTROL AS REQUIRED TO KEEP ROADS FREE OF DEBRIS OR AS DIRECTED BY CITY INSPECTOR.

SLOPES STEEPER THAN 1V:6H (16%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKET.

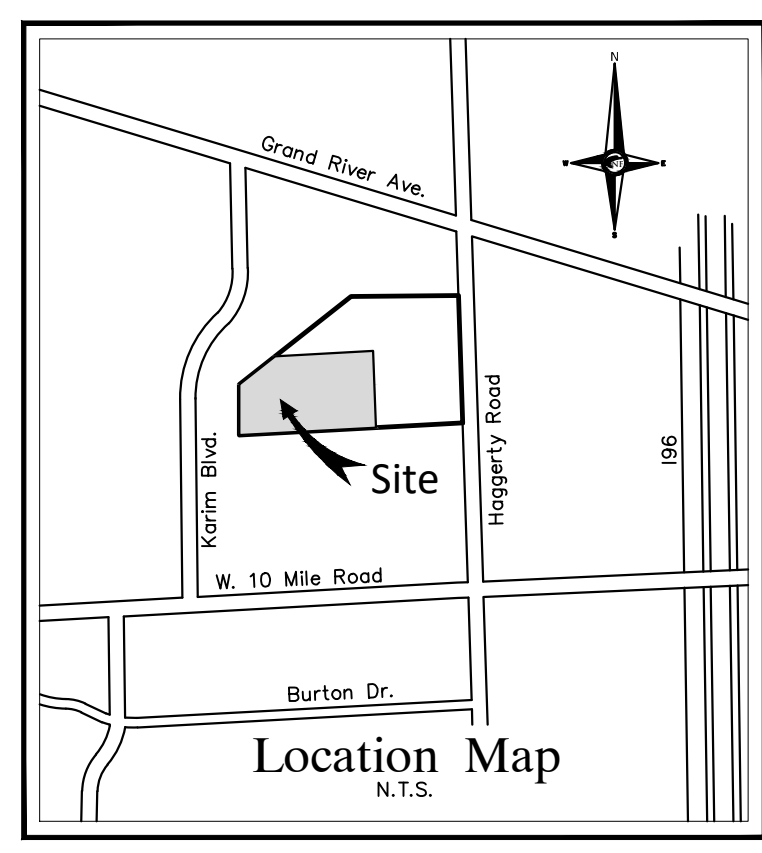
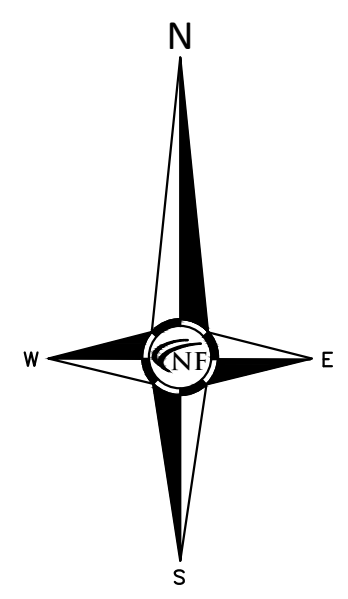
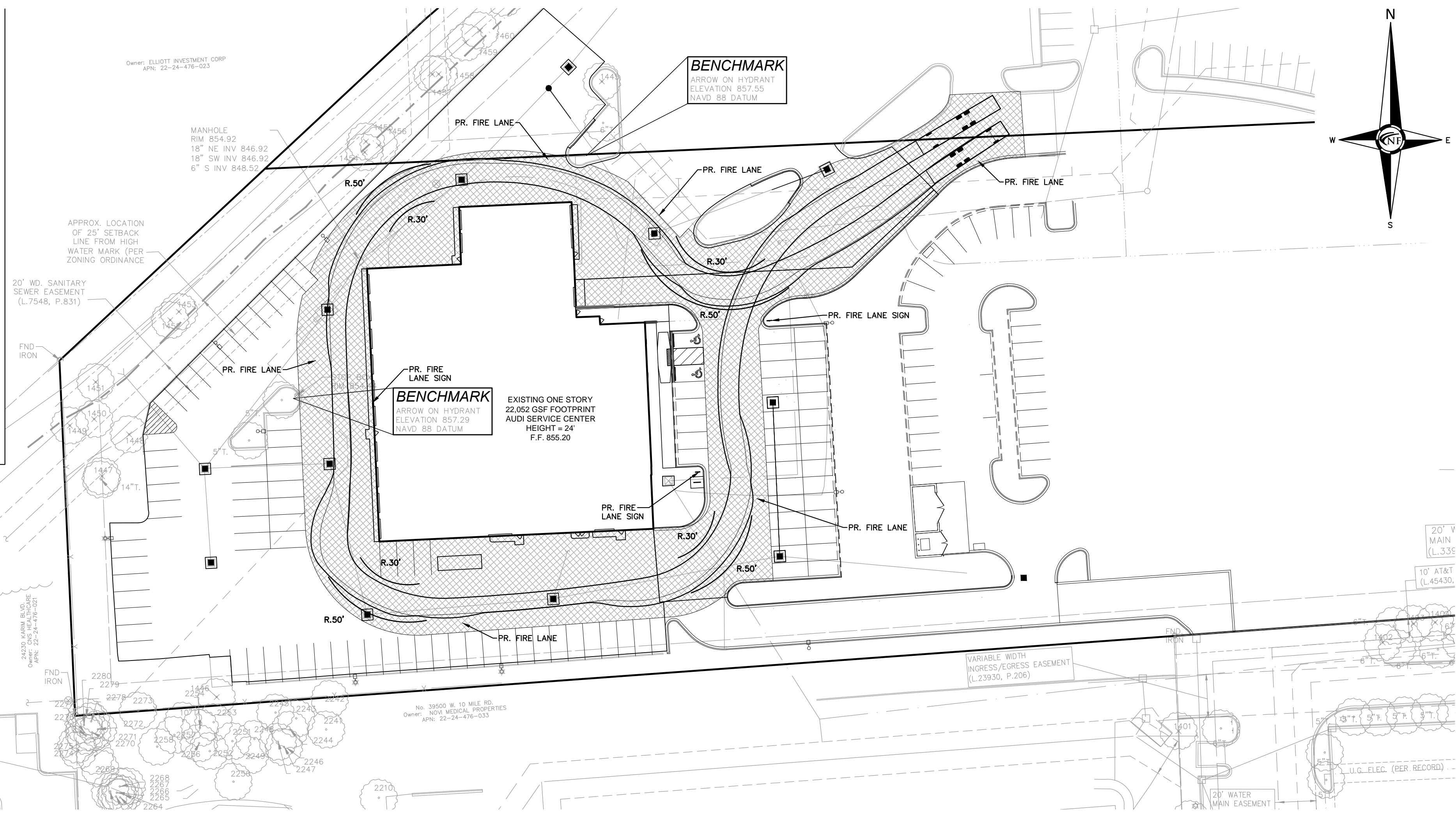
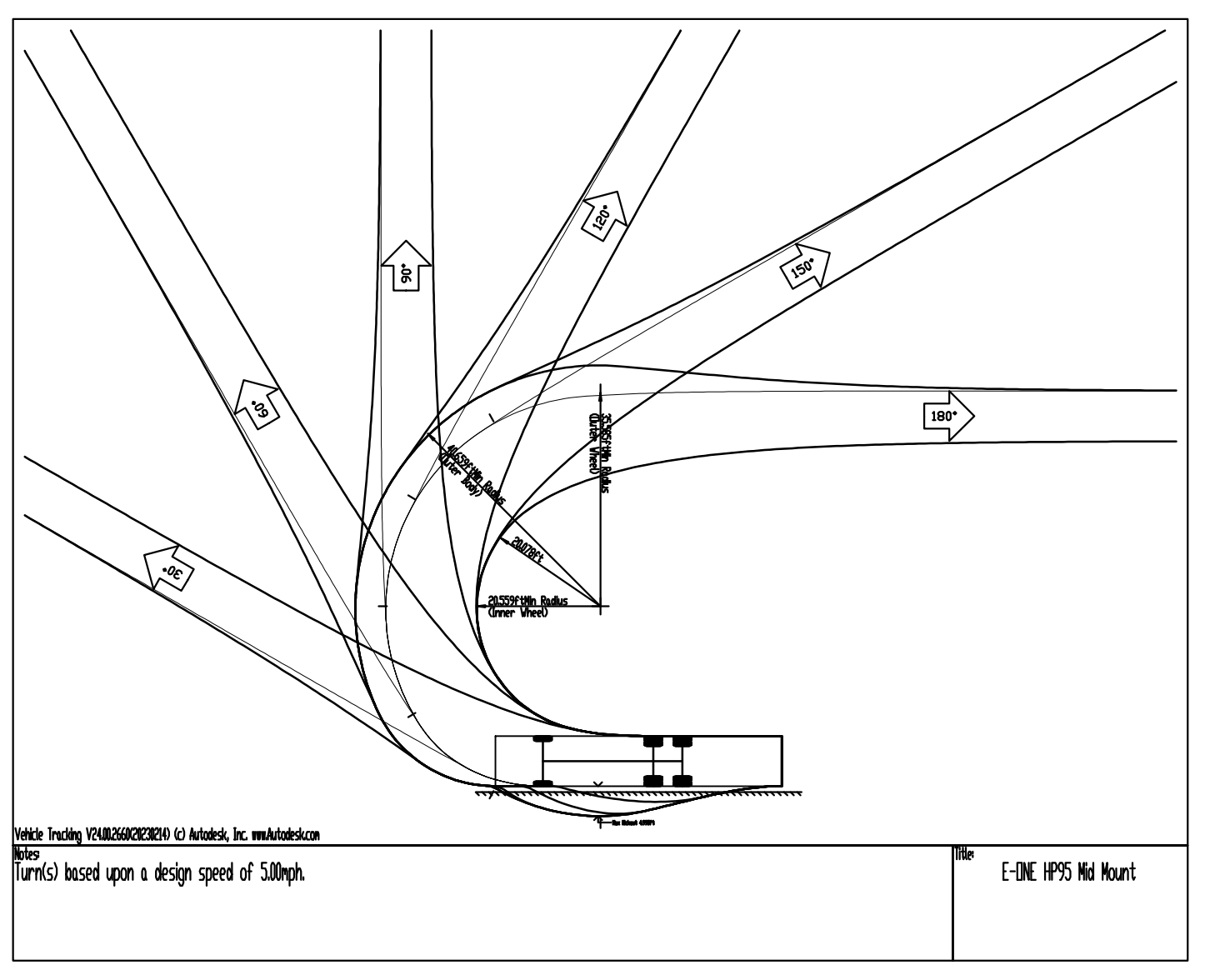
INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

**LEGEND**

- - - - - INDICATES LIMITS OF SILT FABRIC FENCE
- - - - - INDICATES LIMITS OF DRAINAGE DISTRICT AREA
- - - - - INDICATES LIMITS OF SOIL DISRUPTION
- INDICATES SILT SACK OR EQUAL ON EXISTING DRAINAGE STRUCTURE
- INDICATES DRAINAGE DISTRICT AREA

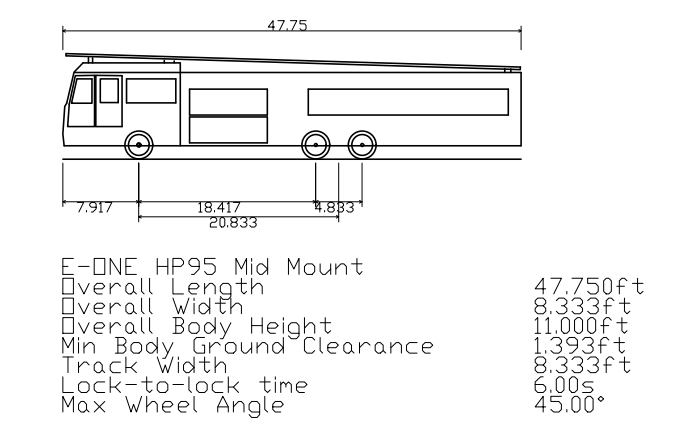
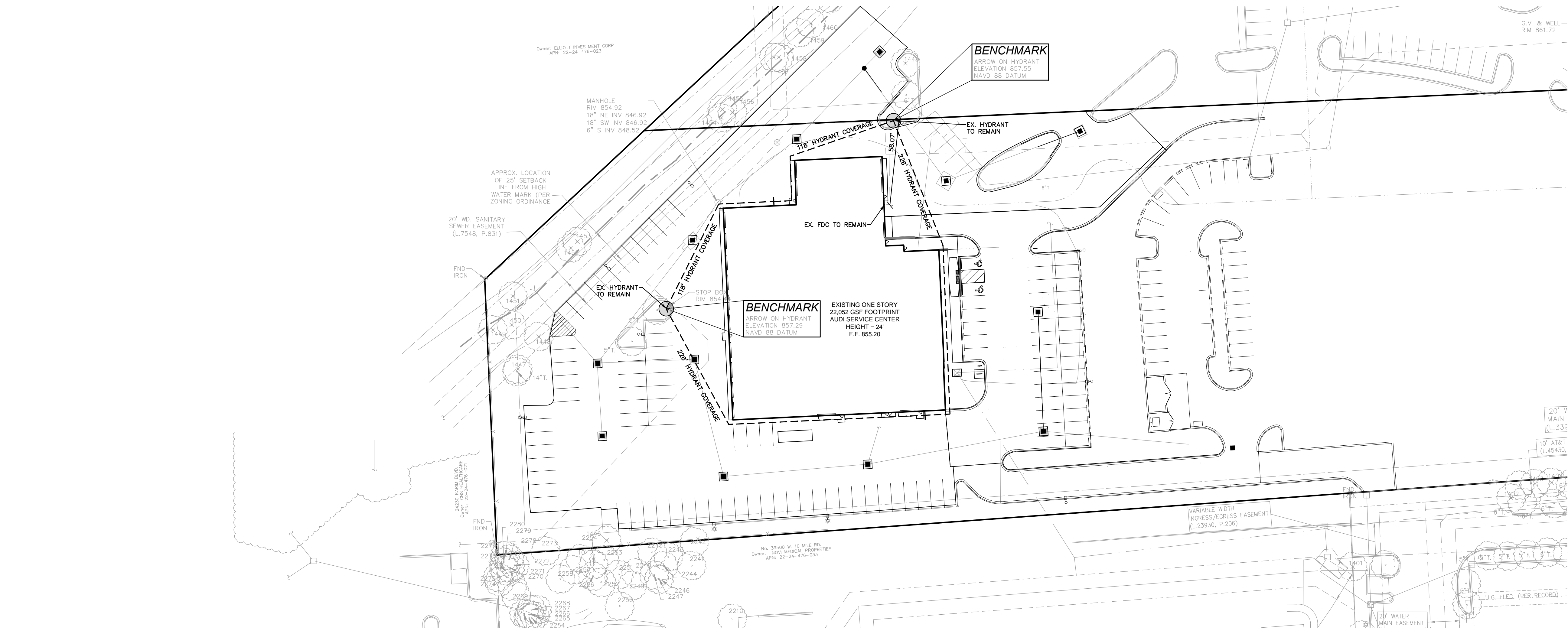
AREA A  
0.00 ACRE  
C=0.95



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257  
 WWW.NOWAKFRAUS.COM

TRUCK MANEUVERING AND FIRE LANE PLAN  
 SCALE: 1"=40'



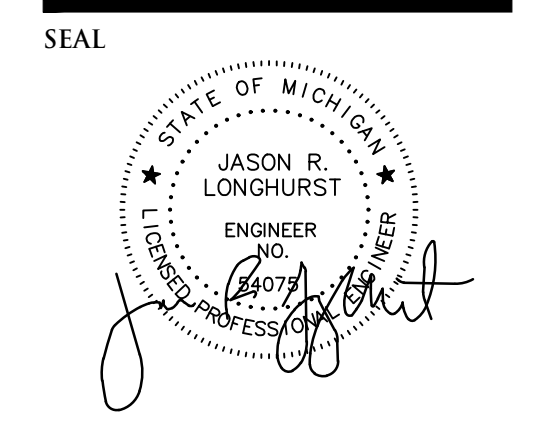
**PAVING LEGEND**

	PROPOSED FIRE LANE
--	--------------------

**LEGEND**

	MANHOLE	EXISTING SANITARY SEWER
	HYDRANT	SAN. CLEAN OUT
	GATE VALVE	EXISTING WATERMAIN
	MANHOLE CATCH BASIN	EXISTING STORM SEWER
	UTILITY POLE	EX. R. Y. CATCH BASIN
	GUY POLE	EXISTING BURIED CABLES
	GUY WIRE	EXISTING BURIED LINES
	SIGN	OVERHEAD LINES
	C.O.	EXISTING GAS MAIN
	MANHOLE	PR. SANITARY SEWER
	HYDRANT	PR. WATER MAIN
	GATE VALVE	PR. STORM SEWER
	INLET	PR. R. Y. CATCH BASIN
	C.B.	PROPOSED LIGHT POLE
	MANHOLE	

HYDRANT COVERAGE PLAN  
 SCALE: 1"=40'



PROJECT  
 Audi Novi Service Shop -  
 24315 Haggerty Road

CLIENT  
 Lithia Motors, Inc.  
 150 N. Bartlett Street  
 Medford, OR 97501

Contact:  
 Mr. Joseph Gilardone  
 Phone: (734)645-7442  
 email:josephgilardone@lithia.com

PROJECT LOCATION  
 Part of the SE 1/4  
 of Section 24,  
 T. 1N., R. 8E.  
 City of Novi,  
 Oakland County, MI

SHEET  
 Truck Maneuvering and  
 Hydrant Coverage Plan



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DRAWN BY:  
 B. Girbach

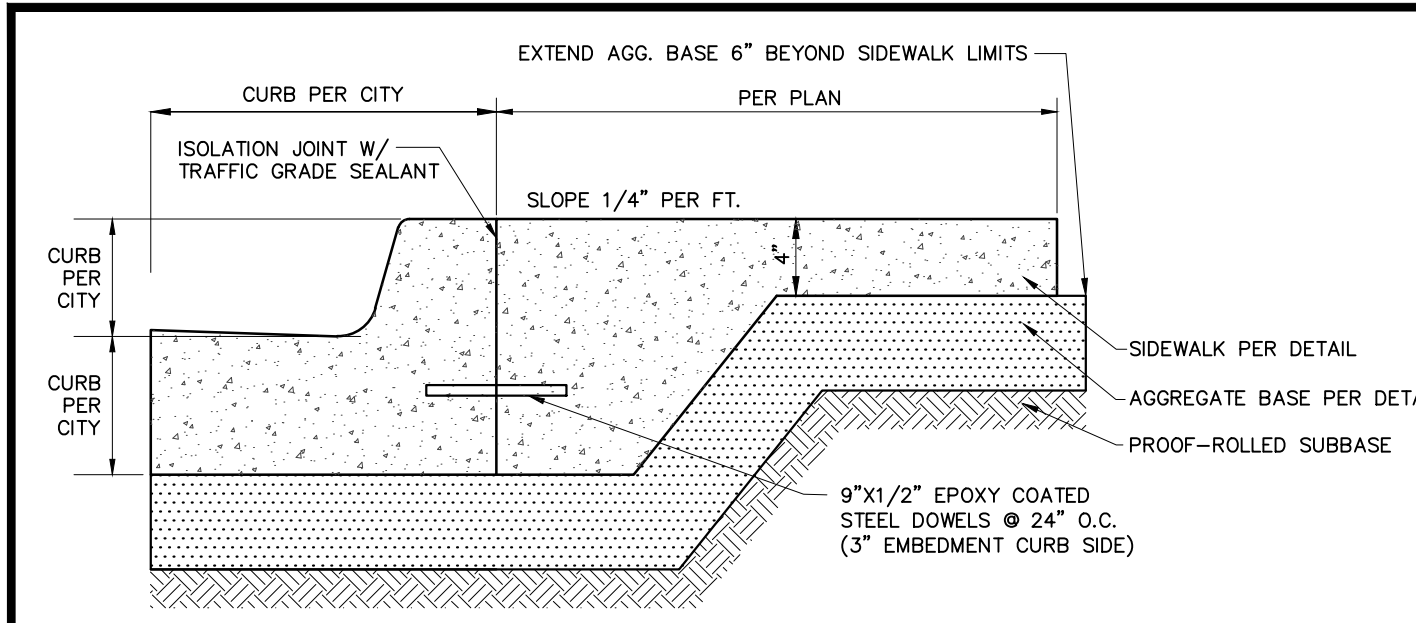
DESIGNED BY:  
 T. Wood

APPROVED BY:  
 J. Longhurst

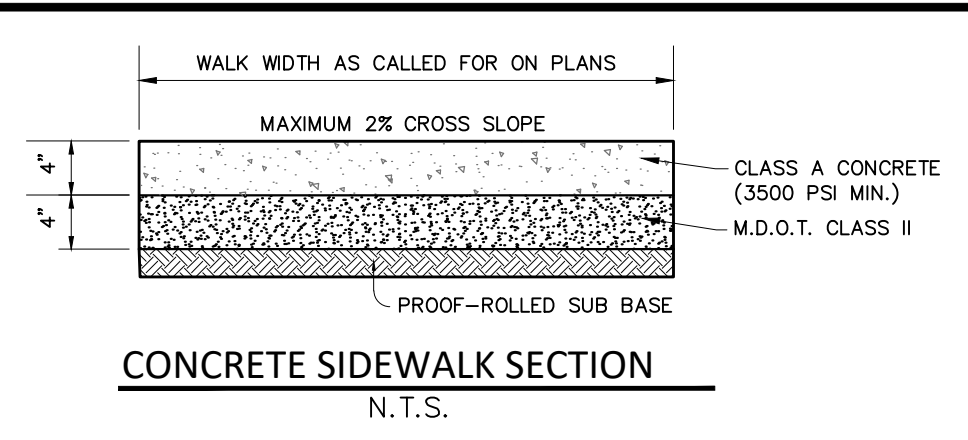
DATE:  
 September 12, 2023

SCALE: 1" = 20'

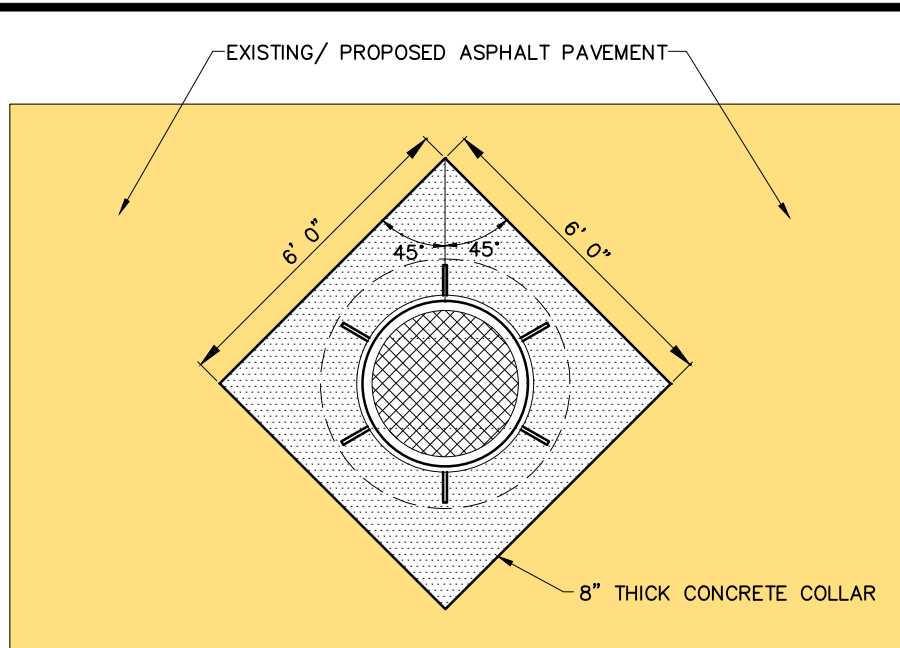
NFE JOB NO. SHEET NO.  
 1921-06 C9



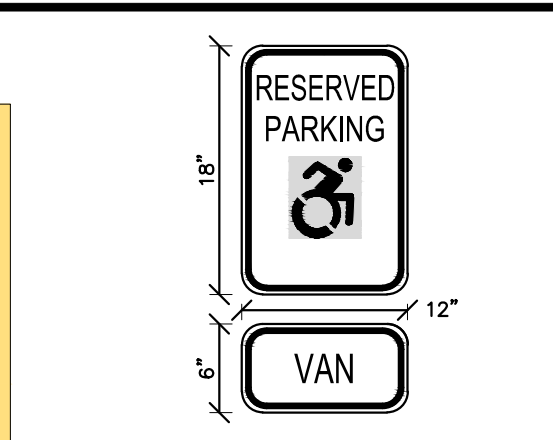
CONCRETE SIDEWALK & CURB DETAIL  
N.T.S.



CONCRETE SIDEWALK SECTION  
N.T.S.

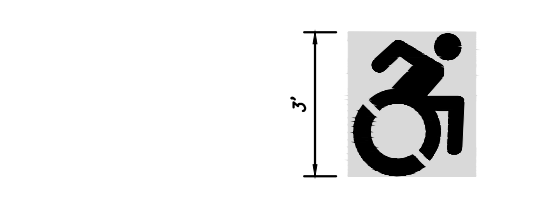


DRAINAGE STRUCTURE BOXOUT DETAIL II  
N.T.S.

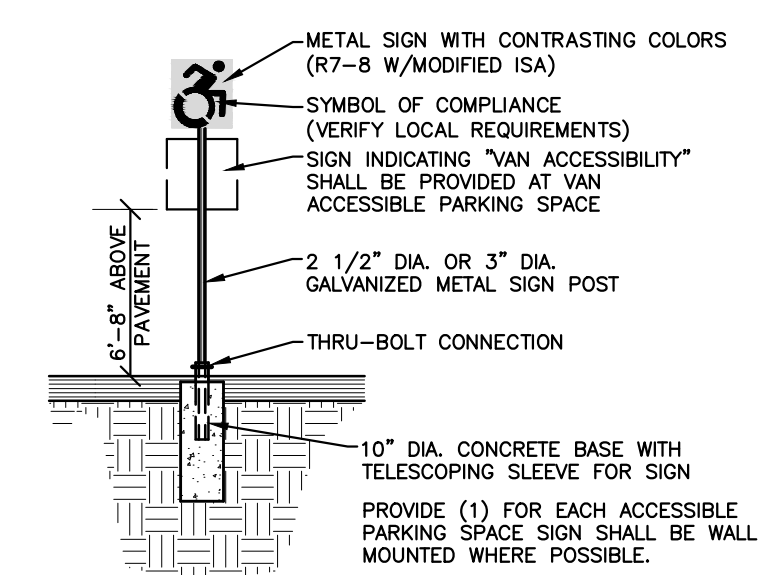


COLORS:  
BACKGROUND: WHITE  
LEGEND: GREEN  
BORDER: GREEN  
SYMBOL: WHITE ON BLUE BACKGROUND-MODIFIED ISA

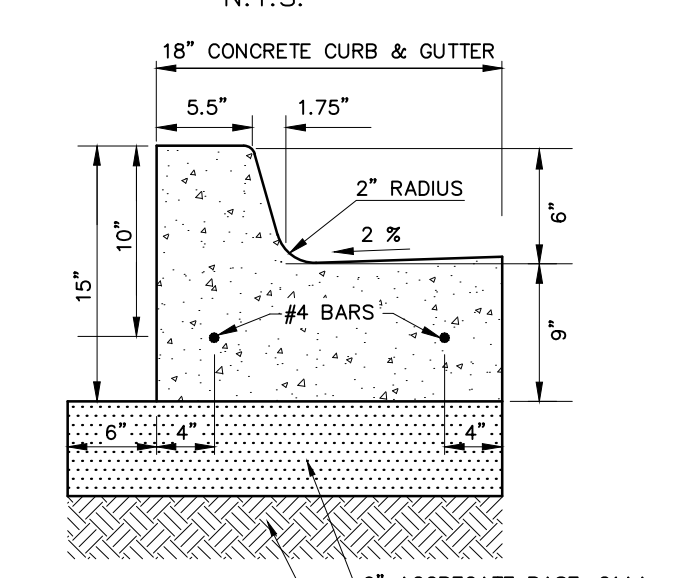
TYPICAL R7-8 BARRIER  
FREE PARKING SIGN DETAIL



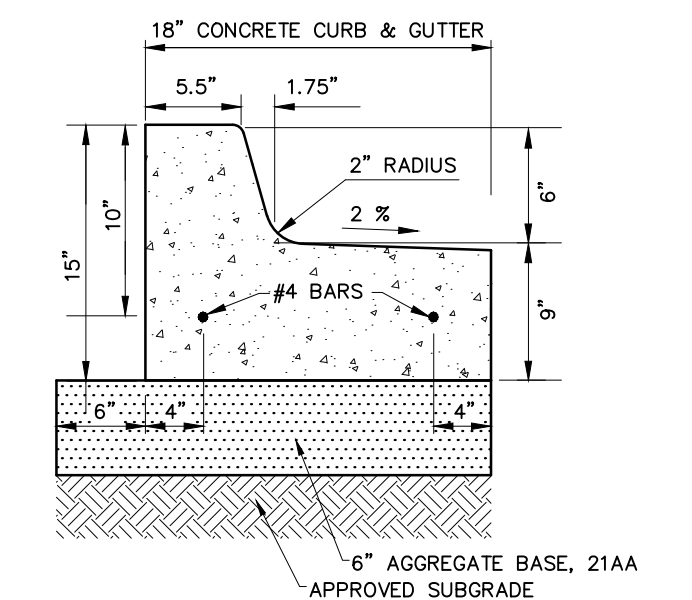
UNIVERSAL SYMBOL OF ACCESSIBILITY DETAILS



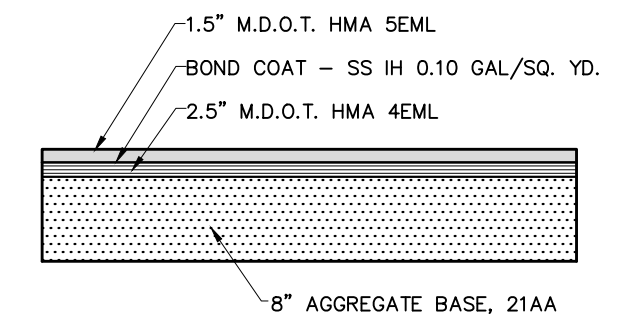
BARRIER-FREE A.D.A.  
PARKING SIGN DETAIL



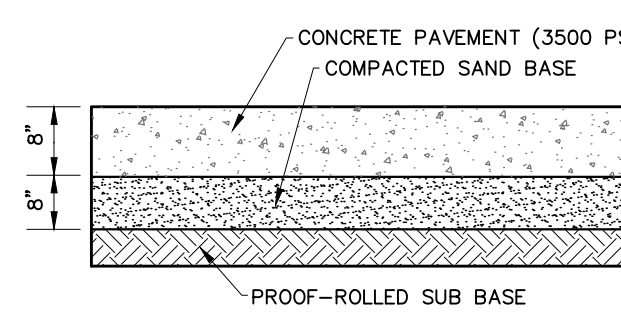
CONCRETE CURB DETAIL 'A'  
N.T.S.



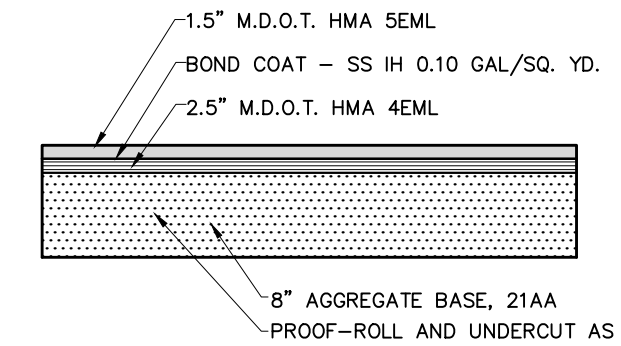
CONCRETE CURB DETAIL 'B'  
N.T.S.



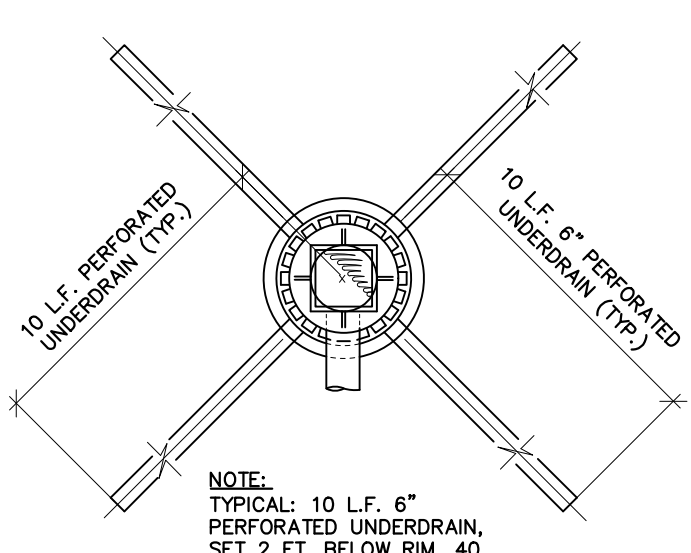
ASPHALT PAVEMENT SECTION  
N.T.S.



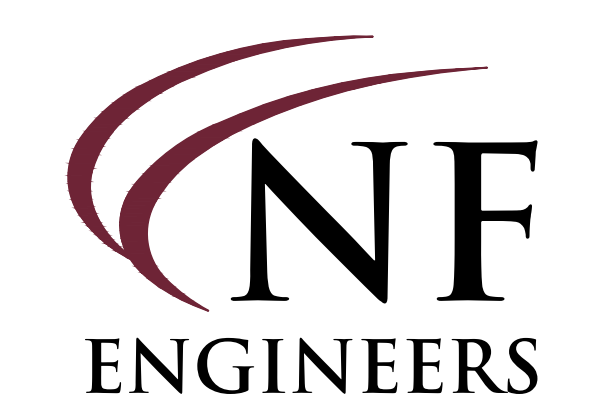
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MAINTENANCE ASPHALT SECTION  
N.T.S.

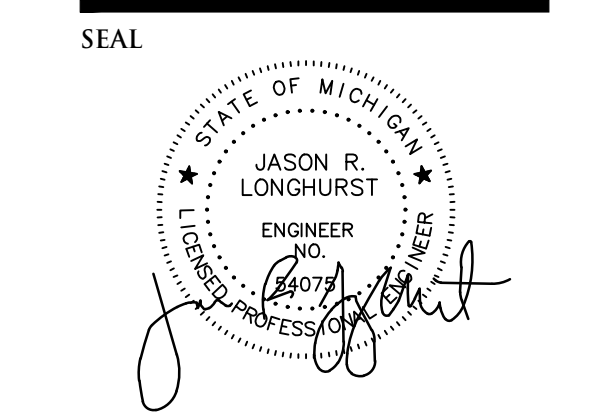


UNDERDRAIN DETAIL  
N.T.S.



CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM



PROJECT  
Audi Novi Service Shop -  
24315 Haggerty Road

CLIENT  
Lithia Motors, Inc.  
150 N. Bartlett Street  
Medford, OR 97501

Contact:  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
email:josephgilardone@lithia.com

PROJECT LOCATION  
Part of the SE 1/4  
of Section 24,  
T. 1N., R. 8E.,  
City of Novi,  
Oakland County, MI

SHEET  
Notes and Details



DATE ISSUED/REVISED  
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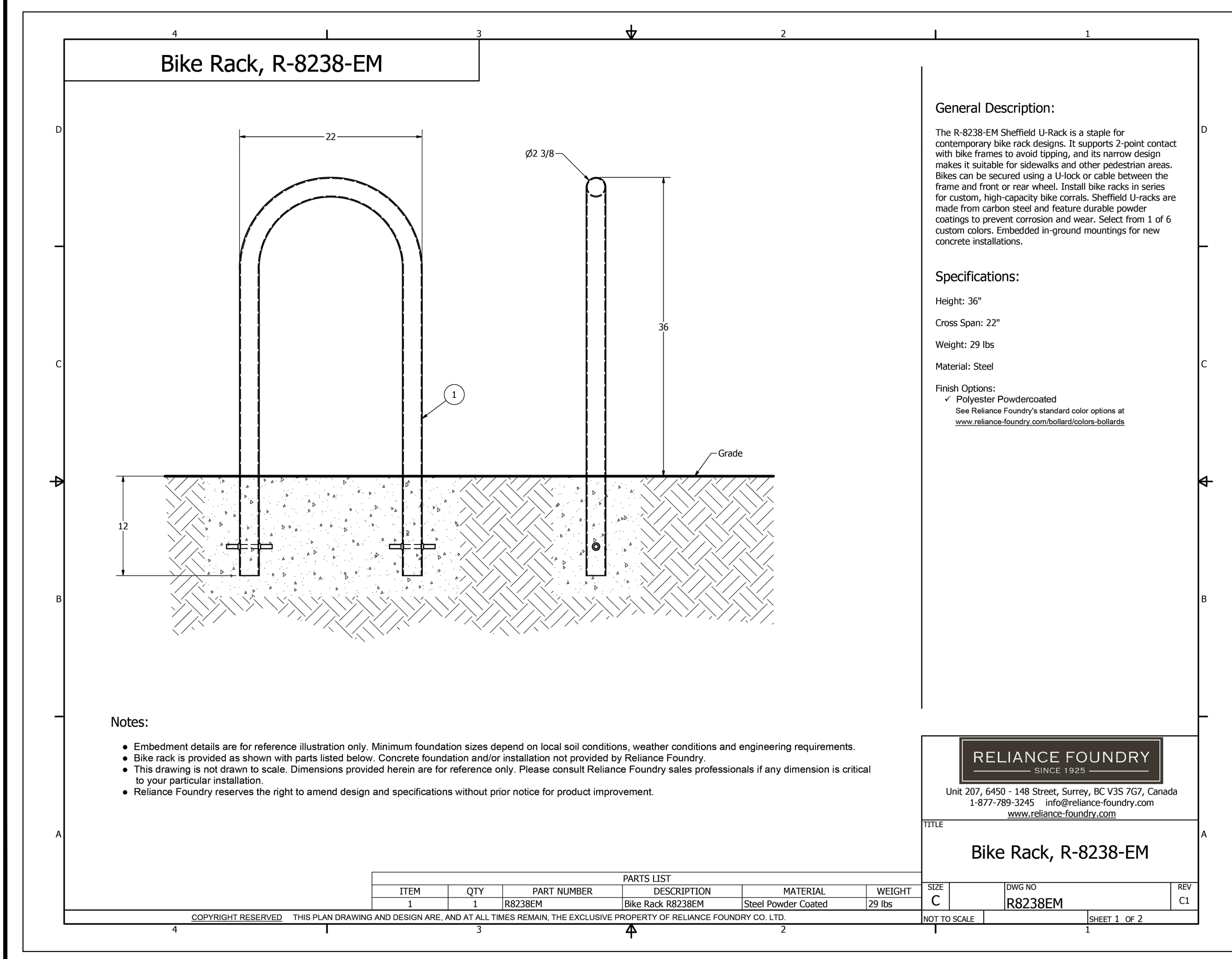
DRAWN BY:  
B. Girbach  
DESIGNED BY:

APPROVED BY:  
J. Longhurst

DATE:  
September 12, 2023

SCALE: N.T.S.

NFE JOB NO. SHEET NO.  
1921-06 C10



**General Description:**  
The R-8238-EM Sheffield U-Rack is a staple for contemporary bike rack designs. It supports 2-point contact with bike frames to avoid tipping, and its narrow design makes it suitable for sidewalks and other pedestrian areas. Bikes can be secured using a U-lock or cable between the frame and front or rear wheel. Install bike racks in series for custom, high-capacity bike corrals. Sheffield U-racks are made from carbon steel and feature durable powder-coated finishes to prevent corrosion and wear. Select from 1 of 6 custom colors. Embedded in-ground mountings for new concrete installations.

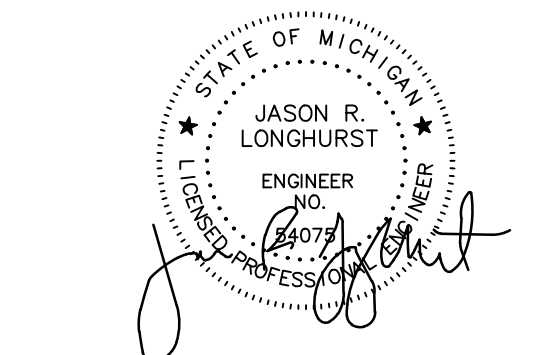
**Specifications:**  
Height: 36"  
Cross Span: 22"  
Weight: 29 lbs  
Material: Steel

**Finish Options:**  
✓ Polyester Powdercoated  
See Reliance Foundry's standard color options at [www.reliance-foundry.com/bollards/colors-bollards](http://www.reliance-foundry.com/bollards/colors-bollards)

**RELIANCE FOUNDRY**  
SINCE 1923  
Unit 207, 6450 - 148 Street, Surrey, BC V3S 7G7, Canada  
1-877-789-3245 info@reliance-foundry.com  
[www.reliance-foundry.com](http://www.reliance-foundry.com)

TITLE  
Bike Rack, R-8238-EM

SEAL



PROJECT  
Audi Novi Service Shop -  
24315 Haggerty Road

CLIENT  
Lithia Motors, Inc.  
150 N. Bartlett Street  
Medford, OR 97501

Contact:  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
email:josephgilardone@lithia.com

PROJECT LOCATION  
Part of the SE ¼  
of Section 24,  
T. 1N., R. 8E.  
City of Novi,  
Oakland County, MI

SHEET  
Notes and Details



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B. Girbach

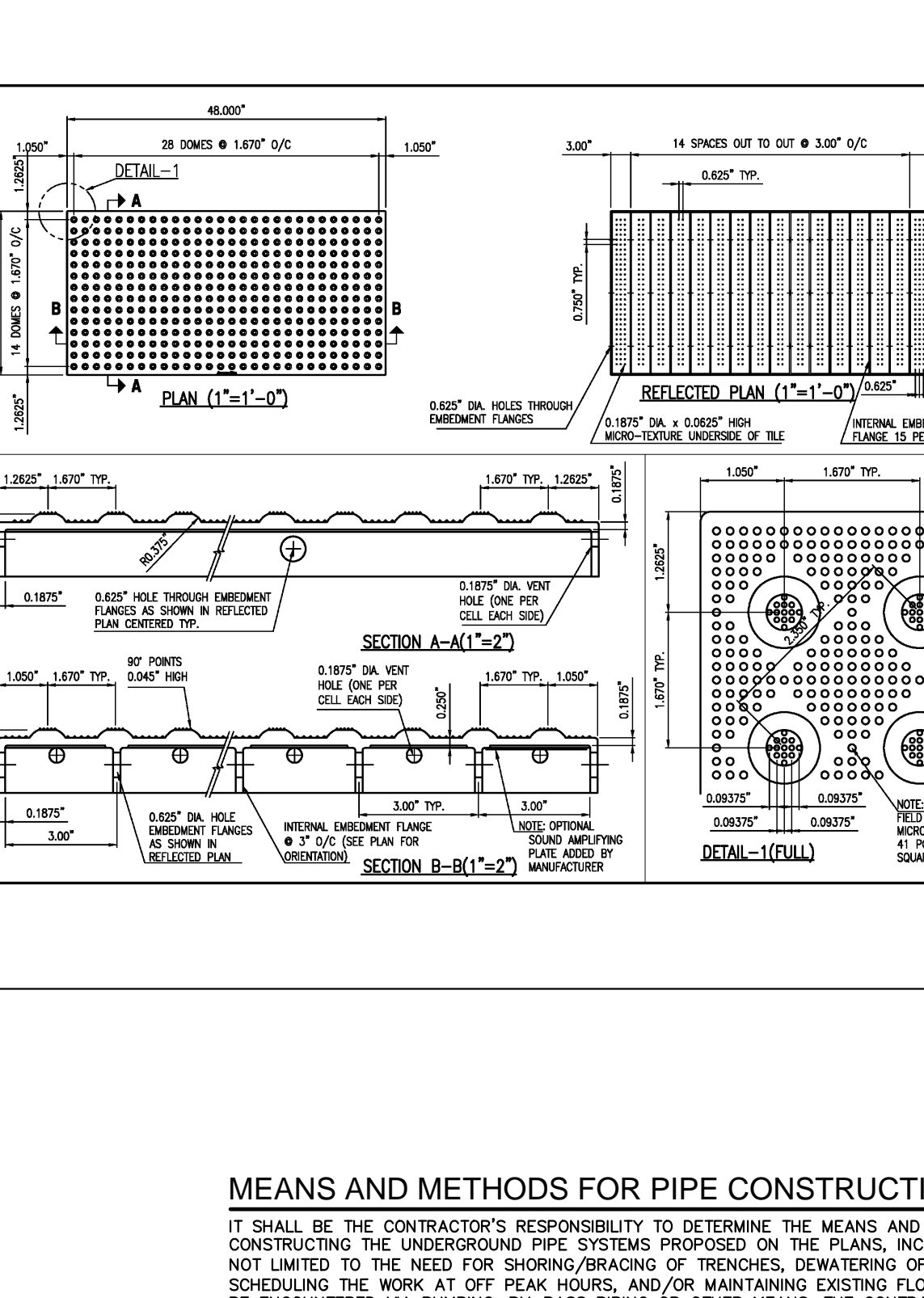
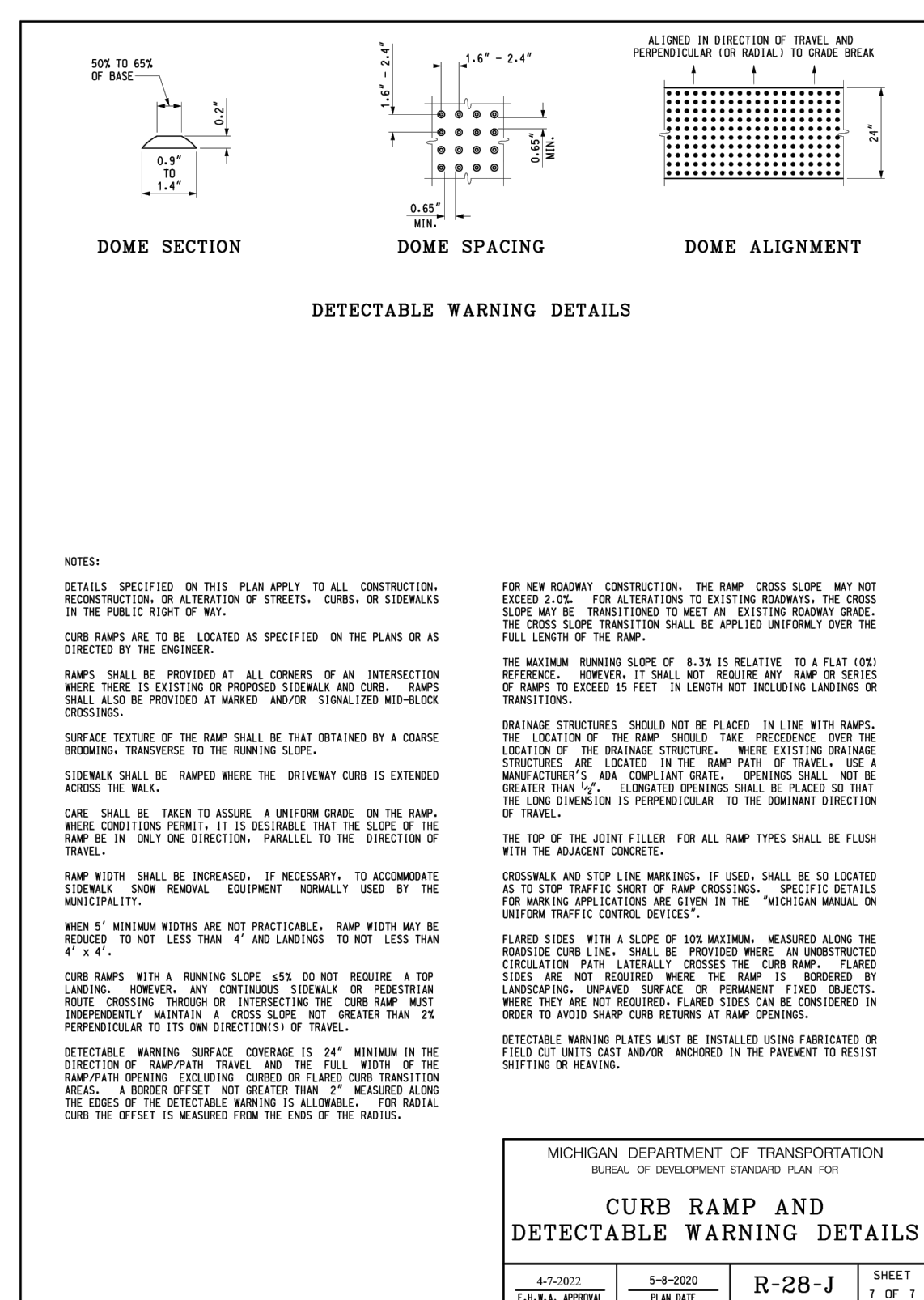
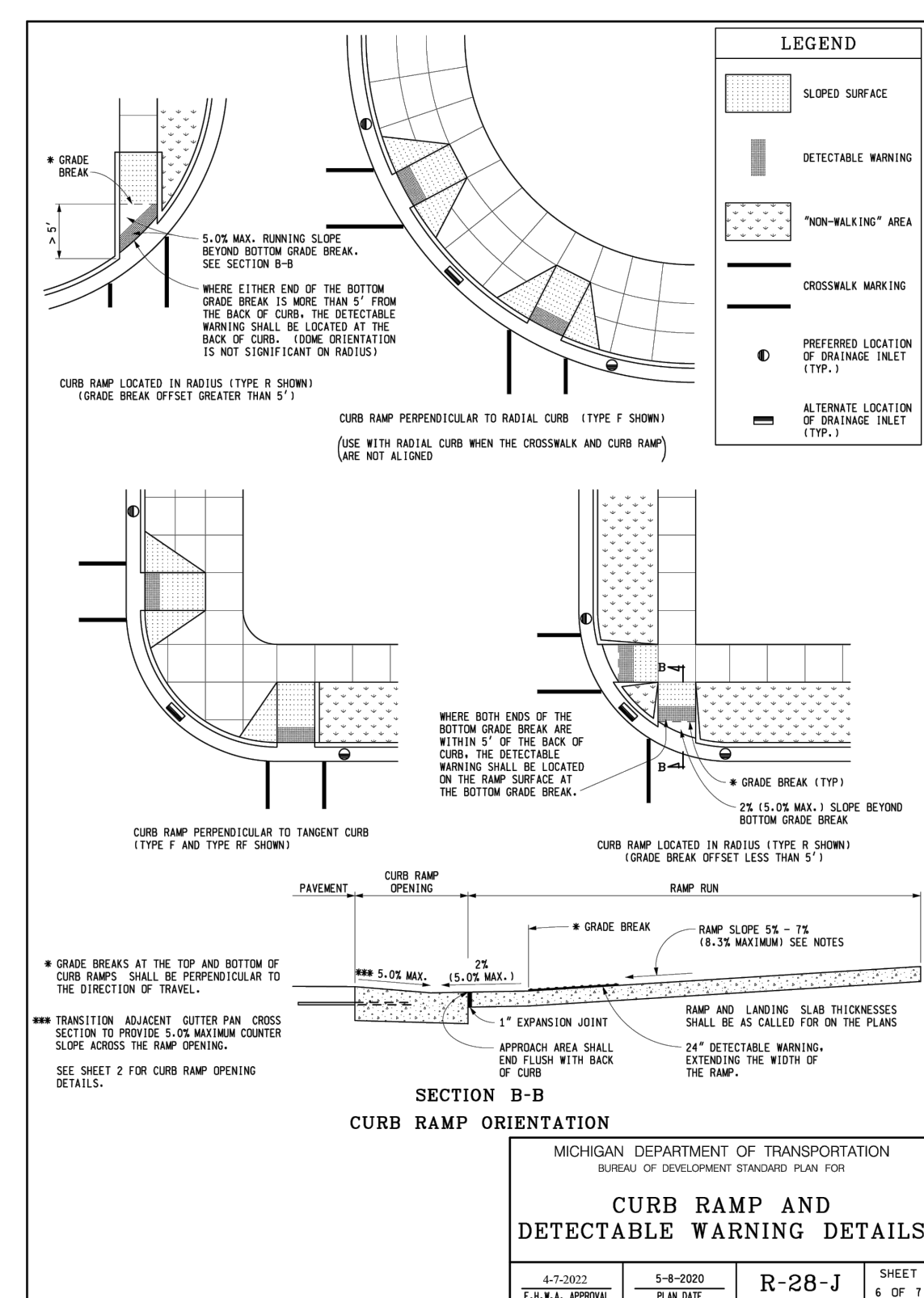
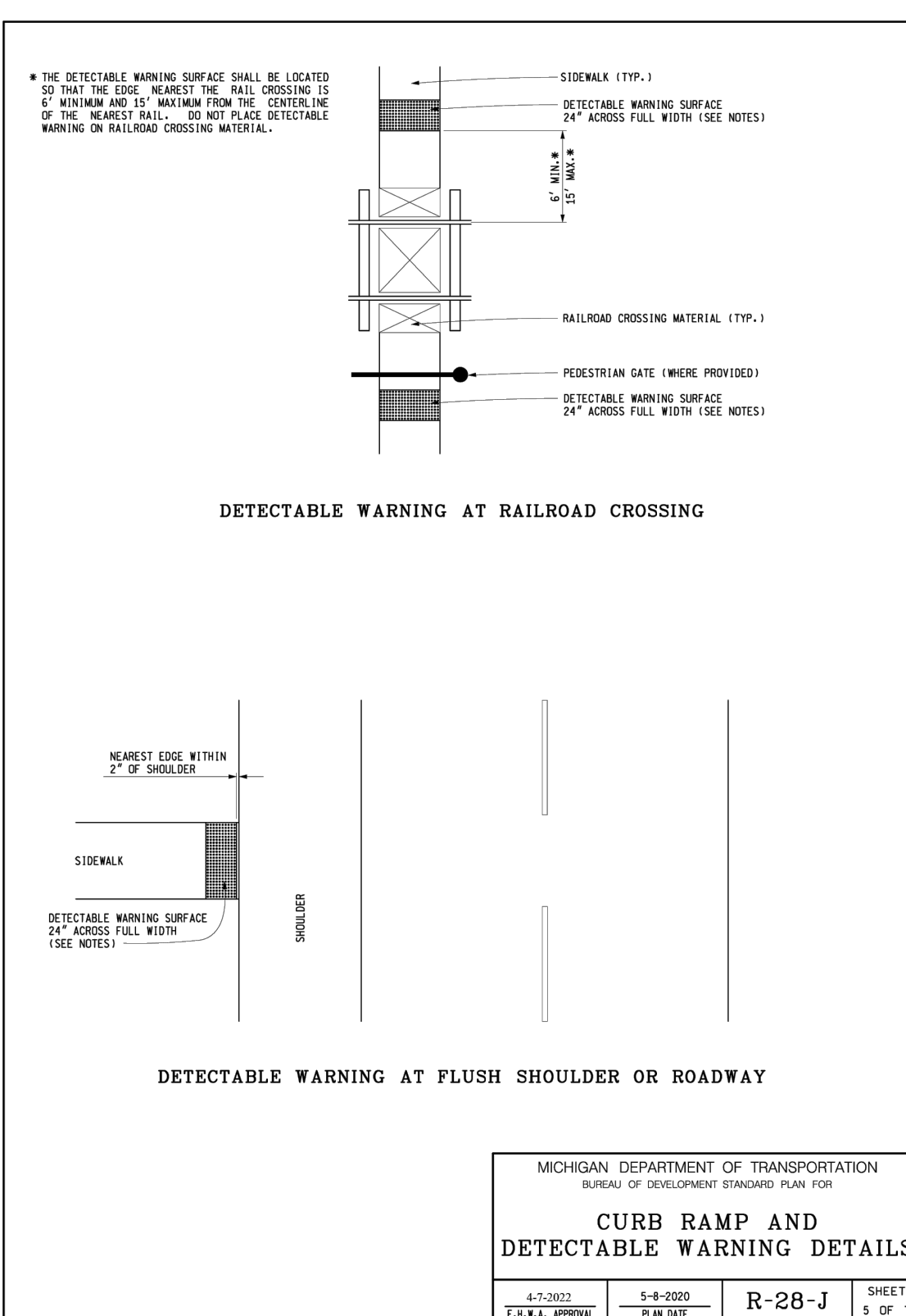
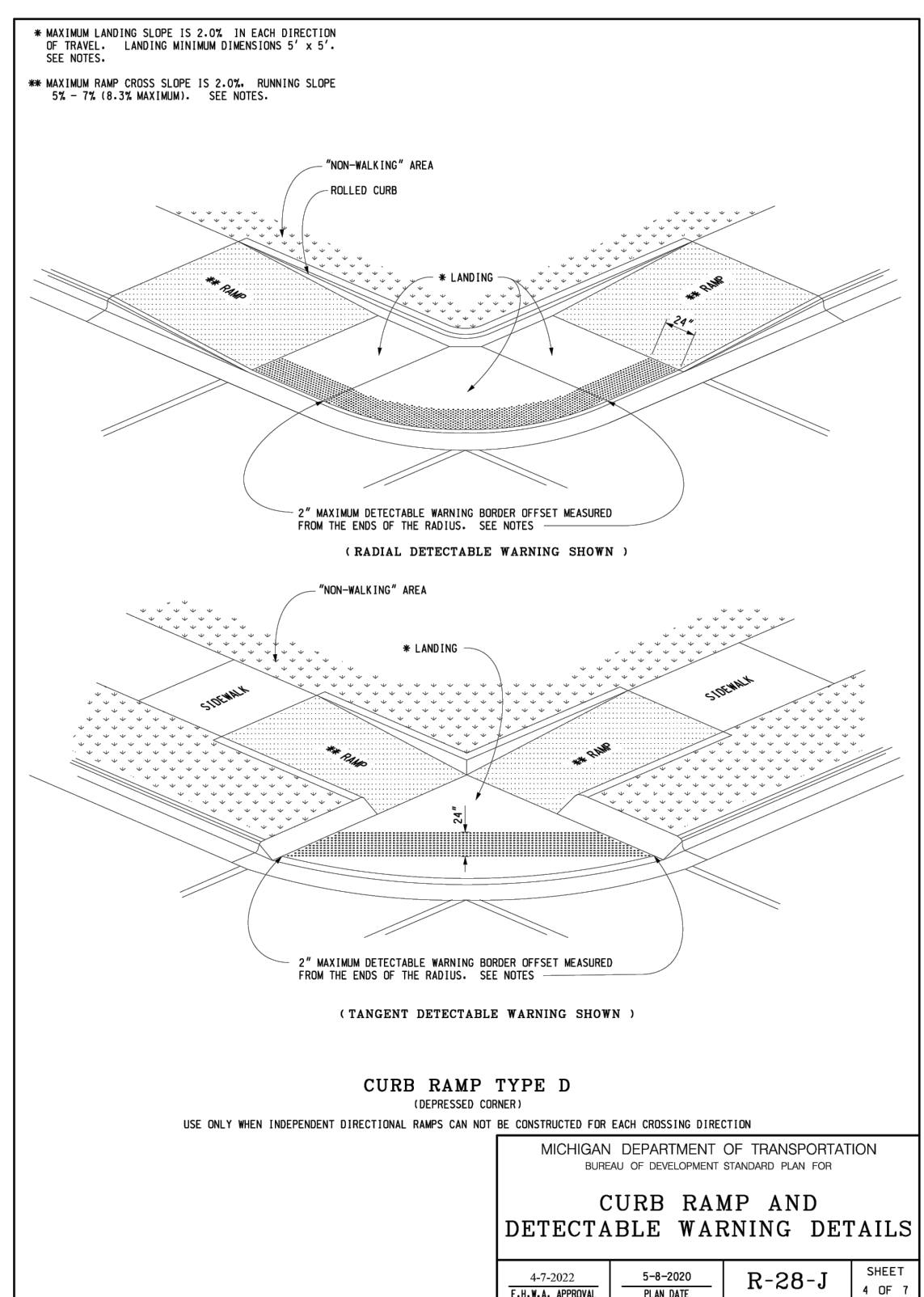
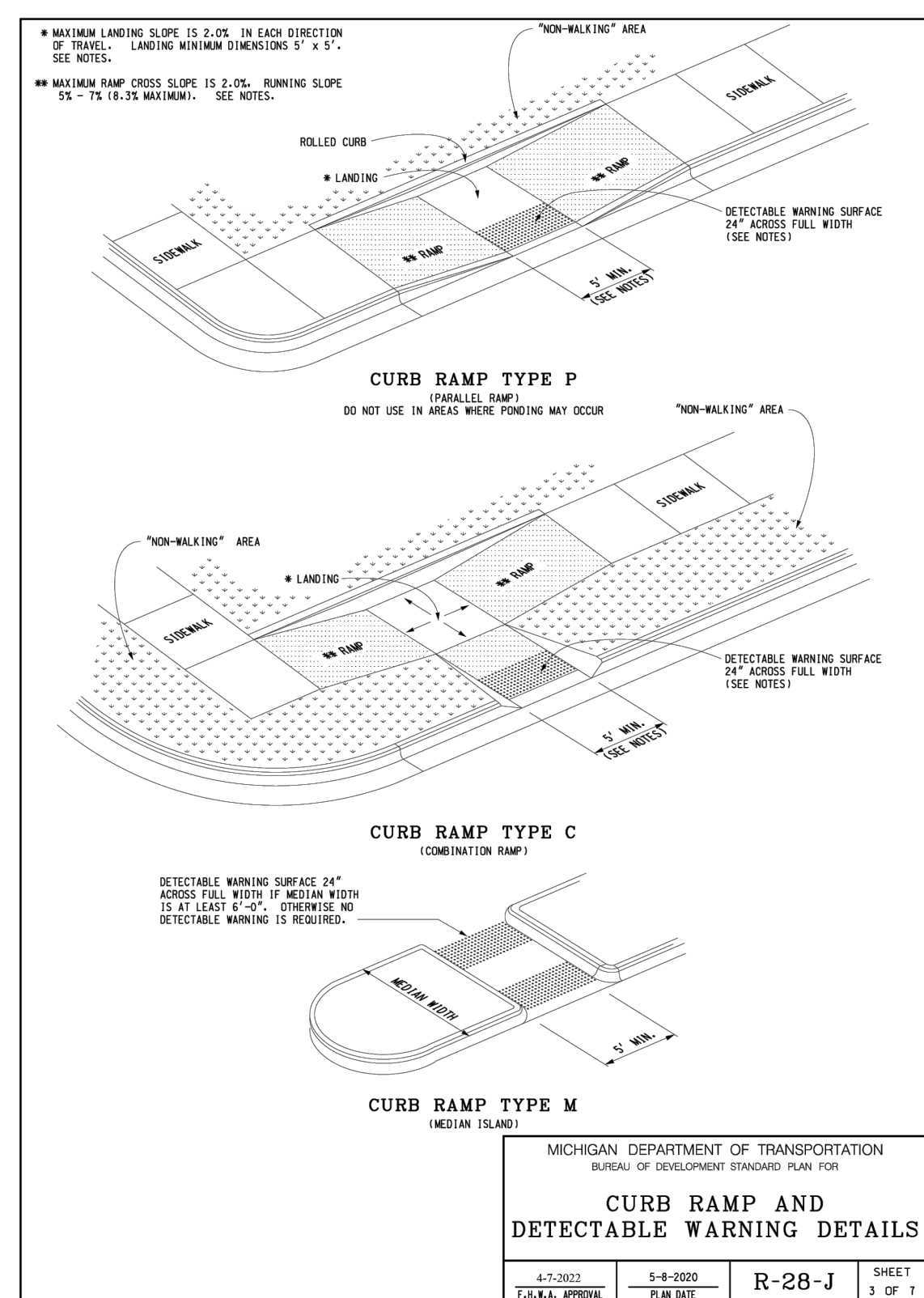
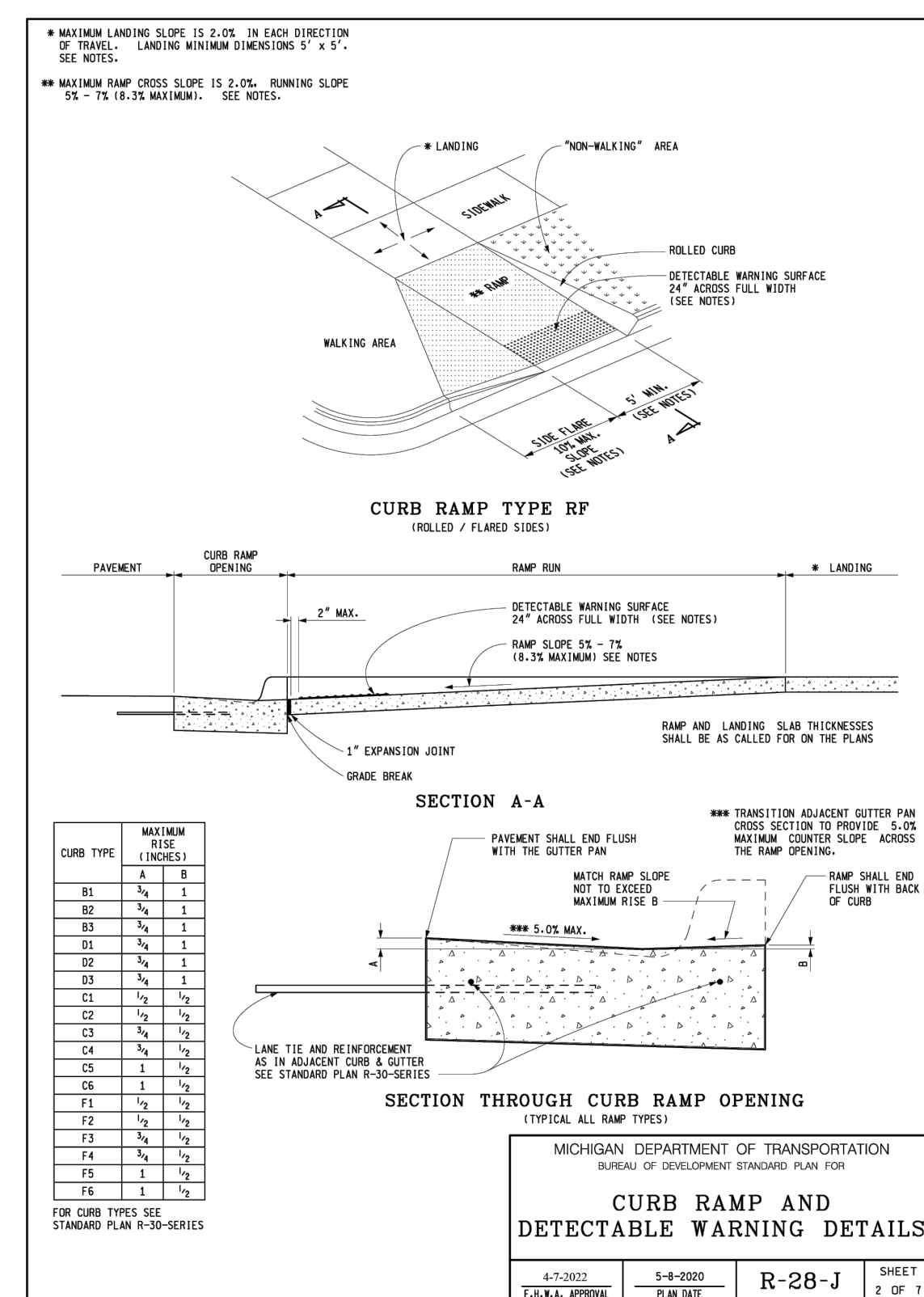
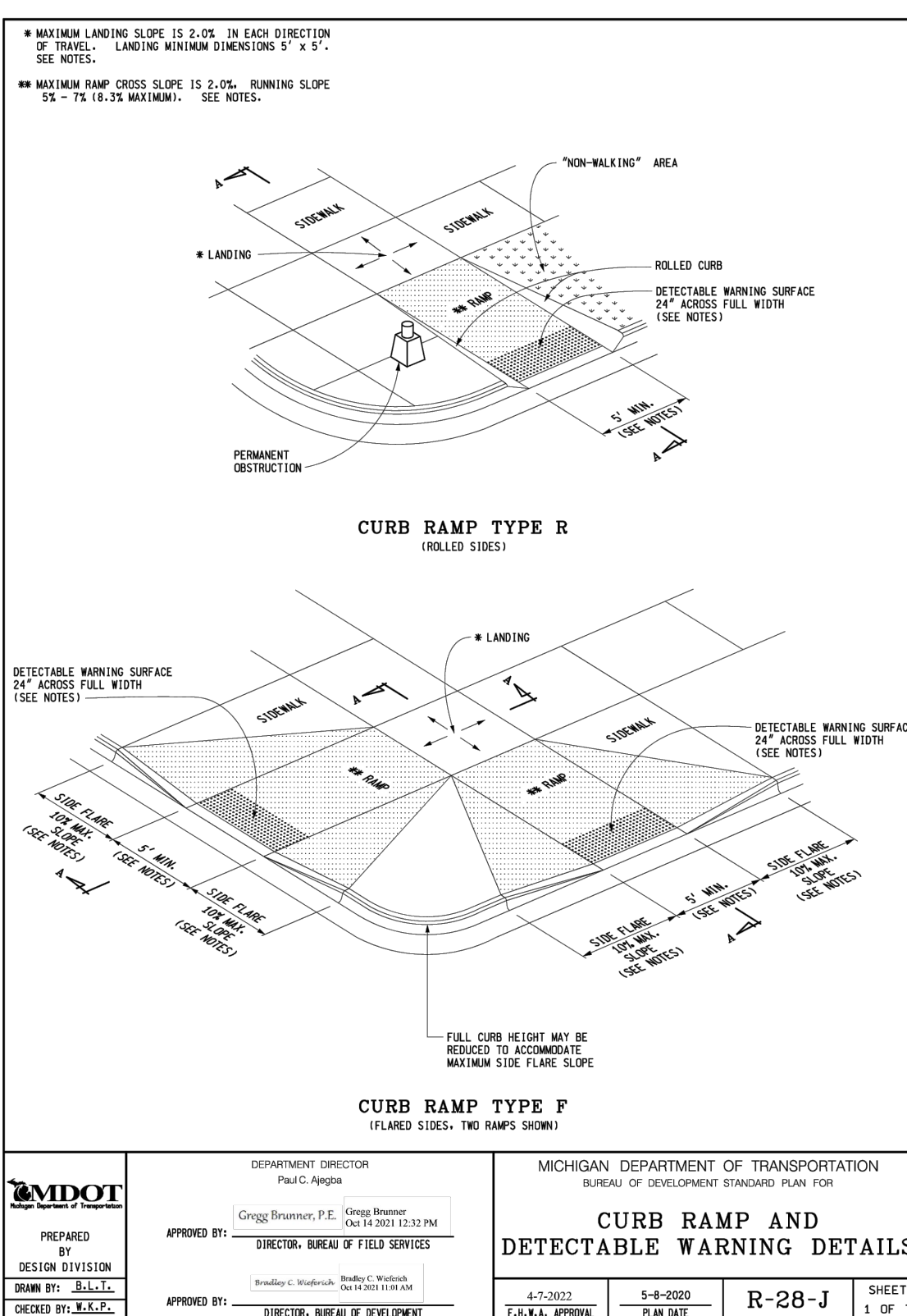
DESIGNED BY:

APPROVED BY:  
J. Longhurst

DATE:  
September 12, 2023

SCALE: N.T.S.

NFE JOB NO. 1921-06 SHEET NO. C11



**SUBGRADE UNDERCUTTING AND PREPARATION**  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY AND ALL SOILS WHICH DO NOT CONFORM TO THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A SUBGRADE IN CONFORMANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS. THE MEANS AND METHODS USED TO ACHIEVE THE REQUIRED RESULT SHALL REST SOLELY WITH THE CONTRACTOR.

**ANY AREAS OF UNDERCUTTING THAT RESULT IN ADDITIONAL OR EXTRA WORK BECAUSE THEY COULD NOT BE IDENTIFIED BY THE CONTRACTOR'S PRE-BID SITE OBSERVATION OR ARE NOT SET FORTH IN THE PLANS AND SPECIFICATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE ANY EXTRA WORK IS PERFORMED. THE CONTRACTOR SHALL MAKE A REQUEST FOR ANY ADDITIONAL COMPENSATION FOR THE UNDERCUTTING IN WRITING AND THE REQUEST SHALL CONFORM TO THE CONTRACT'S CHANGE ORDER PROVISIONS.**

**STRUCTURE BACKFILL**  
STRUCTURAL BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PROJECT PLANS, SPECIFICATIONS OR AS REQUIRED BY THE COMMUNITY, GOVERNMENT AGENCY OR UTILITY THAT HAS JURISDICTION OVER THE WORK.

**SUB-SOIL CONDITIONS**  
ANY SOIL BORING PROVIDED BY THE OWNER AND/OR ENGINEER IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THIS INFORMATION IS NOT OFFERED AS EVIDENCE OF GROUND CONDITIONS THROUGHOUT THE PROJECT AND ONLY REFLECTS THE GROUND CONDITIONS AT THE LOCATION OF THE BORING ON THE DATE THEY WERE TAKEN.

**THE ACCURACY AND RELIABILITY OF THE SOIL LOGS AND REPORT ARE NOT WARRANTED OR GUARANTEED IN ANY WAY BY THE OWNER OR ENGINEER AS TO THE SUB-SOIL CONDITIONS FOUND ON THE SITE. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION AND SUB-SOIL INVESTIGATION AND SECURE OTHER SUCH INFORMATION AS THE CONTRACTOR CONSIDERS NECESSARY TO DO THE WORK PROPOSED AND IN PREPARATION OF THEIR BID.**

**TRENCH BACKFILL**  
TRENCH BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PLANS AND/OR SPECIFICATIONS. TRENCH BACKFILL SHALL ALSO BE INSTALLED IN CONFORMANCE WITH THE COMMUNITY REQUIREMENTS OR AGENCY/UTILITY GOVERNING SAID TRENCH CONSTRUCTION. IN THE CASE OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.

**EARTH BALANCE / GRADING**  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHETHER THE SITE EARTHWORK BALANCES OR NOT. ANY EXCESS CUT MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR. IN A LIKE MANNER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT APPROVED FILL MATERIAL AND PLACE IT AS REQUIRED TO ATTAIN THE SITE GRADE AND COMPACTION REQUIREMENTS PER THE ENGINEER'S PLAN AND ALL APPLICABLE GOVERNMENTAL STANDARDS. THE ENGINEER AND OWNER MAKE NO REPRESENTATION AS TO THE QUANTITIES THAT MAY BE NEEDED TO CREATE A BALANCED EARTHWORK CONDITION OR THAT THE SITE EARTHWORK IS BALANCED.

**SOIL EROSION / SEDIMENTATION CONTROL**  
THE CONTRACTOR SHALL OBTAIN THE REQUIRED SOIL EROSION PERMIT AND SATISFY ALL REGULATORY REQUIREMENTS FOR CONTROLLING SOIL EROSION AND SEDIMENT TRANSPORT. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR INSPECTION OR APPROVAL OF THE CONTRACTOR'S WORK IN CONNECTION WITH SATISFYING THE SOIL EROSION PERMIT REQUIREMENTS UNLESS SPECIFICALLY STATED IN THE CONTRACT DOCUMENTS.

**DAMAGE TO PRIVATE PROPERTY**  
ALL SIDEWALKS, DRIVEWAYS, LAWNS, FENCING, TREES, SHRUBS, SPRINKLERS, LANDSCAPING, ETC., THAT ARE DAMAGED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED, IN KIND OR BETTER, BY THE CONTRACTOR. ALL STREET SIGNS, MAIL BOXES, ETC. REMOVED SHALL BE REPLACED IN KIND OR BETTER, BY THE CONTRACTOR. ALL THE REPAIRS OR REPLACEMENTS DUE TO THE CONTRACTOR'S WORK ARE TO BE INCLUDED IN THE CONTRACT PRICE(S) AND SHALL NOT BE AN EXTRA TO THE CONTRACT.

**THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM ADJACENT PROPERTY OWNERS PRIOR TO ENTERING UPON ANY ADJOINING PROPERTIES, UNLESS OFFSITE PERMITS HAVE ALREADY BEEN OBTAINED BY THE OWNER AND ARE PART OF THE CONTRACT DOCUMENTS.**

**UTILITIES**  
AT LEAST 72 HOURS (3 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY MISS DIO AND THE LOCAL COMMUNITY (WHERE APPLICABLE) TO STAKE LOCATIONS OF EXISTING UTILITIES.

**THE CONTRACTOR SHALL EXPOSE AND VERIFY EXISTING UTILITIES FOR LOCATION, SIZE, DEPTH, MATERIAL AND CONFIGURATION PRIOR TO CONSTRUCTION. COSTS FOR EXPLORATORY EXCAVATION IS AN INCIDENTAL COST AND SHALL NOT BE CONSIDERED AN EXTRA TO THE CONTRACT.**

**THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING UTILITIES WHICH DO NOT MATCH THE PLANS AND SPECIFICATIONS PRIOR TO COMMENCING WORK. ANY FIELD CHANGES TO THE PROPOSED UTILITIES SHALL BE APPROVED BY THE OWNER AND ENGINEER BEFORE THE WORK IS DONE.**

**THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE. ANY SERVICE OR UTILITY DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR, IN CONFORMANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY PROVIDER.**

**DOWATERING OF TRENCH AND EXCAVATIONS**  
IF NOT SPECIFICALLY PROVIDED FOR IN THE CONSTRUCTION DESIGN DOCUMENTS, THE DESIGN COST OF DOWATERING SHALL BE CONSIDERED INCLUDED IN THE WORK OF CONSTRUCTING THE DESIGN FOR THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING AND PROVIDING APPROPRIATE EXCAVATION DOWATERING SYSTEMS FOR USE DURING CONSTRUCTION.

**THE DOWATERING METHOD SELECTED BY THE CONTRACTOR WILL NOT ADVERSELY AFFECT ADJACENT PAVEMENTS OR STRUCTURES PRIOR TO BEGINNING DOWATERING CONDITIONS. MEANS AND METHODS OF DOWATERING ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF DOWATERING SHALL BE CONSIDERED INCLUDED IN THE WORK OF CONSTRUCTING THE UNDERGROUND UTILITIES UNLESS SPECIFICALLY INDICATED OTHERWISE.**

**BY-PASS PUMPING**  
FROM TIME TO TIME IT MAY BE NECESSARY FOR THE CONTRACTOR TO BY-PASS PUMP TO COMPLETE THE WORK INDICATED ON THE PLANS. THE COST OF BY-PASS PUMPING, THE METHODS, EQUIPMENT AND MEANS OF PROVIDING THAT WORK ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSIDERED PART OF THE WORK WHETHER SPECIFICALLY CALLED OUT ON THE PLANS OR NOT.

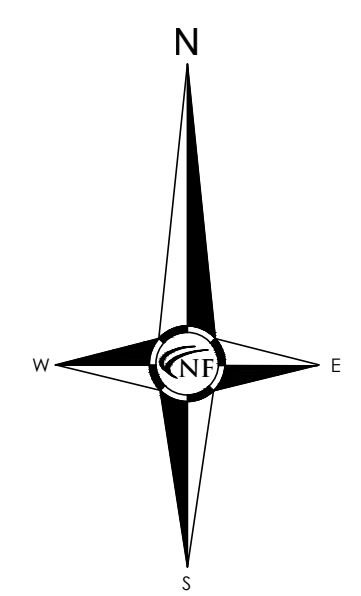
**PAVEMENT REMOVAL**  
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE THICKNESS OF THE PAVEMENT REMOVAL. VEHICULAR AND PEDESTRIAN TRAFFIC IN THE ROAD RIGHTS OF WAY. THE CONTRACTOR'S THICKNESS OF THE PAVEMENT AT THE LOCATION OF THE SAMPLE. THE OWNER AND ENGINEER MAKE NO REPRESENTATION, WARRANTY OR GUARANTEE THAT THE SAMPLES ACCURATELY REFLECT THE PAVEMENT THICKNESS ON THE PROJECT.

**MAINTENANCE OF TRAFFIC**  
DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL ACCOMMODATE BOTH VEHICULAR AND PEDESTRIAN TRAFFIC IN THE ROAD RIGHTS OF WAY. THE CONTRACTOR'S EQUIPMENT AND OPERATIONS ON PUBLIC STREETS SHALL BE GOVERNED BY ALL APPLICABLE LOCAL, COUNTY AND STATE ORDINANCES, REGULATIONS AND LAWS. THE CONTRACTOR SHALL OBTAIN AND SATISFY ANY AND ALL PERMIT REQUIREMENTS BY THE LOCAL, COUNTY AND STATE GOVERNMENTAL AGENCIES.

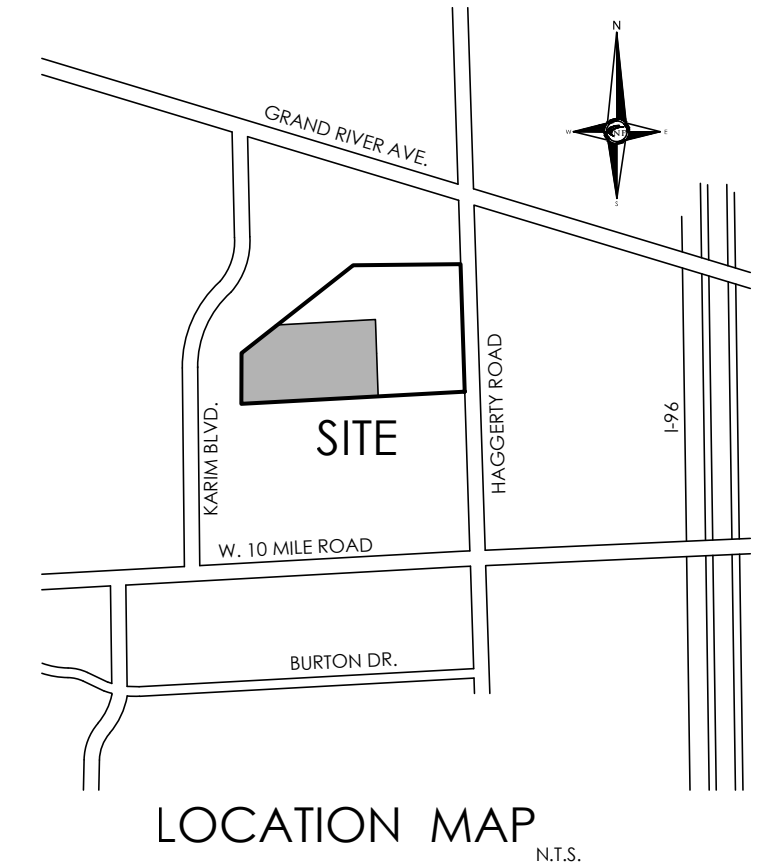
**IN ADDITION, WHERE THE WORK REQUIRES THE CLOSURE OF ONE OR MORE LANES OR IS WITHIN THE INFLUENCE OF THE ROAD OR PEDESTRIAN RIGHT OF WAY, THE CONTRACTOR SHALL PROVIDE ALL SIGNS, BARRICADES, FLAG PERSONS AND OTHER TRAFFIC CONTROL MEASURES AS REQUIRED BY MDOT, THE COUNTY, OR THE COMMUNITY HAVING JURISDICTION OF THE ROAD AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.**

**COMPENSATION FOR TRAFFIC CONTROL SHALL BE CONSIDERED INCLUDED IN THE CONTRACT PRICE(S) UNLESS SPECIFIC TRAFFIC CONTROL ITEMS ARE INCLUDED IN THE ACCEPTED BID PROPOSAL.**

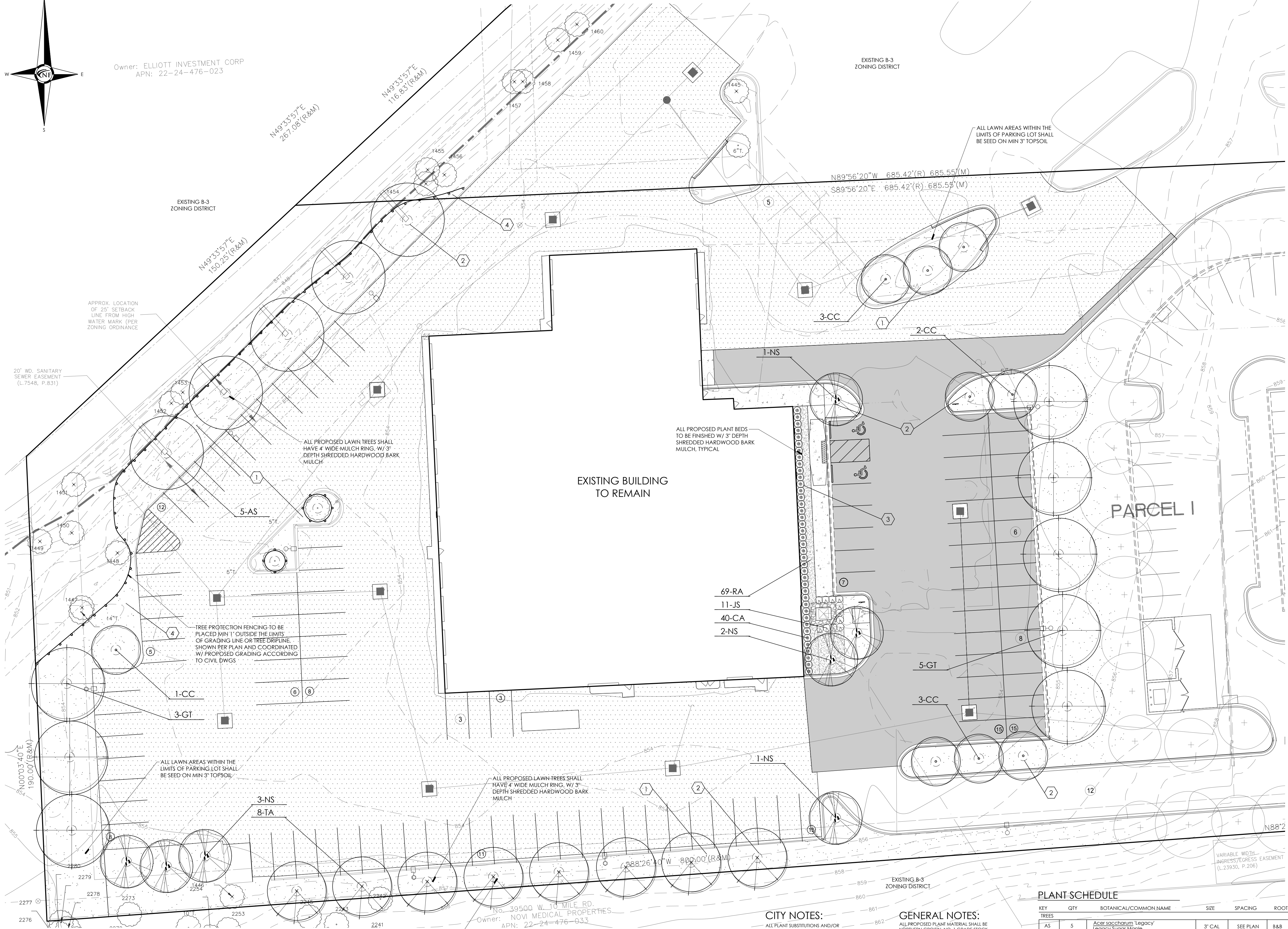
**IRRIGATION**  
THE CONTRACTOR SHALL MAINTAIN OR REPAIR ANY EXISTING IRRIGATION SYSTEMS WITHIN THE PROJECT AREA UNLESS THE DRAWINGS CALL FOR THE IRRIGATION SYSTEM TO BE REMOVED. THE OWNER AND NFE MAKE NO REPRESENTATIONS, WARRANTY OR GUARANTEE AS TO THE LOCATION OF THE IRRIGATION SYSTEM. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE IRRIGATION SYSTEM DURING CONSTRUCTION ACTIVITIES. COMPENSATION FOR MAINTAINING OR REPAIRING EXISTING IRRIGATIONS SYSTEMS SHALL BE CONSIDERED INCLUDED IN THE CONTRACT PRICE(S) UNLESS SPECIFIC IRRIGATION SYSTEM REPAIR ITEMS ARE INCLUDED IN THE ACCEPTED BID PROPOSAL.



Owner: ELLIOTT INVESTMENT CORP  
 APN: 22-24-476-023



NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257



**LANDSCAPE REQUIREMENTS**  
 TOTAL SITE AREA: 350,320.53 S.F. OR 8.04 ACRES  
 PROJECT SITE AREA: 97,268.53 S.F. OR 2.23 ACRES

**PARKING LOT LANDSCAPE REQUIREMENTS**  
**VEHICLE USE AREA**  
 VIA = 47,942.22 S.F. (CALCULATED)  
 7.5% OF TOTAL VEHICLE USE AREA UP TO 50,000 S.F.  
 1% OF VEHICLE USE AREA OVER 50,000 S.F.  
 50,000 S.F. X 7.5% = 3,750 S.F.  
 17,962.27 S.F. X 1% = 179.62 S.F.  
 3,929.62 S.F. REQUIRED  
 3,972.20 S.F. PROVIDED

**PARKING LOT DECIDUOUS SHADE TREES (D)**  
 1 DECIDUOUS CANOPY TREE PER 200 S.F. REQUIRED LANDSCAPE AREA  
 REQUIRED: 3,929.62 S.F. / 200 S.F. = 19.64 OR 20 TREES REQUIRED  
 PROVIDED: 2 EXISTING, 18 PROPOSED TREES

**PARKING PERIMETER GREEN SPACE (P)**  
 1 TREE PER 35 L.F. OF PARKING PERIMETER  
 783.88 L.F. / 35 L.F. = 22.40 TREES  
 REQUIRED: 23 TREES  
 PROVIDED: 23 TREES

**FOUNDATION LANDSCAPE (F)**  
 REQUIRED: 110 L.F. X 8' = 880 S.F. AREA REQUIRED  
 PROVIDED: 981.62 S.F. (62% OF FRONTAGE)

**IRRIGATION NOTE:**  
 ALL LANDSCAPE AREAS, INCLUDING THOSE WITHIN THE R.O.W., SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THIS SYSTEM SHALL OPERATE IN COMPLIANCE WITH LOCAL STANDARDS AND SEASONAL RESTRICTIONS. SEPARATE ZONES SHALL BE PROVIDED FOR LAWN AREAS AND PLANTING BEDS. IRRIGATION SHALL BE DESIGNED IN THE MOST EFFICIENT MANNER NECESSARY TO FULLY IRRIGATE ALL PLANTING AREAS.

**GENERAL SEED NOTE:**  
 ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIO-ERODIBLE EROSION-BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.  
 SEEDING INSTALLATION SHALL OCCUR ONLY:  
 SPRING: APRIL TO JUNE  
 FALL: AUGUST 15 TO OCTOBER 15

**TYPICAL SEEDED LAWN MIX:**  
 ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX, AT A RATE OF 250 LBS PER ACRE  
 MIX IS COMPRISED OF  
 30% NITE HAWK PERENNIAL BLYE  
 30% KENTUCKY BLUEGRASS  
 20% CREEPING RED FESCUE  
 10% MERT KENTUCKY BLUEGRASS  
 10% NEWPORT KENTUCKY BLUEGRASS

- GENERAL LANDSCAPE NOTES**
- LANDSCAPE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REVIEW PROPOSED PLANNING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN UNLESS OTHERWISE SPECIFIED.
  - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES AND MARK THEM WITH 1" CHAIRS AND 1/2" BARS AT 2' INTERVALS. ANY DAMAGE OR INTERFERENCE TO UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES AND SHALL NOTIFY ALL AFFECTED PARTIES. PERMISSIONS TO THE OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT.
  - PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING GROWING CONDITIONS:  
 PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE SHADED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO BEER A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.  
 ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE LANDSCAPE ARCHITECTS ASSOCIATION FOR HORTICULTURE CONTRACTORS' HANDBOOK.  
 CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPORT PLANTING BEDS WITH FINISHED PLANT BEDS AND A DEPTH OF 4" IN ALL LAWN AREAS.  
 PROVIDE CLEAR BARRIERS FOR TREE MATERIAL STORAGE ON-SITE. SITE SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL AND DROPE. SIGN RELEASE FERTILIZER SHALL BE APPLIED TO PLANTING BEDS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURERS RECOMMENDED RATE.
  - AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/2" SCREENED TOPSOIL (20 SAND AND 1/2" SCREENED COMPOST) MIXED WELL AND SPREAD TO A DEPTH AS ALL PLANTINGS SHALL BE MULCHED WITH SHREDED HARDWOOD BARK. SPREAD TO A DEPTH OF 2" FOR TREES AND SHRUBS AND 2" ON ANNUALS, PERENNIALS AND GROUND COVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL AND FREE FROM CHEMICALS.
  - NO SUBSTITUTIONS OR CHANGE OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE.
  - THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL POSITION THROUGHOUT THE GUARANTEED PERIOD.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUALITY TO REFLECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
  - THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOIL AS INDICATED ON PLANS AND SHALL DISCONTINUE AS SOON AS EACH ON-PHONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREA DESCRIBED DURING CONSTRUCTION NOT IN THE CONTRACT LIMITS TO EQUAL OR GREATER CONDITIONS.
  - ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
  - ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.

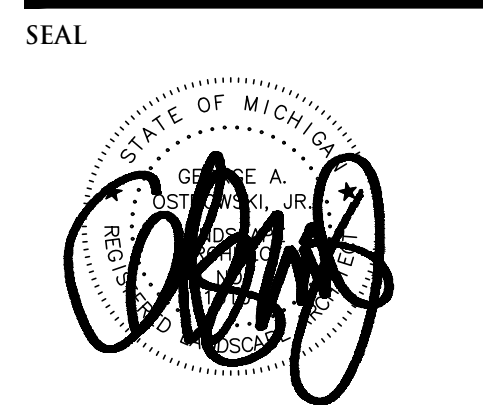
**CITY NOTES:**  
 ALL PLANT SUBSTITUTIONS AND/OR DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.  
 ALL TREE WRAP AND STAKES ARE TO BE REMOVED AFTER THE FIRST WINTER SEASON.  
 THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE FALL 2023, WITH COMPLETION BY NOVEMBER 15.  
 THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE.  
 ALL LANDSCAPE MATERIALS WILL BE GUARANTEED FOR A MINIMUM OF TWO (2) YEARS, AND SHALL INCLUDE A MINIMUM ONE CULTIVATION IN JUNE, JULY AND AUGUST FOR THE TWO YEAR WARRANTY PERIOD.

**GENERAL NOTES:**  
 ALL PROPOSED PLANT MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE STOCK, INSTALLED IN ACCORDANCE WITH AAS AND CITY OF NOVI STANDARDS.  
 MISS D/G (1-800-482-7171) SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION OF ALL MATERIALS.

**GROUND COVER KEY**

- 1 TYPICAL SEED LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 4" DIA SPADE CUT EDGE W/ 3" SHREDED BARK MULCH
- 3 3" DEPTH DOUBLE SHREDED HARDWOOD BARK MULCH
- 4 POSSIBLE SNOW DEPOSITION AREA, TO BE COORDINATED WITH REMOVAL SERVICE

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT	GENUS/SPECIES	UNIT/TOTAL COST
<b>TREES</b>								
AS	5	Acer saccharum 'Legacy'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	13%/13%	\$400/\$2,000
CC	9	Cornus canadensis 'American Hornbeam'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	24%/24%	\$400/\$3,600
GT	8	Quercus falcata 'Northern Acclaim'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	22%/22%	\$400/\$3,200
NS	7	Nyssa sylvatica 'Red Rover'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	19%/19%	\$400/\$2,800
TA	8	Taxus canadensis 'American Sentry Linden'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	22%/22%	\$400/\$3,200
<b>SHRUBS</b>								
JS	11	Juriperus chinensis 'Spartan'	5" HT	3' OC	B&B			\$50/\$600
RA	69	Rhus aromatica 'Gro-Low'	36" HT	3' OC	B&B			\$50/\$4,000
<b>GROUND COVERS/PERENNIALS</b>								
CA	40	Scalamagostis a. 'Carl Foerster'	3 GAL	30" OC	CONT			\$15/\$600
<b>GROUND COVERS/PERENNIALS</b>								
SEED	2,448	Hydroseed and mulch	SY					\$3/\$7,344
MULCH	11	3" depth double shredded hardwood bark	CY					\$50/\$550
IRR	1	Underground, automatic irrigation, complete	LS					\$15,000



**PROJECT**  
 Audi Novi Service Center -  
 24315 Haggerty Road

**CLIENT**  
 Lithia Motors, Inc.  
 150 N. Bartlett Street  
 Medford, OR 97501

**Contact:**  
 Mr. Joseph Gilardone  
 Phone: (734)645-7442  
 email: josephgilardone@lithia.com

**PROJECT LOCATION**  
 Part of the SE 1/4  
 of Section 24,  
 T. 1N., R. 8E.  
 City of Novi,  
 Oakland County, MI

**SHEET**  
 Landscape Plan



**REVISIONS**

NO.	DATE	DESCRIPTION

**DRAWN BY:**  
 G. Ostrowski

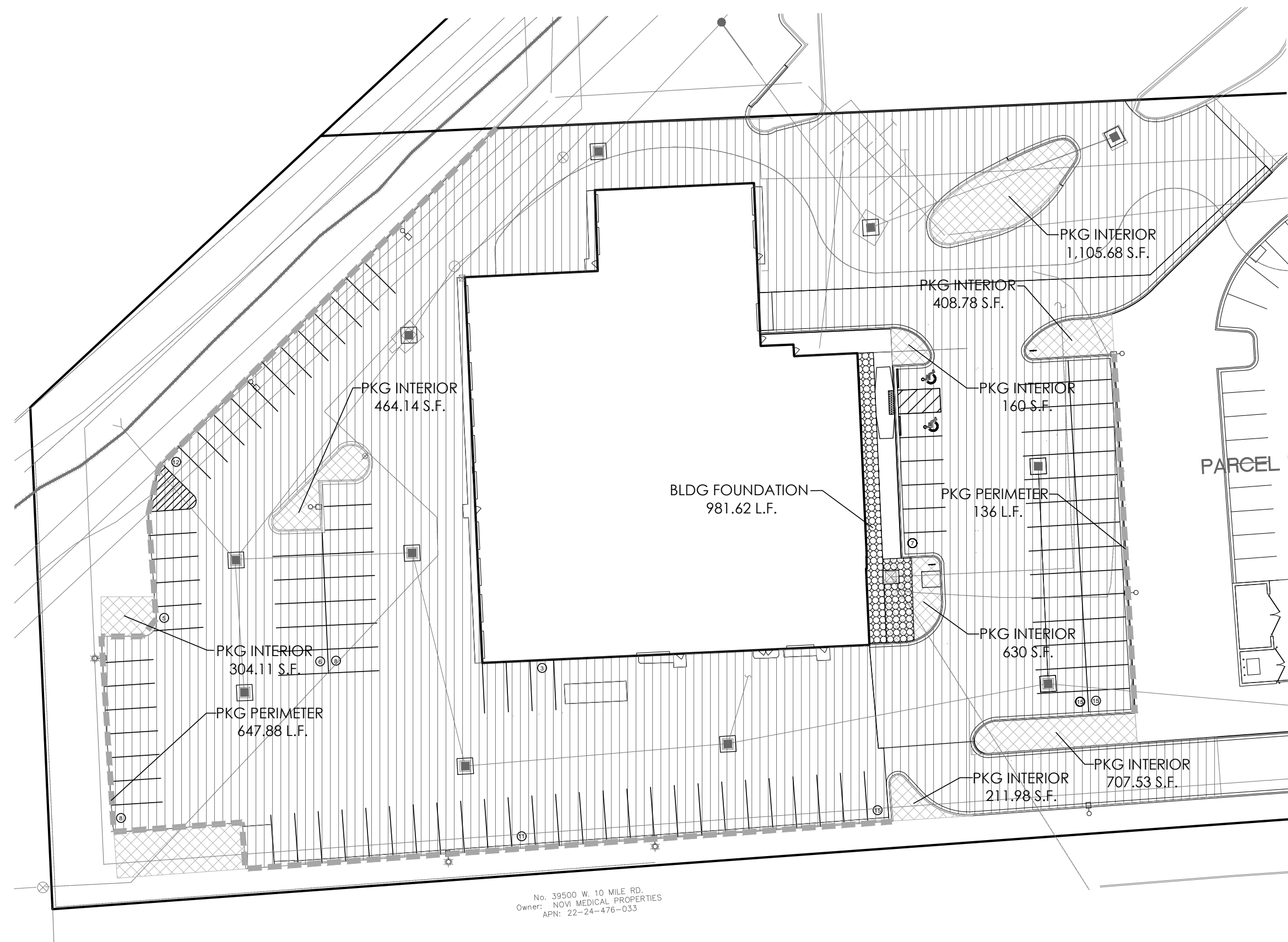
**DESIGNED BY:**  
 G. Ostrowski

**APPROVED BY:**  
 G. Ostrowski

**DATE:**  
 08-23-2023

**SCALE:** 1" = 20'

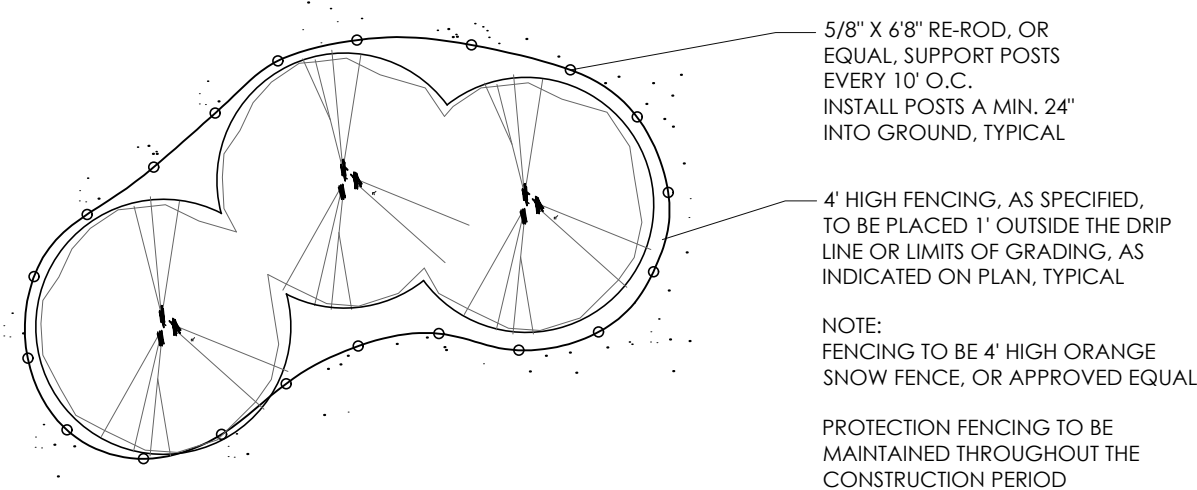
**NFE JOB NO.**                      **SHEET NO.**  
**1921-06**    **L1**



BASIS OF CALCULATION

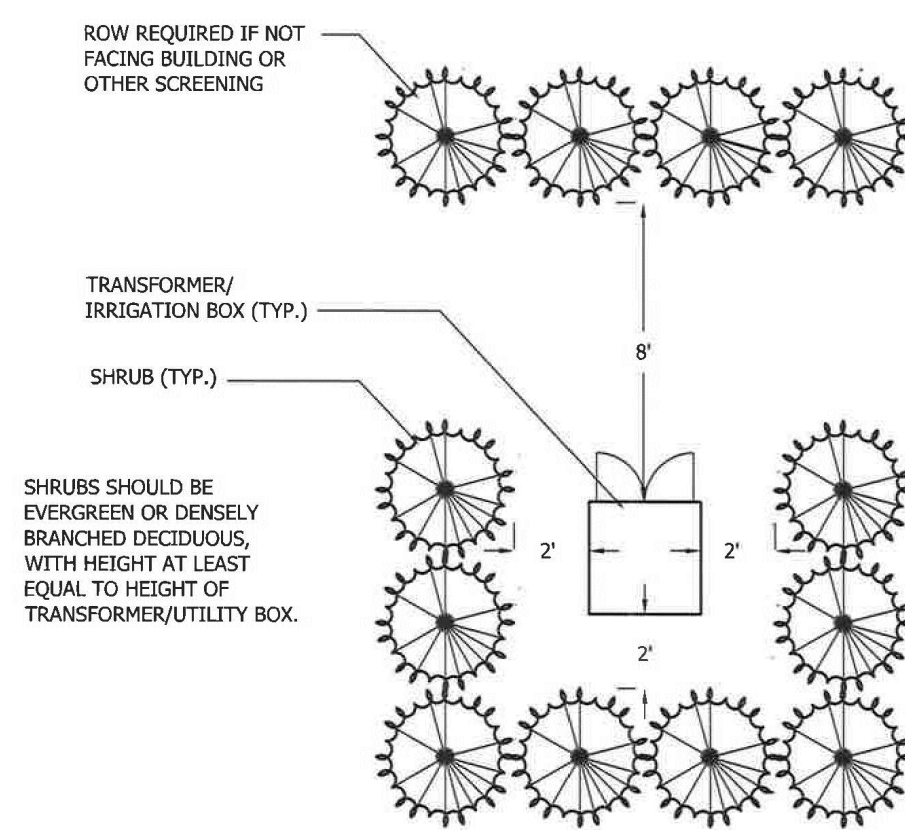
GENERAL TREE PROTECTION NOTES

- APPROVED TREE PROTECTION SHALL BE ERRECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO-AXE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.



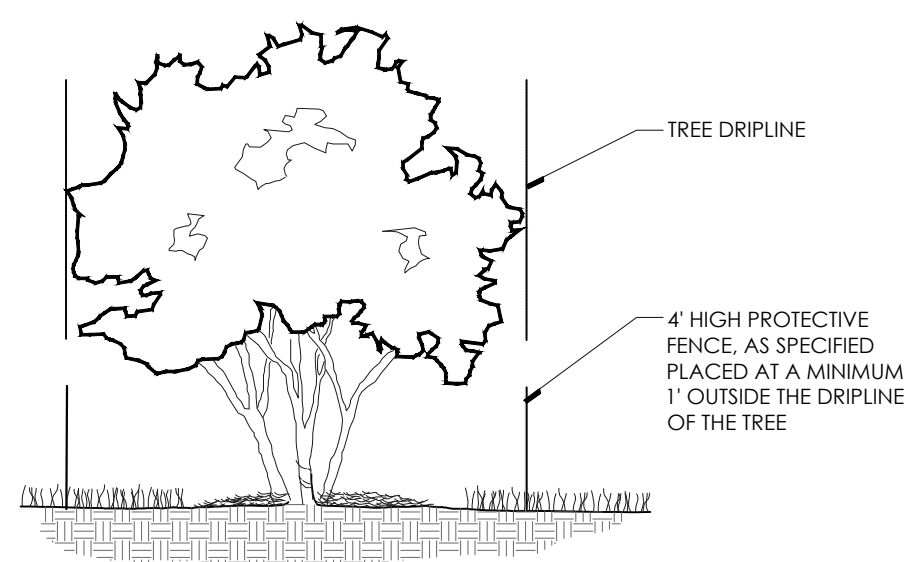
TREE PROTECTION DETAIL-PLAN

NTS



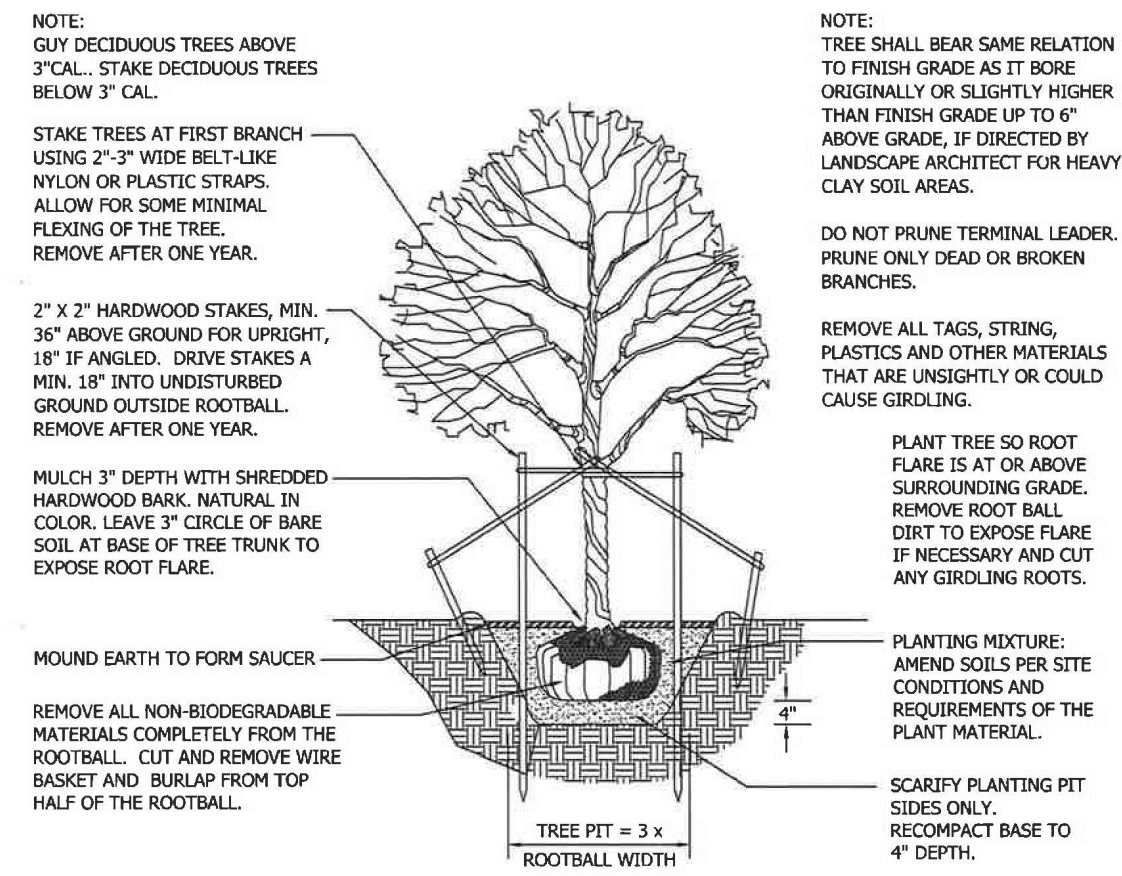
TRANSFORMER SCREENING DETAIL

Not to scale



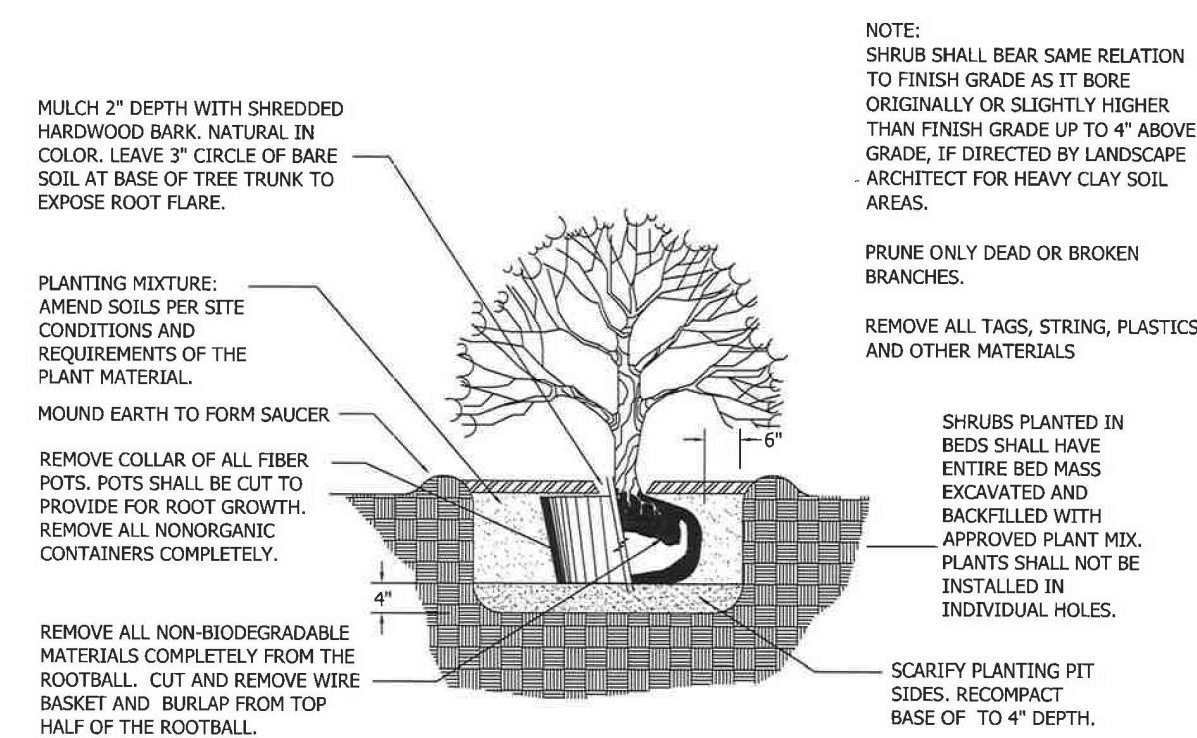
TREE PROTECTION DETAIL-SECTION

NTS



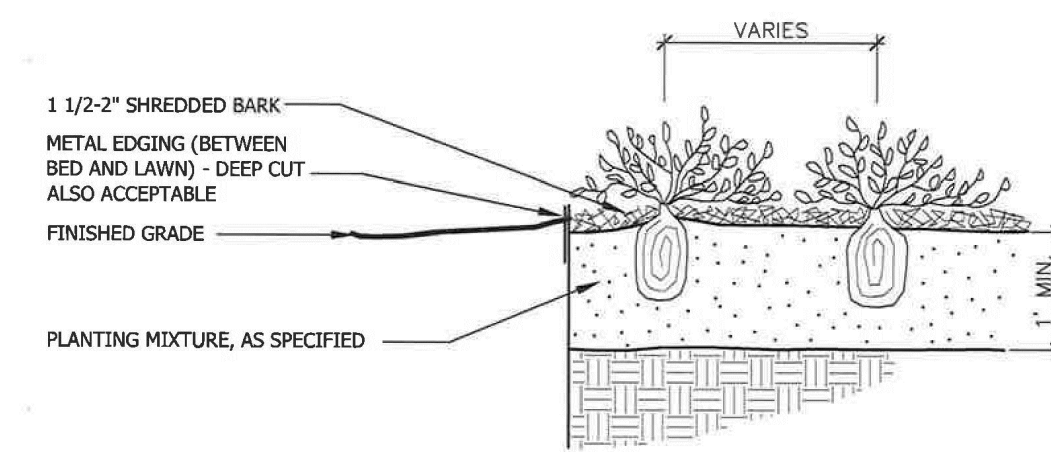
DECIDUOUS TREE PLANTING DETAIL

Not to scale



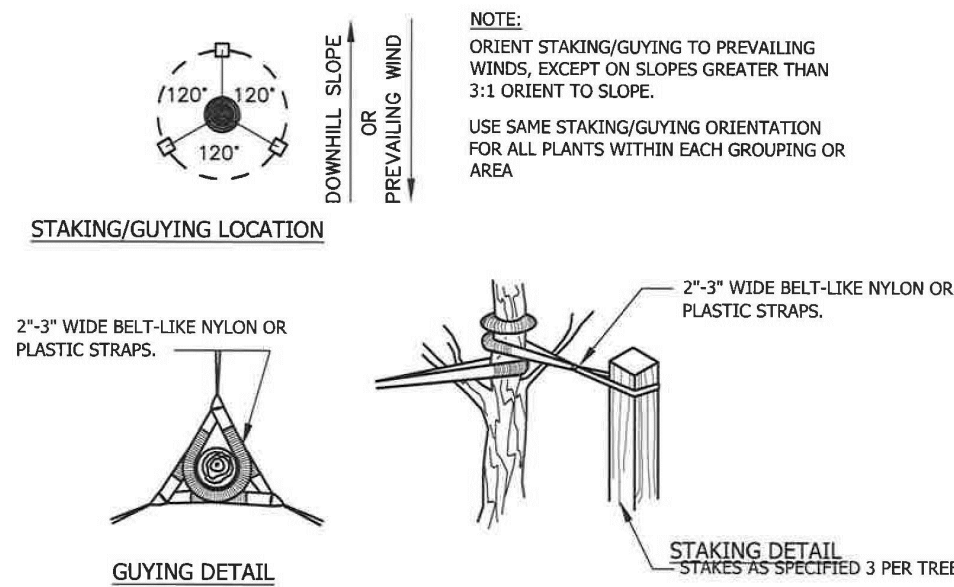
SHRUB PLANTING DETAIL

Not to scale



PERENNIAL PLANTING DETAIL

Not to scale



TREE STAKING DETAIL

Not to scale



SCALE



PROJECT  
Audi Novi Service Center -  
24315 Haggerty Road

CLIENT  
Lithia Motors, Inc.  
150 N. Bartlett Street  
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Contact:  
Mr. Joseph Gilardone  
Phone: (734)645-7442  
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PROJECT LOCATION

Part of the SE 1/4  
of Section 24,  
T. 1N., R. 8E.  
City of Novi,  
Oakland County, MI

SHEET

Landscape Notes  
and Details



REVISIONS

DRAWN BY:  
G. Ostrowski

DESIGNED BY:  
G. Ostrowski

APPROVED BY:  
G. Ostrowski

DATE:  
08-23-2023

SCALE: VARIES

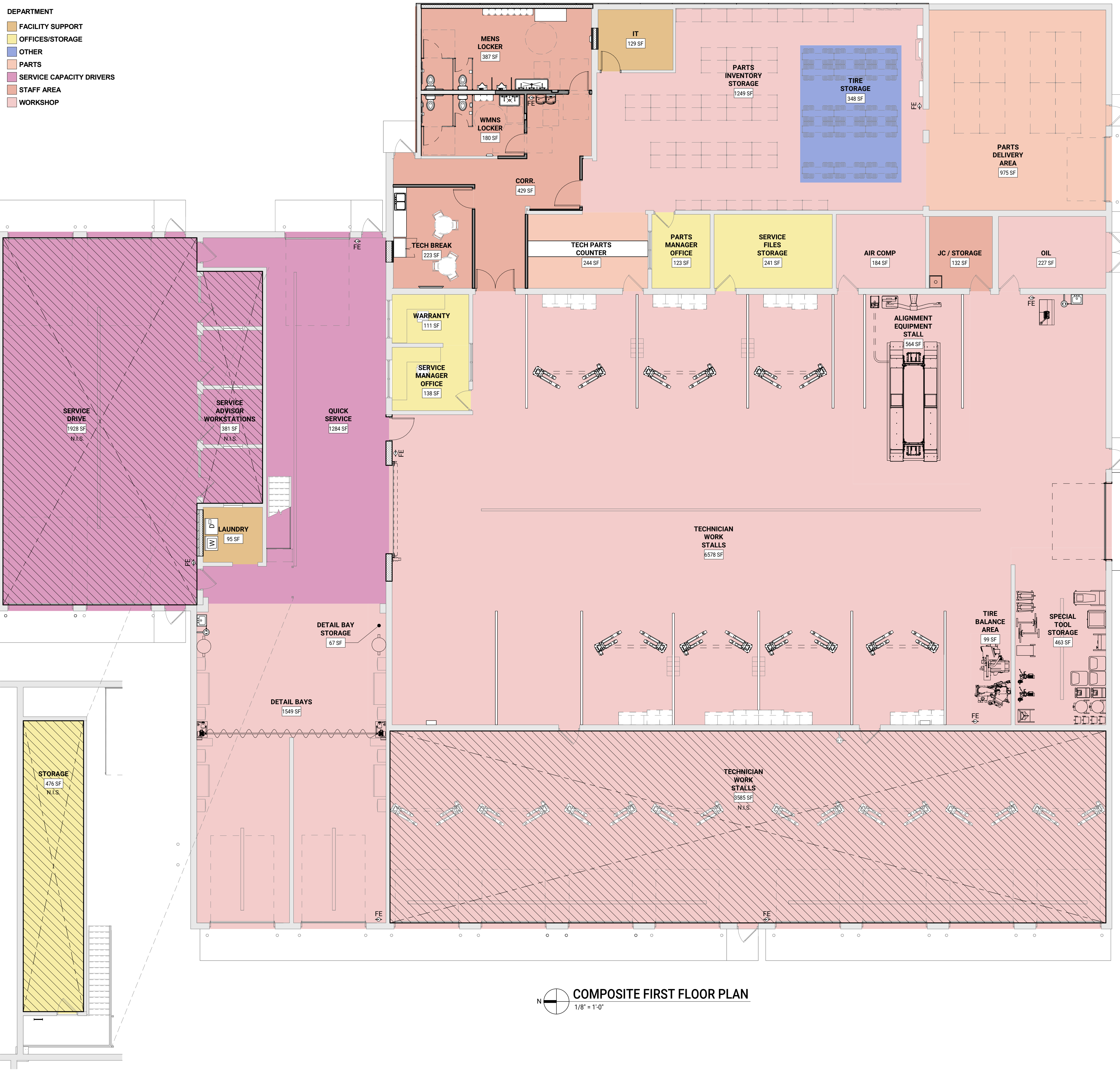
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NFE JOB NO. SHEET NO.  
1921-06 L2

Sales Facility						
	AoA Count	AoA sq. Ft. Guide	Proposed Showroom Bldg	Proposed Service Bldg	Total - Both Bldgs.	Total Count
<b>Sales Capacity Drivers</b>						
ABS Flexible Sales Area			0	0	0	0
ABS Desk	8	666	666	0	666	8
Sales Bulpen & BDC Area			0	0	0	0
Sales Manager Office	2	640	231	0	231	2
F&I Office	2	640	264	0	264	2
<b>Subtotal:</b>	<b>1,946</b>	<b>1,161</b>	<b>0</b>	<b>0</b>	<b>1,161</b>	
Showroom Sq. Footage		2,304	2,212	0	2,212	
<b>Parking</b>						
New Car Parking Inventory	68	19,074	26,880	0	26,880	137
CPO Parking	25	7,013	0	0	0	0
Demonstrator Parking	6	1,683	840	0	840	3
On-Site Customer Parking	7	1,964	9,520	0	9,520	34
<b>Subtotal:</b>	<b>29,734</b>	<b>37,240</b>	<b>0</b>	<b>0</b>	<b>37,240</b>	
<b>Sales Showroom</b>						
Customer Entrance	1	282	126	0	126	1
Communication platform, Desk, waiting lounge	1	450	302	0	302	1
<b>Subtotal:</b>	<b>732</b>	<b>428</b>	<b>0</b>	<b>0</b>	<b>428</b>	
<b>Customer Zone</b>						
Audi Accessories shop / Audi Exclusive Area	1	320	95	0	95	1
Lounge (catering + waiting area)	1	450	651	0	651	1
Customer Work Area	1	256	256	0	256	1
<b>Subtotal:</b>	<b>1,026</b>	<b>1,002</b>	<b>0</b>	<b>0</b>	<b>1,002</b>	
<b>Facility Support</b>						
Commercial store room (storage)	1	128	0	0	0	0
Technical room	1	200	0	0	0	0
Maintenance room	1	150	0	0	0	0
Storage / Server / Copy	1	300	108	0	108	1
IT Room	1	64	119	129	248	1
<b>Subtotal:</b>	<b>842</b>	<b>227</b>	<b>129</b>	<b>356</b>		
<b>Car Delivery Area</b>						
Delivery area vehicle space	1	400	484	0	484	1
Delivery Area Storage	1	50	0	0	0	0
<b>Subtotal:</b>	<b>450</b>	<b>484</b>	<b>0</b>	<b>0</b>	<b>484</b>	
<b>Back Office Options</b>						
General Manager office	1	225	139	0	139	1
Controller office	1	225	0	0	0	0
Accounting dept. incl. Warranty Admin.	1	960	100	0	100	1
Office Manager office	1	225	0	0	0	0
Dealer Principal office	0	0	0	0	0	0
Conference room	0	0	366	0	366	1
Break / Lunch room	0	0	460	0	460	1
Training Room	0	0	366	0	366	1
Sales Conference Room	0	0	0	0	0	0
Archive	0	0	0	0	0	0
<b>Subtotal:</b>	<b>1,635</b>	<b>1,431</b>	<b>0</b>	<b>1,431</b>		

GROSS BUILDING AREA	
FOOTPRINT	21,979 SF
MEZZANINE	521 SF
TOTAL BUILDING AREA (GSF)	22,500 SF
AREA NOT IN SCOPE	6,370 SF

- DEPARTMENT
- FACILITY SUPPORT
  - OFFICES/STORAGE
  - OTHER
  - PARTS
  - SERVICE CAPACITY DRIVERS
  - STAFF AREA
  - WORKSHOP



COMPOSITE MEZZANINE PLAN  
1/8" = 1'-0"

COMPOSITE FIRST FLOOR PLAN  
1/8" = 1'-0"

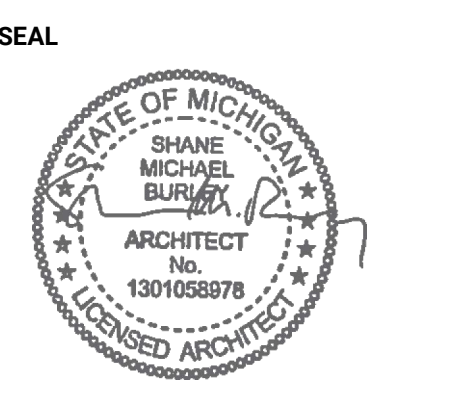
**STUDIO DETROIT ARCHITECTS**  
 2040 PARK AVENUE, SUITE 200  
 DETROIT, MICHIGAN 48226  
 STUDIO-DETROIT.COM  
 PROJECT MANAGER  
 STEVEN H. FOURNIER, AIA, NCARB  
 P. 248.376.2617

DO NOT SCALE DRAWINGS

ISSUED

09.15.23	90% BRAND REVIEW
09.20.23	SITE PLAN APPROVAL

DRAWN TAP  
 CHECKED SHF



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CLIENT

**LITHIA MOTORS**  
 150 N. BARTLETT ST  
 MEDFORD, OR 97504

PROJECT 20388

**AUDI SERVICE SHOP**  
 24315 HAGGERTY RD  
 NOVI, MI 48375

COMPOSITE PLAN  
**TS1.5**



**SITE PLAN KEY NOTES:  
(TYPICAL THIS SHEET ONLY)**

- 1 EXISTING BUILDING FACADE TO BE REMOVED TO EXTENTS INDICATED
- 2 EXISTING PARKING STRIPING TO REMAIN
- 3 EXISTING CONCRETE CURBS TO REMAIN
- 4 EXISTING CONCRETE PAD FOR DUMPSTER
- 5 PROPOSED PARKING STRIPING (TYP.)
- 6 HATCH INDICATES AREA OF ASPHALT REPLACEMENT; COORDINATE W/ CIVIL
- 7 PROPOSED LIGHTING, COORDINATE WITH CIVIL AND ELECTRICAL
- 8 PROPOSED CONCRETE WALK
- 9 PROPOSED CONCRETE CURB AND GUTTER
- 10 EXISTING FIRE HYDRANT TO REMAIN
- 11 PROPOSED 'PHYSICALLY HANDICAPPED' SIGN & POLE
- 12 PROPOSED LOADING SPACE, 10'x75'
- 13 EXISTING TRASH COMPACTOR TO REMAIN

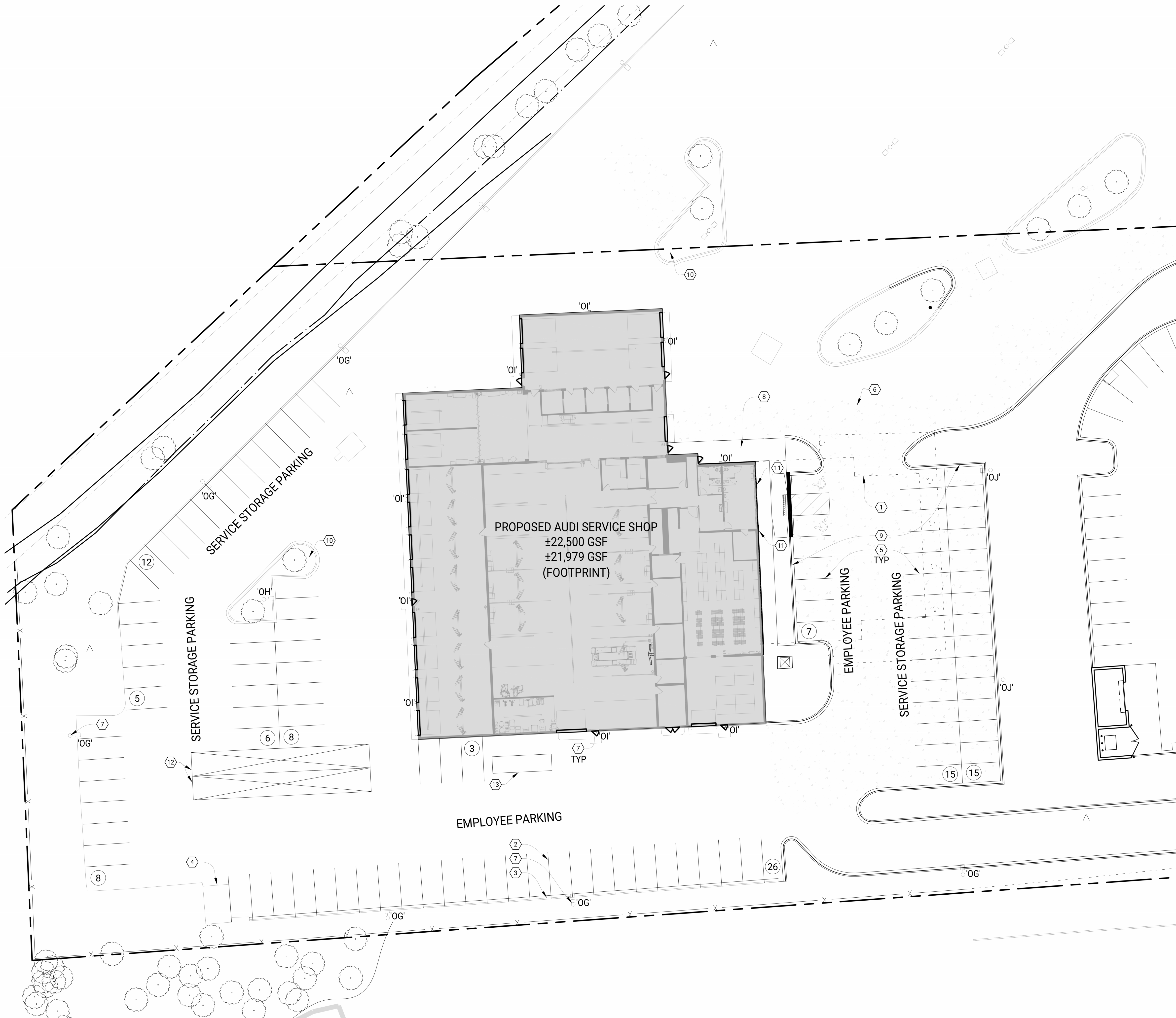
**PARKING CALCULATION**

(25) SERVICE BAYS @ (2) SPACES PER	50 SPACES
(1) SPACE PER EMPLOYEE	25 SPACES
<b>TOTAL REQUIRED PARKING SPACES</b>	<b>75 SPACES</b>

**PARKING SCHEDULE**

NOVI, MI

SERVICE STORAGE PARKING	80 CARS
EMPLOYEE	25 CARS
<b>TOTAL PARKING</b>	<b>105 CARS</b>



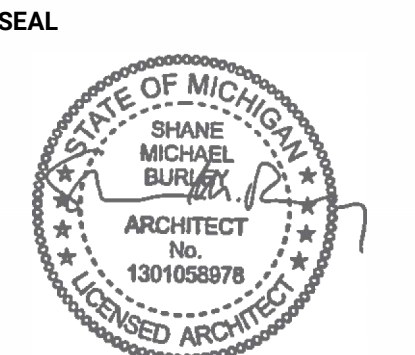
**ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 30'-0"

**DO NOT SCALE DRAWINGS**

**ISSUED**

09.15.23	90% BRAND REVIEW
09.20.23	SITE PLAN APPROVAL

**DRAWN** BG  
**CHECKED** SHF



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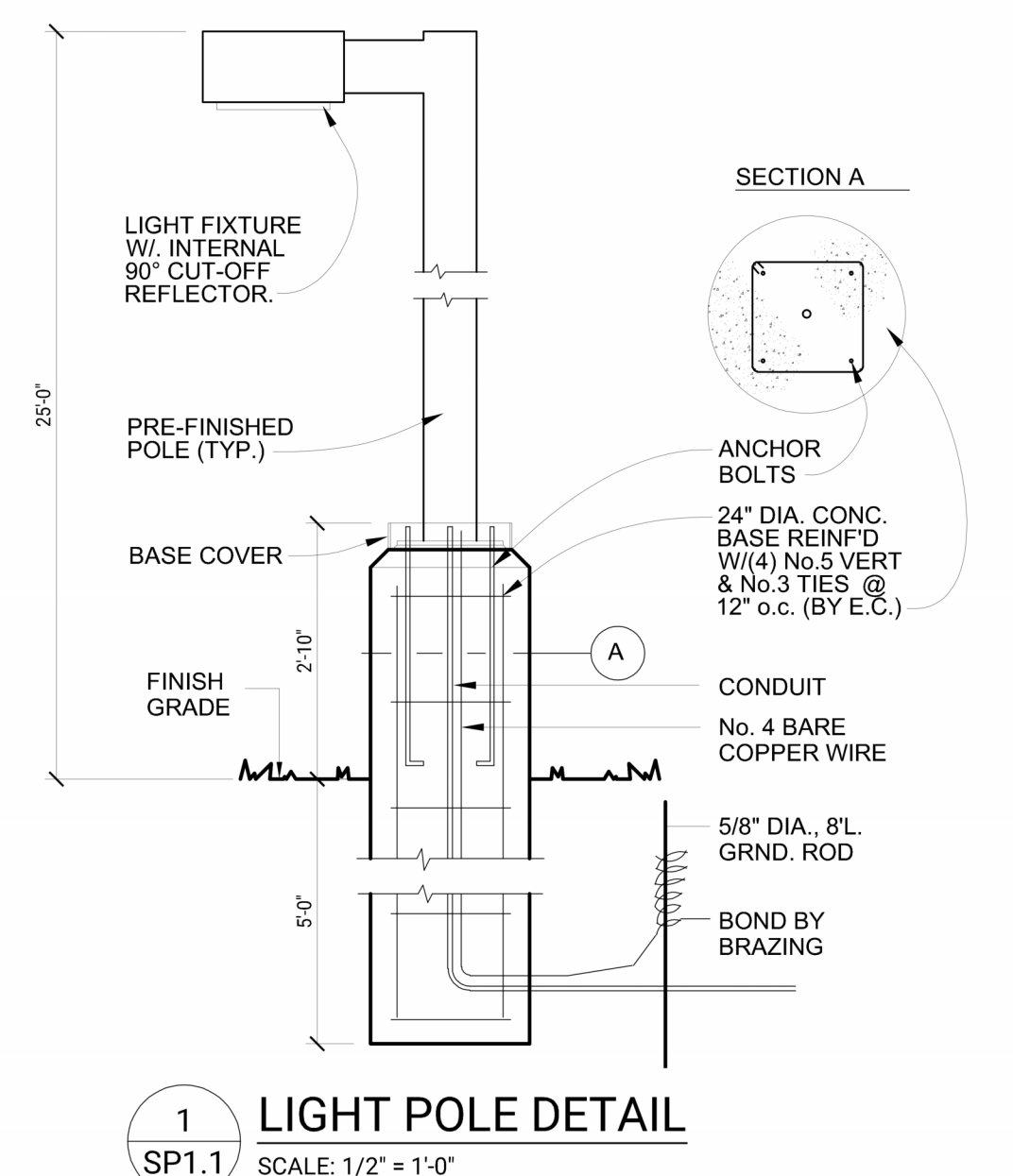
**CLIENT**

**LITHIA MOTORS**  
150 N. BARTLETT ST  
MEDFORD, OR 97504

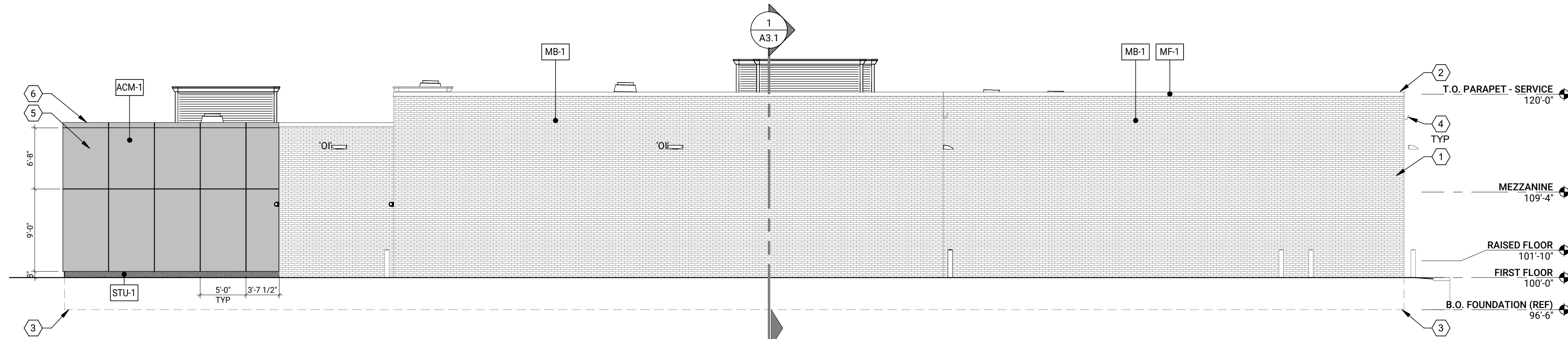
**PROJECT 2038B**

**AUDI SERVICE SHOP**  
24315 HAGGERTY RD  
NOVI, MI 48375

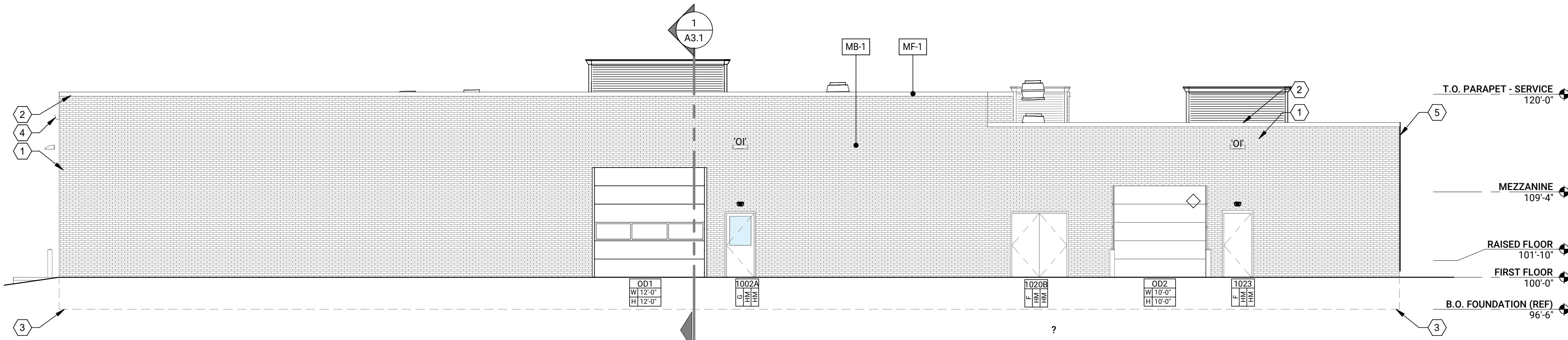
**SITE PLAN  
SP1.1**



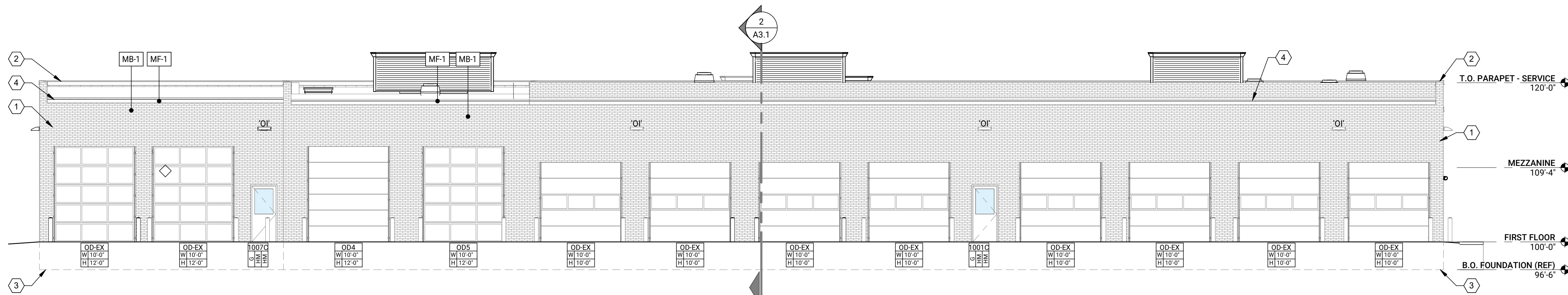
**1 LIGHT POLE DETAIL**  
SCALE: 1/2" = 1'-0"



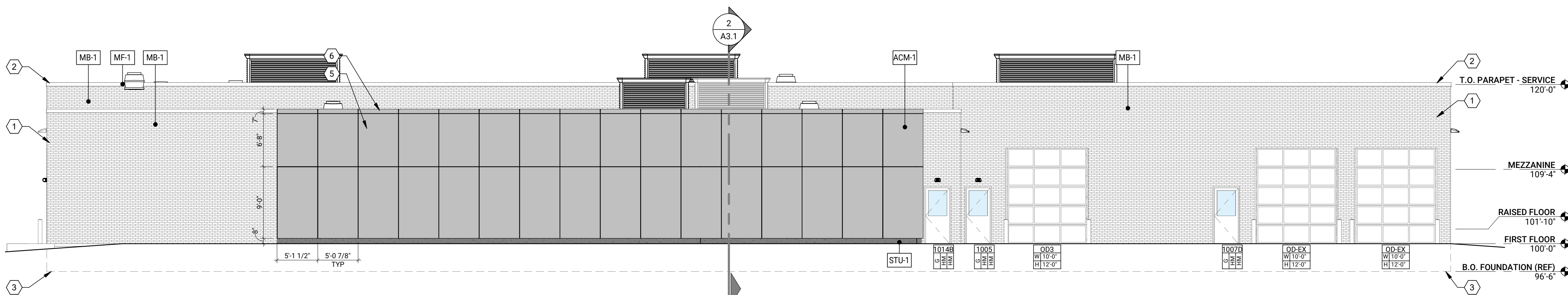
**NORTH ELEVATION - NEW WORK**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - NEW WORK**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION - NEW WORK**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION - NEW WORK**  
SCALE: 1/8" = 1'-0"

**NORTH FACADE EXT. MAT. CALCS - TOTAL AREA 2,919 S.F.**

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	2390 S.F.	81.9%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		384 S.F.	13.2%
MECHANICAL SCREEN		129 S.F.	4.4%
STUCCO	25% MAX	16 S.F.	0.5%

**SOUTH FACADE EXT. MAT. CALCS - TOTAL AREA 2,554 S.F.**

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	2406 S.F.	94.2%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		0 S.F.	0.0%
MECHANICAL SCREEN		148 S.F.	5.8%
STUCCO	25% MAX	0 S.F.	0.0%

**WEST FACADE EXT. MAT. CALCS - TOTAL AREA 2,049 S.F.**

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	1857 S.F.	90.6%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		0 S.F.	0.0%
MECHANICAL SCREEN		192 S.F.	9.4%

**EAST FACADE EXT. MAT. CALCS - TOTAL AREA 3,185 S.F.**

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	1607 S.F.	50.5%
PERFORATED METAL PANEL ON EIFS	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		1320 S.F.	41.4%
MECHANICAL SCREEN		204 S.F.	6.4%
STUCCO	25% MAX	54 S.F.	1.7%

EXTERIOR MATERIALS			
PATTERN	TAG	MATERIAL	FINISH
	MB-1	EXISTING BRICK/BRICK VENEER	EXISTING, NATURAL CLAY
	ACM-1	ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	APOLIC ACM RAINSCREEN; SILVERSMITH, MATTE FINISH w/ MAX. 1/2" DRY JOINT
	EP-1	EXTERIOR PAINT	EXTERIOR NON-METAL FINISH PAINT TO MATCH EP-1
	MF-1	METAL PAINT FINISH	PAINT EXISTING METAL COPING TO MATCH EP-1
	STU-1	STUCCO OVER CMU	PAINT TO MATCH EP-1

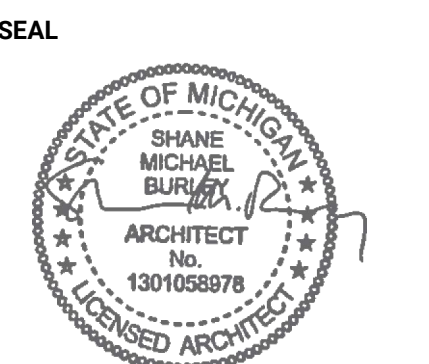
**EXTERIOR ELEVATION KEY NOTES:  
(TYPICAL THIS SHEET ONLY)**

- ① EXISTING BRICK TO REMAIN, REPAIR AS REQUIRED
- ② EXISTING METAL COPING TO REMAIN; PAINT TO MATCH EP-1
- ③ INDICATES ASSUMED LOCATION OF EXISTING FOUNDATION
- ④ EXISTING GUTTER AND DOWNSPOUT SYSTEM TO REMAIN; PRIME AND PAINT TO MATCH EP-1
- ⑤ ALUMINUM COMPOSITE PANEL SYSTEM (ACM)
- ⑥ FORMED ACM COPING

DO NOT SCALE DRAWINGS

**ISSUED**  
09.15.23 90% BRAND REVIEW  
09.20.23 SITE PLAN APPROVAL

**DRAWN** AMA  
**CHECKED** SMB



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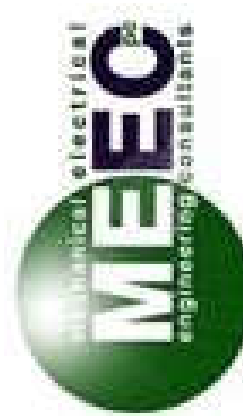
**CLIENT**

**LITHIA MOTORS**  
150 N. BARTLETT ST  
MEDFORD, OR 97504

**PROJECT 2038B**

**AUDI SERVICE SHOP**  
24315 HAGGERTY RD  
NOVI, MI 48375

EXTERIOR ELEVATIONS

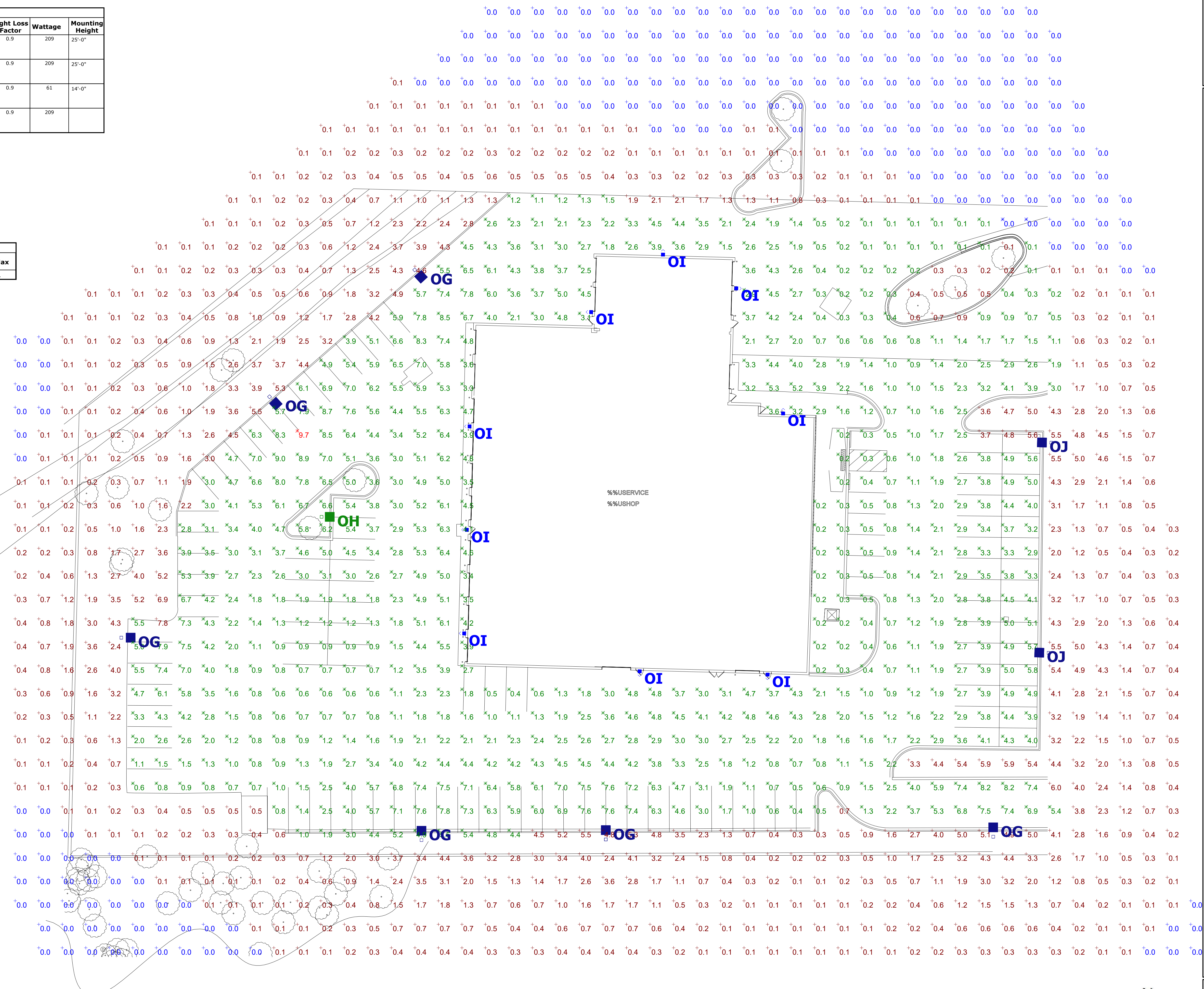


New Luminaire Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
OG	OG	6	LSI INDUSTRIES, INC.	MRS-LED-30L-SIL-3-40-70CRI			31095	0.9	209	25'-0"
OH	OH	1	LSI INDUSTRIES, INC.	MRS-LED-30L-SIL-5W-40-70CRI			29991	0.9	209	25'-0"
OI	OI	9	LSI INDUSTRIES, INC.	XWS-LED-08L-SIL-3-40-70CRI			8384	0.9	61	14'-0"
OJ	OJ	2	LSI INDUSTRIES, INC.	MRS-LED-30L-SIL-FT-40-70CRI			30975	0.9	209	

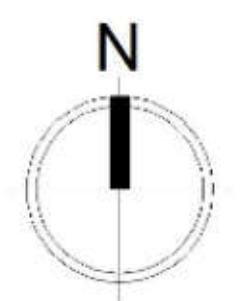
**GENERAL LIGHTING NOTES:**  
 - EXTERIOR CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0" AFG.  
 - ALL FIXTURE LOCATIONS ARE EXISTING.

THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
OVERALL PARKING/ DRIVE AREA	X	3.1 fc	9.7 fc	0.0 fc	N/A	N/A	0.3:1



Plan View  
 Scale - 1" = 20ft



AUDI SERVICE BUILDING  
 NOV1  
 PHOTOMETRIC SITE PLAN  
 PREPARED FOR: STUDIO DETROIT  
 WWW.MEECI.COM

Designer  
 AAM  
 Date  
 09/19/2023  
 Scale  
 Not to Scale  
 Drawing No.  
 #  
**1 of 1**

## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

## Planning Review

### Audi Service Center

JSP 23-40

October 5, 2023

#### PETITIONER

Lithia Motors, Inc.

#### REVIEW TYPE

Combined Preliminary and Final Site Plan

#### PROPERTY CHARACTERISTICS

Section	24	
Site Location	West of Haggerty Rd, North of Ten Mile Rd, 22-24-476-022	
Site School	Novi Community School District	
Site Zoning	B-3 General Business District	
Adjoining Zoning	North	B-3 General Business District
	East	B-3 General Business District (City of Farmington Hills)
	West	OS-1 Office Service District
	South	B-3 General Business District
Current Site Use	Car dealership, vehicle service center, vacant building	
Adjoining Uses	North	Suburban Infiniti of Novi (Commercial)
	East	Porsche of Novi (Commercial)
	West	Woodlands
	South	TDR Orthodontics (Medical Office), DFCU Financial (Bank)
Site Size	8.15 acres	
Plan Date	September 20, 2023	

#### PROJECT SUMMARY

The subject property is currently zoned B-3, General Business, and is approximately 8.15 acres. The site is located west of Haggerty Road, south of Grand River Avenue and north of 10 Mile Road in Section 24. The applicant is proposing to demolish a part of a building in the southwestern portion of the site in order to renovate the existing service center to an approximately 21,979 square foot, Audi service center along with associated parking and site improvements.

#### RECOMMENDATION

**Approval of the Preliminary Site Plan is recommended, but Planning and Landscape do not recommend approval for the Final Site Plan until comments are addressed.** The plan mostly conforms to the requirements of the Zoning Ordinance, with a few matters to be addressed in a revised submittal. All reviewers, except Planning and Landscape, recommend approval of the Final Site Plan.

## ORDINANCE REQUIREMENTS

---

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal.

1. Total Square Footage for interior landscape islands (Sec. 5.5.3.C.ii.p.5): Bays of 25 spaces are permitted if the use is primarily vehicular storage, but the largest proposed bay is 26 spaces. **An island will be needed to break up the spaces or a landscape waiver will be required for the proposed layout.**
2. Loading Area (Sec. 5.4.2): The required size of the loading area is 10 ft per front foot of building, or in this case approximately 1,760 square feet. The plans show two 10' x 75' areas, or 1,500 square feet. **Please show the front footage of the building to determine the exact required loading space. It is likely that the loading space will still be deficient, and thus a variance from the ZBA will be required if not changed.**
3. Bicycle Parking General Requirements (Sec. 5.16): Spaces shall be paved. Dimensions of bike rack shown, but not the foundation. **Please provide dimensions of bicycle parking layout.**
4. Exterior Lighting (Sec. 5.7) Pages 16-19 of Ordinance Amendment 18.301 revise Section 5.7 to update requirements relating to lighting standards. These updates concern the color spectrum management of permanent lighting installations, in addition to indoor lighting. All permanent lighting installations in nonresidential zoning districts shall have a minimum Color Rendering Index (CRI) of 70 and a Correlated Color Temperature (CCT) of no greater than 3000 Kelvin (K). Indoor lighting shall not be the source of exterior glare or spillover. **Please provide calculations of the CRI and CCT, in addition to a note regarding the indoor lighting, in the next submittal.**
5. Dumpster enclosure (Sec. 4.19.2.F) Although no changes are proposed to the existing trash compactor, we would like to see details of the screening enclosure to ensure that it complies with the screening requirements of the Zoning Ordinance. **Please provide dumpster enclosure details including height and materials, in addition to distance between dumpster and building.**
6. Economic Impact Statement: The statement from the applicant indicates an investment of \$6 million and redevelopment of a former service center. Construction work will involve 40 trade companies and more than 150 workers. 35 permanent employees will transfer from the current Farmington Hills location, with expected growth in employees.
7. Property Split: Our assessing department has notified us of the intent to separate the Infiniti property from the Audi Service Center and Porsche properties. **Please show the proposed property lines on the site plan, in addition to proposed loading zone for the Porsche site if located on this project's site.**
8. Signage: For sign permit information please contact Maureen Underhill at 248-347-0438 or [munderhill@cityofnovi.orf](mailto:munderhill@cityofnovi.orf) in the Code Compliance Division for more information.

## OTHER REVIEWS

---

- a. Engineering Review: Engineering recommends approval of the combined Preliminary and Final Site Plan. Please address comments in Electronic Stamping Set submittal.
- b. Landscape Review: Landscape recommends approval of the Preliminary Site Plan but **does not recommend approval of the Final Site Plan**. Please address deficiencies in a revised submittal after the project has gone to Planning Commission and potentially ZBA.

- c. Traffic Review: Traffic recommends approval of the combined Preliminary and Final Site Plan. Please address comments in Electronic Stamping Set submittal.
- d. Facade Review: Façade recommends approval of the combined Preliminary and Final Site Plan, with a note regarding the dumpster enclosure as mentioned above.
- e. Fire Review: Fire recommends approval of the combined Preliminary and Final Site Plan. Please address comments in Electronic Stamping Set submittal.

### **NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER**

---

The Preliminary Site Plan and Stormwater Management Plan will need approval from the Planning Commission. Please provide the following via email one week prior to the meeting once this stage is reached:

1. Site Plan submittal in PDF format (maximum of 10MB) **NO CHANGES MADE**
2. A response letter addressing ALL the comments from ALL review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (to be used for Planning Commission presentation).

### **FUTURE STEP: ZONING BOARD OF APPEALS**

---

The project may need to appear before the Zoning Board of Appeals for the deficiency in loading zone area. Once the Planning Commission approves the Preliminary Site Plan and Stormwater Management Plan, staff will work with the applicant to get on the next available ZBA agenda. ZBA meets once a month, and applications to appear before the ZBA are due on the first of the previous month.

### **FUTURE STEP: REVISED FINAL SITE PLAN SUBMITTAL**

---

The outstanding comments need to be addressed in a revised submittal. Please submit the following for Revised Final Site Plan review and approval after both Planning Commission and ZBA meetings are held:

1. A site plan revision application
2. **Two** copies of **revised Final Site Plan**, folded, addressing all comments from this review (Only sheets that reflect changes made should be provided. Please do NOT include Standard Detail Sheets at this time.)
3. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
4. Drafts of legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

### **ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

---

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected**. *If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

### **STAMPING SET APPROVAL**

---

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

### **PRE-CONSTRUCTION MEETING**

---

A **Pre-Construction meeting is required for this project**. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued

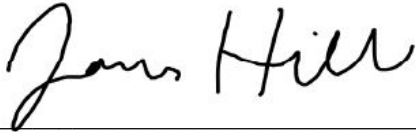
before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

### **CHAPTER 26.5**

---

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0547 or [jhill@cityofnovi.org](mailto:jhill@cityofnovi.org).



---

James Hill, Planner





**PLANNING REVIEW CHART: B-3 General Business District**

**Review Date:** October 5, 2023  
**Review Type:** Preliminary Site Plan & Final Site Plan  
**Project Name:** JSP23-40 Audi Service Center  
**Location:** 50-22-24-476-022  
**Plan Date:** September 12, 2023  
**Prepared by:** James Hill, Planner  
**email:** [jhill@cityofnovi.org](mailto:jhill@cityofnovi.org); **Phone:** (248)-347-0547

Items in **Bold** need to be addressed by the applicant prior to the approval of the Planning Commission Meeting. Items underlined need to be addressed prior to the approval of the Final Site Plan. Bold underlined text indicates a variance or waiver is required

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 26, 2017)</i>	Community Commercial	No change to existing zoning	Yes	
<b>Area Study</b>	The site does not fall under any special category		NA	
<b>Zoning</b> <i>(Effective Jan 8, 2015)</i>	B-3: General Business District	No change to existing zoning	Yes	
<b>Uses Permitted</b> <i>(Sec 3.1.12.B &amp; C)</i>	Sec 3.1.12.B Principal Uses Permitted	Minor automobile service establishment	Yes	
<b>B-3 Business District Required Conditions (Sec. 3.10.3)</b>				
<b>Truck Well and Overhead Doors (Sec. 3.10.3.A)</b>	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. Pedestrian exits or emergency doors are permitted on such building facades.	Overhead doors facing west, south, and east towards Haggerty Road	<b>No</b>	Existing Condition
<b>Height, bulk, density, and area limitations (Sec 3.1.12)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Haggerty Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Access to Major Thoroughfare</b> (Sec. 5.13)	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Shared driveway access with 2 existing buildings on the same parcel to Haggerty Road	Yes	<b>If a lot split is proposed to separate the current Infiniti dealership from proposed Porsche site and this project site, an access agreement will be needed</b>
<b>Minimum Zoning Lot Size and Lot width</b> (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	Lot area and dimension are consistent	Yes	
<b>Maximum % of Lot Area Covered</b> (By All Buildings)	(Sec 3.6.2.D)	Approx. 17%	Yes	
<b>Building Height</b> (Sec. 3.1.12.D)	30 ft.	24 ft.	Yes	
<b>Building Setbacks</b> (Sec 3.1.12.D)				
Front (east)	30 ft.	486.29 ft.	Yes	
Exterior Side (north)	30 ft.	335 ft.	Yes	
Side (south)	15 ft.	77.27 ft.	Yes	
Rear (west)	20 ft.	76.18 ft.	Yes	
<b>Parking Setback</b> (Sec 3.1.12.D)				
Front (east)	20 ft.	398.29 ft.	Yes	
Side (north)	10 ft.	45.27 ft.	Yes	
Side (south)	10 ft.	10.02 ft.	Yes	
Rear (west)	10 ft.	23.19 ft.	Yes	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Exterior side yard abutting drive aisle	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Parking setback observed		
<b>Off-Street Parking in Side and Rear Yards</b> (Sec 3.6.2.F)	Off-street parking shall be permitted within the side and rear yards, however, not if a property abuts a residential district and is not separated by a major thoroughfare.	Property not abutting residential district	Yes	
<b>Wetland/Watercourse Setback</b> (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No wetland/watercourse on site	Yes	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.			<b>Please see Landscape Letter for requirements.</b>
<b>Parking, Loading, and Dumpster Requirements</b>				
<b>Automobile service establishments</b> (5.2.12.E.)	Two for each service bay, plus one for every employee  25 service bays + 25 employees = 75 required spaces	105 total spaces including 25 (employee) and 80 (service)	Yes	
<b>Total Square Footage for interior landscape islands (Sec. 5.5.3.C.ii.p.5)</b>	If the use is primarily vehicular storage (i.e. automobile dealer vehicle inventory areas, vehicle stockpile areas, semitrailer storage areas), bays of 25 spaces will be allowed but the required interior landscape area must be provided.	Largest bay is 26 spaces	<b>No</b>	<b>Please see Landscape Letter for requirements.</b>  <b>An island will be needed to break up the spaces or a landscape waiver will be required for the proposed layout</b>
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 9 ft. x 19 ft. parking spaces allowed with 6" curb - 9 ft. x 17 ft. parking spaces allowed with 4" curb	9ft. x 19 ft. spaces; 9ft. x 17.5 ft. spaces; 9.5 ft. x 17.5 ft. spaces	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 24 ft. two-way drives	varying drive aisles; 30 ft drive aisles in new parking area	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	Shall not be located closer than 25 feet from the street right-of-way line, street easement or sidewalk, whichever is closer		Yes	
<b>End Islands</b> (Sec. 5.3.12)	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>	End islands proposed in new parking area  Painted islands considered existing conditions	Yes	<b>Please see Traffic Review for requirements.</b>
<b>Barrier Free Spaces</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	- 2 spaces, with 1 van space	2 barrier free spaces proposed, both van accessible	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 8' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	both spaces are 9.5 ft. wide with shared 9 ft. access aisle	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signage indicated	Yes	<u>See Traffic review letter</u>
<b>Plug in Electric Vehicle Spaces</b> (Sec 5.2.15.A)	PEV charging stations, as well as all structures and equipment ancillary to PEV charging stations (protective bollards, signage, etc.), shall collectively be considered an accessory	None proposed	NA	

Item	Required Code	Proposed	Meets Code	Comments
<b>Plug in Electric Vehicle Spaces Locations</b> (Sec 5.2.15.B.ii)	PEV charging stations and spaces shall be permitted anywhere within an offstreet parking area that a standard parking space is permitted, provided all standards pertaining to off-street parking spaces and to off-street parking areas are met;		NA	
<b>Plug in Electric Vehicle Spaces Design</b> (Sec 5.2.15.C)	Where a PEV charging space is proposed perpendicular to a 4 inch curb such that a 17 foot parking space with a two-foot overhang is permitted per Section 5.5.3.C.ii, the corresponding PEV charging station as well as any structures ancillary to it (bollards, signs, etc.) shall be installed a minimum of 2 feet from the face of the curb;		NA	
	PEV charging stations and spaces shall be identified with the State-standard "Reserved Parking Only – Charging Station" sign and corresponding plaque (R7-8c and R7-8cP, respectively) as detailed in the Michigan Standard Highway Signs Book, or its equivalent. PEV identification signs shall meet the same standards relative to location, height, and design as barrier-free parking signs;		NA	
	PEV charging spaces shall be identified with the MMUTCD-standard pavement marking D9-11b (ALT) or its equivalent;		NA	
	PEV charging stations shall be installed in a suitable location such that any		NA	

Item	Required Code	Proposed	Meets Code	Comments
	cords connecting the charging station with the vehicle will not extend across a pedestrian walkway or will otherwise present a tripping hazard. Charging stations featuring self-retracting cords are encouraged			
	PEV charging stations available to the public shall be maintained in safe and operational repair and shall clearly display a toll-free telephone number to report any problems.		NA	
<b>Plug in Electric Vehicle Spaces Accessories</b> (Sec 5.3.15.E)	Solar collector-equipped panels and canopies, shelters, carports, and similar large structures installed as part of a PEV charging station or space shall meet the minimum building setback requirements of the applicable zoning district;		NA	
	All ancillary structures installed as part of a PEV charging station shall meet the maximum height requirements of the applicable zoning district;		NA	
	PEV charging stations shall be permitted no additional signage beyond the required City-standard sign identifying the PEV charging station space.		NA	
<b>Minimum number of Bicycle Parking</b> (Sec. 5.16.1)	Minimum 2 spaces	2 spaces shown	Yes	
<b>Bicycle Parking General requirements</b> (Sec. 5.16)	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- Spaces to be paved and the bike rack shall</li> </ul>	Location and detail partially meets requirements	<b>No</b>	<b>Please provide dimensions of bicycle parking layout</b>

Item	Required Code	Proposed	Meets Code	Comments
	be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk			
<b>Bicycle Parking Lot layout</b> (Sec 5.16.6)	Parking space width: 7 ft. One tier width: 11 ft. Two tier width: 18 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Meets requirements	Yes	
<b>Loading Spaces</b> (Sec. 5.4.2)	<ul style="list-style-type: none"> <li>- Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building</li> <li>- Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City.</li> </ul>	Approx 176 ff x 10 = 1760 sf required  Loading space in rear yard - two 10'x75' areas shown = 750 sf x 2 = 1500 sf	<b>No</b>	<b>Loading space is deficient by approximately 260 square feet. Please revise the plans to provide sufficient loading space or provide a narrative as to why the proposed loading space is sufficient. If no changes are proposed, a variance from the ZBA will be required.</b>
<b>Dumpster</b> (Sec 4.19.2.F)	<ul style="list-style-type: none"> <li>- Located in rear yard or interior side yard in case of double frontage</li> <li>- Attached to the building OR</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft, from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Existing condition?	<b>Yes?</b>	<b>Please show distance between trash compactor and building</b>
<b>Dumpster Enclosure</b> (Sec. 21-145. (c))	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to</li> </ul>	Not provided	<b>No</b>	<b>Although potentially considered an existing condition, please provide dumpster enclosure details</b>

Item	Required Code	Proposed	Meets Code	Comments
	protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery			
<b>Lighting and Other Equipment Requirements</b>				
<b>Exterior lighting</b> (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Provided	Yes	
<b>Roof top appurtenances Screening</b> (Sec. 4.19.2.E.i)	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Mechanical screens shown	Yes	
<b>Roof top appurtenances height</b> (Sec. 4.19.2.E.ii)	Roof top appurtenances, including mechanical and electrical equipment, shall not exceed the maximum permitted building height limits, unless the following conditions are met. For every one foot that a roof top appurtenance exceeds the maximum district building height, it shall be setback five feet from any and all building faces. No roof top appurtenance shall exceed five feet above the maximum district building height	roof top appurtenances do not exceed maximum permitted building height	Yes	
<b>Roof top equipment and wall mounted utility equipment</b> (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Mechanical screens shown	Yes	
<b>Sidewalk Requirements</b>				
<b>Sidewalks</b> (Sec. 7.4.2 of the Engineering)	- 6-foot sidewalk required	7-foot sidewalk proposed on east side of building, 9.3 feet of	<b>Yes?</b>	<b>Please indicate the sidewalk width of the narrower stretch of</b>



Item	Required Code	Proposed	Meets Code	Comments
Design Manual)		concrete sidewalk proposed between the building and drive aisle near the eastern entrances. Narrower stretch of sidewalk (measurement not shown) closer to the door in the middle of the three east-facing entrances. There seems to be asphalt at grade instead of a curb and gutter between the sidewalk and drive aisle. Considered an existing condition.		<b>sidewalk in between the building and the drive aisle approaching the southernmost overhead door that faces eastward.</b>  Existing condition
<b>Pedestrian Connectivity</b>	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Appears to comply	Yes	
<b>Building Code and Other Design Standard Requirements</b>				
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).		Yes	
<b>Economic Impact</b>	- Total cost of the proposed building & site improvements	Provided: part of overall Audi project. Total cost for proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	- Number of anticipated jobs created (during construction & after building is occupied)	buildings and site improvements is \$6.0 million. Re-build will involve 40 trade companies and more than 150 construction workers. 35 full-time employees to transfer from Farmington Hills, with expected growth in employees.		
<b>Other Permits and Approvals</b>				
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.			<u>For sign permit information contact Maureen Underhill at 248-347-0438.</u>
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name and street names does not require approval.	NA	
<b>Property Split</b>	The proposed property split must be submitted to the Assessing Department for approval.	Split proposed to divide Infiniti property from Audi Service Center and Porsche.	No	<b><u>Please show the proposed property lines from the split on the site plan, in addition to the loading area for the Porsche site if it is to be located on this project site</u></b>
<b>Traffic Impact Statement</b>	Traffic review indicated a TIS is required for exceeding the threshold for total daily trips.		NA	Not required
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan is provided	Yes	
<b>Standard Notes (Sec. 5.7.3.B)</b>	- Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	- Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation			
<b>Color Spectrum Management</b> (Sec. 5.7.3.F)	- All permanent lighting installations shall have a minimum Color Rendering Index of 70 - All permanent lighting installations shall have a Correlated Color Temperature (CCT) of no greater than 3000 Kelvin (K)	Not indicated	No	<b>Please show the minimum Color Rendering Index (CRI) and the Correlated Color Temperature (CCT) of all permanent lighting installations</b>
<b>Indoor Lighting</b> (Sec. 5.7.3.H)	- Indoor lighting shall not be the source of exterior glare or spillover	Not indicated	No	<b>Please provide a note that this standard will be met</b>
<b>Security Lighting</b> (Sec. 5.7.3.I)  Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred	Dimming indicated after hours	Yes	
<b>Average light levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	0.3:1 overall shown	Yes	
<b>Min. Illumination</b> (Sec. 5.7.3.L)	Parking areas: 0.2 min	0.3 min	Yes	
	Loading & unloading areas: 0.4 min	0.6 min	Yes	
	Walkways: 0.2 min	0.2 min	Yes	
	Building entrances, frequent use: 1.0 min	3.2 min	Yes	
	Building entrances, infrequent use: 0.2 min	3.1 min.	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan

Item	Required Code	Proposed	Meets Code	Comments
modifications to the City of Novi Planning Department with future submittals.				

## ENGINEERING REVIEW



# PLAN REVIEW CENTER REPORT

10/6/2023

## Engineering Review

Audi Service Center  
JSP23-0040

### APPLICANT

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Nowak and Fraus Engineers

### REVIEW TYPE

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Preliminary and Final Site Plan

### PROPERTY CHARACTERISTICS

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- Site Location: W. of Haggerty Rd. N. of 10 Mile Road 50-22-24-476-022
- Site Size: 2.2 acres
- Plan Date: 9/20/2023
- Design Engineer: Nowak & Fraus Engineers

### PROJECT SUMMARY

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- Removal of showroom and remodel of remainder of building.
- Construction and reconstruction of an approximately 77,537 square-foot parking lot.
- There are no proposed changes to the water and the sanitary sewer service.
- Re-route and adjust the existing storm sewers.

### RECOMMENDATION

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**Approval of the Preliminary / Final Site Plan is recommended, with items to be addressed at Electronic Stamping Set submittal.**

#### Comments:

The preliminary / Final Site Plan meets the general requirements of [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance, and the [Engineering Design Manual](#) with the following exceptions, which can be addressed at Stamping Set submittal:

#### General

1. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location:

<https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>

2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for storm sewer (2 sheets), and paving (2 sheets) The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
3. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas and illustrate and label on the profiles.
4. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
5. Clarify how to use the service parking stalls east of the building, provide details, and add notes to the plans.

### **Irrigation Comments**

6. Specify whether irrigation is proposed.
7. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

### **Storm Sewer**

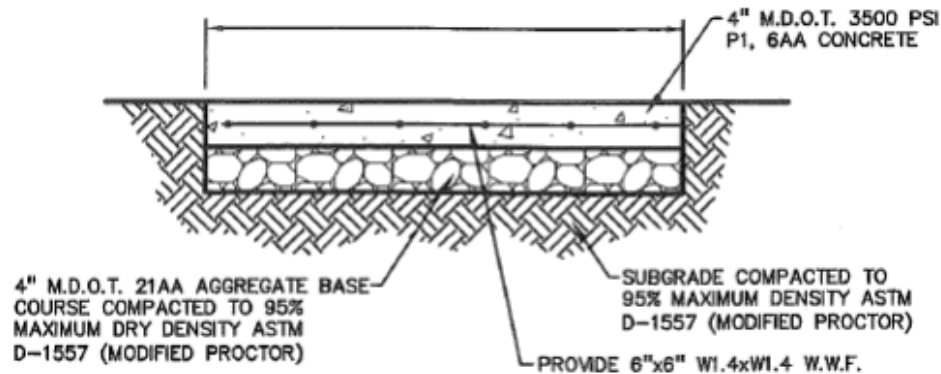
8. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
9. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge to Ingersol Creek.

### **Paving & Grading**

10. Show proposed grades for all adjusted sanitary, water, and storm structures.
11. Per MDOT Special Provision for Crushed Concrete, the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the

water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.

12. Revise the on-site road cross-section to 1.5 inches of MDOT 5E1 on 2.5 inches of MDOT 3C on 8 inches of 21AA [limestone only if within 100 feet of a watercourse] aggregate base.
13. The bicycle parking area shall be designed and constructed to meet the minimum cross-section shown in Figure below.



14. Provide a line designation representing the effective 19-foot stall length for 17-foot perimeter stalls.

#### **Soil Erosion and Sediment Control**

15. A SESC permit is required. A full review has not been completed at this time but will be completed once a complete package has been submitted, according to the permit application requirements.

#### **The following must be submitted with the electronic plans submittal:**

16. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

#### **The following must be submitted with the Stamping Set:**

*(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a [legal review transmittal form](#). Partial submittals will not be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#))*

17. A draft copy of the [Storm Drainage Facility Maintenance Easement Agreement \(SDFMEA\)](#), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the



office of the Oakland County Register of Deeds. This document is available on our website.

18. If you split the parcel, A draft copy of the [Ingress/Egress Easement](#) for shared use of the drive entry on Haggerty Road must be submitted to the Community Development Department. This document is available on our website.

**The following must be addressed prior to construction:**

19. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
20. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
21. Construction inspection fees in the amount of **\$15,398.37** must be paid to the Community Development Department. **\*\*fees are subject to change.**
22. Legal escrow fees in the amount of **\$1,725.00** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. **\*\*fees are subject to change.**
23. A street sign financial guarantee in the amount of **\$2,800.00** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
24. A traffic control inspection fee of **\$605.00** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
25. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.

**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:**

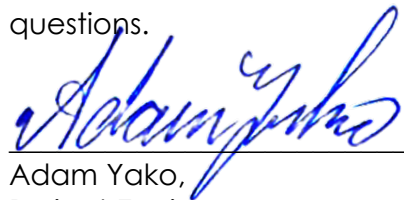
26. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
27. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and Engineering Division.

28. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
29. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

**Prior to preparing stamping sets**, the Applicant should submit the **Electronic Stamping set** to Planning for review, if any changes are proposed after Electronic Stamping set approval send revised sheets directly to Engineering for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Adam Yako at (248)735-5695 or email at [ayako@cityofnovi.org](mailto:ayako@cityofnovi.org) with any questions.



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Adam Yako,  
Project Engineer

cc: James Hill/ Lindsay Bell /Heather Zeigler/Ian Hogg, Community Development  
Angela Sosnowski, Community Development  
Tina Glenn, Treasurers  
Kristin Pace, Treasurers  
Kevin Roby, Water & Sewer  
Linda Slepetski, Water & Sewer  
Humna Anjum, Engineering  
Ben Croy, City Engineer  
H. Gendron, T. Meadows, M.Freckelton, T. Reynolds; Spalding DeDecker

## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

September 26, 2023  
**Audi Service Center**  
Combined Preliminary/Final Site Plan - Landscaping

## Review Type

Combined Preliminary/Final Landscape Review

## Job #

JSP23-0040

## Property Characteristics

- Site Location: 24315 Haggerty Road
- Site Acreage: 8.04 ac.
- Site Zoning: B-3
- Adjacent Zoning: North, West, South: OS-1, East: B-3
- Plan Date: 9/20/2023

## Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and is not intended to substitute for any Ordinance.

## Recommendation:

This project is **recommended for approval for Preliminary Site Plans**. There are some things to address on Final Site Plans.

## **LANDSCAPE WAIVERS REQUIRED BY PLAN:**

- A bay of parking has 26 consecutive spaces – *not supported by staff*

## Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided
2. **Please include all trees on the plan on the chart**
3. **Please indicate whether a tree will be removed or saved on the chart.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residential property

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

The project does not require any additional right-of-way berms or landscaping.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior landscape area and perimeter trees are provided.
2. They are short by two interior trees. This shortage is accepted as the parking lot is not changing significantly and all available areas are planted with canopy trees.
3. There is a bay with 26 consecutive spaces. This requires an island to break up the long expanse. A landscape waiver is required for the proposed configuration.

**4. Additional trees should be added to the southern accessway perimeter.**

Building foundation Landscaping (Zoning Sec 5.5.3.D)

As the building is not being enlarged, only additional foundation landscaping is required on the east side of the building, and the required landscaping is provided.

Plant List (LDM 4, 10)

1. 6 of 8 species (75%) used are native to Michigan.
2. The LDM requirement of 15% species/25% genus is exceeded by 4 of the 5 species used. Please add additional species to bring the number of trees used per species down to no more than 6.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

No detention basin landscaping is required for this project.

Irrigation (LDM 10)

If an irrigation system will be used, plans for it should be included in the Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – COMBINED PRELIMINARY/FINAL SITE PLAN

**Review Date:** September 26, 2023  
**Project Name:** JSP23-0040: Audi Service Center  
**Project Location:** 24315 Haggerty Road  
**Plan Date:** September 20, 2023  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

### LANDSCAPE WAIVERS REQUIRED BY PLAN:

- A bay of parking has 26 consecutive spaces – *not supported by staff*

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>• New commercial or residential developments</li> <li>• Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>• 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>• Consistent with plans throughout set</li> </ul>	Scale: 1"=20'	Yes	
<b>Project Information</b> (LDM 2.d.)	Name and Address	Location map is provided	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Contact information is provided in the title block	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	George Ostrowski, Nowak & Fraus	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Copy of signature & seal	Yes	<u>Signature required on final stamping sets</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	On title block	Yes	
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	<u>Provided on L-2</u> <b>Site:</b> B-3 East: B-3 North, South, West:	No	<u>Please correct the zoning for the parcels north, west and south of the project.</u>

Item	Required	Proposed	Meets Code	Comments
		OS-1		
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>Legal description or boundary line survey</li> <li>Existing topography</li> </ul>	<ul style="list-style-type: none"> <li>Overall site: C1</li> <li>Development site: C2</li> </ul>	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>Show location type and size. Label to be saved or removed.</li> <li>Plan shall state if none exists.</li> </ul>	<ul style="list-style-type: none"> <li>Trees are shown on C1 and C2</li> <li>Tree chart on C1</li> <li>Some interior trees are not numbered and are missing from the chart.</li> <li>Tree removals are not shown on the chart</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> <li>No</li> <li>No</li> </ul>	<ol style="list-style-type: none"> <li>Please show all trees on the site to be saved on the chart</li> <li>Please show on chart and plan view which trees will be removed.</li> </ol>
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>As determined by Soils survey of Oakland county</li> <li>Show types, boundaries</li> </ul>	Listed on C8	Yes	
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes – west end of proposed Porsche Layout is included	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	<ul style="list-style-type: none"> <li>Overhead and underground utilities, including hydrants</li> <li>Proposed light posts</li> </ul>	<ul style="list-style-type: none"> <li>Existing and proposed utilities are on the landscape plan.</li> <li>Existing light poles will remain.</li> </ul>	Yes	
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> <li>Notes indicate existing elevations will be matched.</li> <li>Proposed spot elevations shown for new paving and curbs.</li> </ul>	Yes	
<b>Snow deposit</b> (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed of loam with 6" top layer of topsoil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	The site is not adjacent to residential property so	No berm is proposed.	Yes	

Item	Required	Proposed	Meets Code	Comments
	the screening berm is not required.			
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No new walls are proposed.	NA	
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		None		
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)</b>				
<b>Greenbelt width (2)(3) (5)</b>	The site does not abut the road so no greenbelt is required	NA	NA	
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>				
Min. berm crest width	No berm is required	NA		
Minimum berm height (9)	No berm is required	NA		
3' wall	(4)(7)	None		
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	No greenbelt landscaping is required for this project	NA		
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	No greenbelt landscaping is required for this project	NA		
<b>Canopy deciduous trees in area between sidewalk and curb</b> (Novi Street Tree List)	No street trees are required for this project	NA		
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>Label contour lines</li> <li>Maximum 33%</li> <li>Constructed of loam</li> <li>6" top layer of topsoil</li> </ul>	No berms are proposed	NA	
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	No overhead utilities are shown on plan	NA	
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>Clear sight distance within parking islands</li> <li>No evergreen trees</li> </ul>	No blocking landscaping is proposed	Yes	
<b>Name, type and</b>	As proposed on planting	Hydroseed will be	Yes	



Item	Required	Proposed	Meets Code	Comments
<b>number of ground cover</b> (LDM 1.c.(5))	islands	used except where other groundcovers are noted		
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands</b> (a, b. i)	<ul style="list-style-type: none"> <li>A minimum of 200 SF to qualify</li> <li>Minimum 200 SF per tree planted in island</li> <li>6" curbs</li> <li>Islands minimum width 10' BOC to BOC</li> </ul>	<ul style="list-style-type: none"> <li>Islands are dimensioned</li> <li>The island at the northeast corner of the building is only 160sf in area</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>No</li> </ul>	<b>Please enlarge the 160sf island to have at least 200sf in greenspace for the tree's survival.</b>
<b>Curbs and Parking stall reduction</b> (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces appear to be 17 and 19 feet long	Yes	
<b>Contiguous space limit</b> (i)	<ul style="list-style-type: none"> <li>Maximum of 15 contiguous spaced</li> <li>Automobile inventory and storage bays may be 25 spaces.</li> <li>All endcap islands should also be at least 200sf with 1 tree planted in it.</li> </ul>	<ul style="list-style-type: none"> <li>The southern bay has a total of 26 contiguous spaces (15 employee and 11 storage spaces)</li> <li>No other bay is longer than 15 spaces</li> </ul>	<ul style="list-style-type: none"> <li>No</li> <li>Yes</li> </ul>	<ol style="list-style-type: none"> <li><b>A landscape waiver would be required for the current configuration. It would not be supported by staff.</b></li> <li><b>Please insert a landscaped island and tree between the employee and service parking in the south bay.</b></li> </ol>
<b>Plantings around Fire Hydrant</b> (d)	<ul style="list-style-type: none"> <li>No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins).</li> <li>Trees also need to have at least 5 feet between the trunk and underground utility lines.</li> </ul>	No hydrants are shown on the landscape plan, but one appears on the Utility Plan.	No	<ol style="list-style-type: none"> <li>Show all hydrants and Fire Department Connections on the Landscape Plan.</li> <li>Please be sure to provide at least 10 feet between hydrants, manholes and catch basins and trees.</li> <li>If there is an FDC on the front of the building, please use plants with a maximum height of 12" in front of it.</li> </ol>
<b>Clear Zones</b> (LDM 2.3.(5))	No plantings should block visibility within the parking lot	No landscaping shown appears to block visibility.	Yes	
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular	A = 50,000 SF x 7.5% = 3,750 SF	Calculations are provided	Yes	

Item	Required	Proposed	Meets Code	Comments
use area up to 50,000 sf x 7.5%	A			
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = (67,962 - 50,000) \times SF \times 1\% = 180 \text{ sf}$	Calculations are provided	Yes	
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\% = B \text{ SF}$	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands required	$C = A + B$ $C = 3750 + 180 = 3930 \text{ sf}$	3992 sf	Yes	<b>Please enlarge the 160sf island to at least 200sf</b>
D = D/200 Number of canopy trees required	<ul style="list-style-type: none"> <li><math>D = C/200 = xx \text{ Trees}</math></li> <li><math>D = 3930/200 = 20 \text{ trees}</math></li> </ul>	18 trees	No	As the parking lot layout isn't being changed significantly, and all of the islands have a sufficient number of trees, this shortage is accepted.
<b>Parking Lot Perimeter Trees</b> (Sec 5.5.3.C.iv)	<ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> <li><math>962/35 = 27 \text{ trees}</math></li> </ul>	25 trees – including existing tree #1448 which is not on the tree chart	Yes	<b>Please add #1448 to the tree chart.</b>
<b>Accessway perimeter trees</b>	<ul style="list-style-type: none"> <li>1 tree per 35lf</li> <li>North drive: <math>80 \text{ lf}/35 = 2 \text{ trees}</math> (1 side)</li> <li>South drive: <math>100 \text{ lf}/35 = 3 \text{ trees}</math> (both sides)</li> </ul>	<ul style="list-style-type: none"> <li>Northern accessway: 2 trees are provided</li> <li>Southern accessway: Sufficient trees are on the north side, not the south</li> </ul>		<p>1. Existing trees or trees from the Porsche project that are also within 15 feet of the accessway edge can be double-counted for this. (There may be existing trees that can count for the new accessway on the south side but they're not shown. If there are, please add them to the plan.)</p> <p><b>2. For the north drive, please move the</b></p>

Item	Required	Proposed	Meets Code	Comments
				<p><b>Porsche tree that is about 5 feet from the Porsche parking lot and 17 feet from the Audi north drive northwest a few feet so it is within 15 feet of the Audi drive and can be double-counted for each area.</b></p> <p><b>3. Please add three trees (100lf/35) in the vacant area on the south side.</b></p>
<b>Other Landscaping</b>				
<b>Other Screening</b>				
<p><b>Screening of outdoor storage, loading/unloading</b>  <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i></p>		<p>No loading area is indicated on the topographic survey</p>	<p>TBD</p>	<p><b>Show the loading area on Landscape Plan and provide proper screening for the loading area such that the area is screened from Haggerty Road (it could be that the proposed parking lot landscaping for this project and the Porsche project will be sufficient).</b></p>
<p><b>Transformers/Utility boxes</b>  <i>(LDM 1.e from 1 through 5)</i></p>	<ul style="list-style-type: none"> <li>• A minimum of 2ft. separation between box and the plants</li> <li>• Ground cover below 4" is allowed up to pad.</li> <li>• No plant materials within 8 ft. from the doors</li> </ul>	<p>A transformer is shown on the east side of the building and is screened satisfactorily</p>	<p>Yes</p>	<p><u>Please add a note stating that the shrubs around the transformer shall be maintained at a height at least as tall as the transformer.</u></p>
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<p><b>Interior site landscaping SF</b></p>	<ul style="list-style-type: none"> <li>• Equal to entire perimeter of the building (less entrance areas) x 8 with a minimum width of 4 ft.</li> <li>• <b>xx lf x 8ft = xx SF</b></li> </ul> <p><b>East frontage: 110lf * 8 = 880sf</b></p>	<ul style="list-style-type: none"> <li>• Landscaping is only provided along the new front of the building</li> <li>• For that frontage, 982sf of landscape area is provided.</li> </ul>	<p>Yes</p>	<ol style="list-style-type: none"> <li>1. As most of the building is remaining unchanged, and it is surrounded by pavement, the lack of landscaping for those areas of the building is accepted as an existing condition.</li> <li>2. The new frontage</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				has the required landscaping.
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	Although the building will be barely visible from Haggerty Road, 62% of the frontage will be landscaped	Yes	
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements</b> (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> <li>Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level or pond bottom if it's a dry pond.</li> <li>Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> </ul>	The site does not have an above-ground detention basin so no detention basin landscaping is required or provided	NA	
<b>Phragmites Control</b> (Sec 5.5.6.C)	<ul style="list-style-type: none"> <li>Any and all populations of <i>Phragmites australis</i> and/or Japanese knotweed on the site shall be included on tree survey.</li> <li>Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	None indicated	TBD	<ol style="list-style-type: none"> <li>Please survey the site for any populations of <i>Phragmites australis</i> and/or Japanese knotweed and add plans for its complete removal if any is found.</li> <li>If none is found, please indicate that on the survey or landscape plan.</li> </ol>
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 2.i. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> <li>Provide intended dates</li> <li>Should be between March 15 and November 15.</li> </ul>	Fall 2023, by November	TBD	<u>This may be optimistic – please also indicate the earliest start of installation if it has to happen in the spring.</u>
<b>Maintenance &amp; Statement of intent</b> (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum</li> </ul>	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	one cultivation in June, July and August for the 2-year warranty period.			
<b>Plant source</b> (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 2.s.)	A method for providing the water required for plant establishment and long-term survival must be provided.	A note indicates that the landscape will be watered with an irrigation system but no plan is provided.		<ol style="list-style-type: none"> <li>1. <u>Need for final site plan</u></li> <li>2. <u>Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants</u></li> <li>3. <u>If an irrigation system will be used, it must meet the requirements listed at the end of the chart.</u></li> </ol>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
<b>Plant List (LDM 4, 11) – Include all cost estimates</b>				
Quantities and sizes	<ul style="list-style-type: none"> <li>• A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan.</li> <li>• The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used (15% species/25% genus)</li> <li>• No Prohibited Species listed on Table 11.b.(2)b may be used.</li> </ul>	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> <li>• 6 of 8 species used (75%) are native to Michigan</li> <li>• The LDM requirement for tree diversity is exceeded by 4 of the 5 species used</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• No</li> </ul>	<ol style="list-style-type: none"> <li>1. <u>Please limit the proportion of any tree species used to no more than 15% of the trees (6 trees).</u></li> <li>2. <u>By adding another species or two this could be achieved.</u></li> </ol>
Type and amount of lawn		Hydroseed lawn is proposed	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		No	NA	
Multi-stem Tree		No	NA	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp; Existing Plant Material</b> (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	No	No	<ol style="list-style-type: none"> <li><b>Please clearly indicate all trees to be removed on the tree chart.</b></li> <li>On the demolition plan it appears that the two trees in the northeast island (#1443 and #1444) are being saved but the landscape plan shows three new trees in the island. <u>Please make the plans consistent.</u></li> </ol>
<b>Landscape tree credit</b> (LDM3.b.(d))	<ul style="list-style-type: none"> <li>Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>Refer to Landscape tree Credit Chart in LDM</li> </ul>	None taken		
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	Refer to Landscape Design Manual for requirements	On plant list	Yes	
<b>Plant size credit</b> (LDM3.c.(2))	NA	None taken		

Item	Required	Proposed	Meets Code	Comments
<b>Prohibited Plants</b> (LDM 3.d)	No plants on City Invasive Species List	No prohibited plants are used	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities	No	No	1. <u>Please show any existing or proposed overhead utility lines.</u> 2. <u>Please dimension distance between new trees close to overhead lines.</u> 3. <u>If there aren't any, please add a note to this effect to the landscape plan.</u>
<b>Collected or Transplanted trees</b> (LDM 3.f)		None		
<b>Nonliving Durable Material: Mulch</b> (LDM 4)	<ul style="list-style-type: none"> <li>Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> </ul>	Included on planting detail	Yes	

**NOTES:**

- This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

**Irrigation System Requirements**

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

**TRAFFIC REVIEW**





AECOM  
 39575 Lewis Dr, Ste. 400  
 Novi  
 MI, 48377  
 USA  
 aecom.com

**Project name:**  
 JSP23-41 – Audi Service Center  
 Preliminary/Final Traffic Review

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**From:**  
 AECOM

**Date:**  
 October 9, 2023

**CC:**  
 Lindsay Bell, James Hill, Ian Hogg, Heather Zeigler,  
 Humna Anjum, Diana Shanahan, Adam Yako

# Memo

**Subject:** JSP23-41 – Audi Service Center Preliminary/Final Traffic Review

The preliminary/final site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward until the comments are addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Nowak and Fraus, is proposing changes to the existing Service Center building.
2. The development is located on the west side of Haggerty Road, north of Ten Mile Road. Ten Mile Road and Haggerty Road are under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned B-3 (General Business).
4. There are no traffic related deviations required at this time.

## TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, as the building use is not changing.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	N/A

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices. The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or

'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	-	N/A	No changes proposed.
2	Driveway Width   O <a href="#">Figure IX.3</a>	-	N/A	No changes proposed.
3	Driveway Taper   O <a href="#">Figure IX.11</a>	-	N/A	No changes proposed.
3a	Taper length			
3b	Tangent			
4	Emergency Access   O <a href="#">11-194.a.19</a>	-	N/A	No changes proposed.
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	-	N/A	No changes proposed.
6	Driveway spacing	-	N/A	No changes proposed.
6a	Same-side   O <a href="#">11.216.d.1.d</a>			
6b	Opposite side   O <a href="#">11.216.d.1.e</a>			
7	External coordination (Road agency)	-	N/A	No changes proposed.
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	-	N/A	No changes proposed.
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	-	N/A	No changes proposed.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	2 – 10' x 75'	Met	
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	-	N/A	No changes proposed.
13	Emergency Vehicle Access	Included	Met	
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	-	N/A	No changes proposed.
15	End islands   <a href="#">ZO 5.3.12</a>	-	N/A	No changes proposed.
15a	Adjacent to a travel way	Dimensions included	Met	
15b	Internal to parking bays	1 painted island proposed in service parking area	Met	City to confirm the painted island is grandfathered in as current condition exists on site.
16	Parking spaces   <a href="#">ZO 5.2.12</a>	105		See Planning review letter.
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	>15 spaces in employee/service parking area	Met	City to confirm >15 spaces without an island are grandfathered in as current condition exists on site.
18	Parking space length   <a href="#">ZO 5.3.2</a>	17.5' and 19'	Met	
19	Parking space Width   <a href="#">ZO 5.3.2</a>	9'	Met	
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	4" and 6"	Met	<b>Detail only shows 6" curb height, add 4".</b>
21	Accessible parking – number   <a href="#">ADA</a>	2	Met	
22	Accessible parking – size   <a href="#">ADA</a>	9' x 17.5' with aisle	Met	
23	Number of Van-accessible space   <a href="#">ADA</a>	2	Met	
24	Bicycle parking			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24a	Requirement   <a href="#">ZO 5.16.1</a>	2	Met	
24b	Location   <a href="#">ZO 5.16.1</a>	Provided	Met	
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	6'	Met	
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	3'	Met	
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>	Layout not provided	<b>Not Met</b>	<b>Include layout dimensions.</b>
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	Provided	Met	
26	Sidewalk ramps   <a href="#">EDM 7.4</a> & <a href="#">R-28-J</a>	Provided	Met	
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	-	N/A	
28	Cul-De-Sac   O <a href="#">Figure VIII-F</a>	N/A	-	
29	EyeBrow   O <a href="#">Figure VIII-G</a>	N/A	-	
30	Turnaround   <a href="#">ZO 5.10</a>	N/A	-	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	-Not provided for "No Parking Fire Lane" sign	<b>Partially Met</b>	<b>Include size of R8-31 sign.</b>
33	Signing table: quantities and sizes	Provided	<b>Partially Met</b>	<b>Include sign sizes in quantity table. 2 R8-31 signs labeled on plan, 3 listed in quantity table.</b>
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Included	Met	
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Included	Met	
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Included	Met	
40	Parking space striping notes	Included	<b>Partially Met</b>	<b>Include details for hatched painted island in service parking area.</b>
41	The international symbol for accessibility pavement markings   ADA	Included	Met	
42	Crosswalk pavement marking detail	-	N/A	
43	Any Other Comments:			

Memo

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PMP  
Project Manager

## FAÇADE REVIEW



October 9, 2023

**Façade Review Status: Full Compliance**

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Preliminary & Final Site Plan**  
**Audi Service Center, JSP23-40**  
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by Studio Detroit Architects, dated 9/20/23. The percentages of materials for each façade are shown on the table below. The maximum and minimum percentages required by the Façade Ordinance are shown in the right-hand column. Materials in non-compliance, if any, are highlighted in bold.

	<b>East (Front)</b>	<b>North</b>	<b>South</b>	<b>West</b>	<b>Ordinance Maximum (Minimum)</b>
Brick	50%	82%	94%	91%	100% (30%)
Flat Metal Panels (ACM)	41%	13%	0%	0%	50%
Stucco (On exposed foundation)	2%	1%	0%	0%	50%
Roof Screens	7%	4%	6%	9%	25%

This project consists of the repurposing of the former auto dealership to an auto service center. The easterly portion of the existing structure, formerly the showroom is to be demolished. The wall exposed by said demolition will be clad in Flat Metal Panels. The remainder of the facades are primarily existing brick to remain. All facades are in full compliance with the Façade Ordinance.

Dumpster Enclosure – The drawings indicate existing dumpster to remain, however no detail is provided. The dumpster enclosure should have masonry material matching the building on three sides.

**Notes to the Applicant:**

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,  
DRN & Architects PC

A handwritten signature in blue ink, appearing to read "Douglas R. Necci".

Douglas R. Necci, AIA

**FIRE REVIEW**





October 2, 2023

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Ian Hogg – Plan Review Center  
James Hill – Plan Review Center  
Heather Zeigler – Plan Review Center  
Diana Shanahan – Planning Assistant

**CITY COUNCIL**

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Erick W. Zinser

**Fire Chief**  
John B. Martin

**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**

RE: Audi Service Center

**PSP# 23-0042**  
PreApp# 23-0021

**Project Description:**

Remodel an existing structure.

**Comments:**

Meets Fire Departments Standards.

**Recommendation:**

Approved

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

**APPLICANT'S RESPONSE LETTER**



Civil Engineers  
Land Surveyors  
Land Planners

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Pontiac, MI 48342  
248.332.7931

**Wayne County**

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Detroit, MI 48226  
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**Macomb County**

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**WEBSITE**

[www.nfe-engr.com](http://www.nfe-engr.com)

**October 17, 2023**

**City of Novi**

**Community Development Department**

45175 West Ten Mile Road  
Novi, MI 48375

**Attn: Mr. James Hill  
Planner**

**Re: Audi Novi Service Shop  
Preliminary/Final Site Plan Review 1  
JSP23-40**

Dear Mr. Hill,

We are in receipt of the Pre-application Checklist dated October 5, 2023, for the referenced property. Additionally, we have reviewed the comments and recommendations noted in that letter and offer the following responses on how those items have been addressed.

We will be requesting 1 waiver for the loading zone requirement to allow two loading zone areas sized 12' by 75' (1,800 SF total) to be shared by Porsche and Audi Service Shop.

**Planning Review Comments**

1. On the revised final site plan, one parking stall will be removed from the 26-space bay of parking in favor of landscaped area.
2. The frontage of the building is 176.45'. This will be shown on plan sheet C4 on the revised final site plan. Shared loading zones for Porsche and Audi Service Shop are proposed. A waiver is requested to allow two loading zones (12'x75' each, 1,800 SF total) to be shared by Audi Service Shop and Porsche.
3. As requested, the dimensions of the bicycle parking will be provided on the revised final site plan.
4. Requested lighting calculations and note will be provided on the revised final site plan.
5. Dumpster enclosure details and distance to the building will be provided on the revised plans.
6. Economic impact statement receipt noted.
7. The proposed property lines will be shown on the revised plans.
8. If any sign improvements are proposed, then we will contact Maureen Underhill.

**Planning Review Chart**

- A cross access agreement will be a part of the lot split.
- Additional dimensions will be provided for the proposed sidewalk.

## **Engineering Review**

### **General**

1. Two benchmarks and a city benchmark are indicated on plan sheet C1.
2. The city standard details are included on the cover sheet in the sheet index and will be printed with the stamping set only.
3. The requested note has been included on plan sheet C6. The storm sewer profile indicates sand backfill for all proposed pipes within the influence of the pavement.
4. The locations of all light poles have been indicated on plan sheet C6.
5. The double stack of parking stalls east of the building will be for vehicles either waiting to be serviced or already serviced vehicles, staff will be moving these vehicles.

### **Irrigation Comments**

6. No improvements to irrigation are proposed as a part of this project.
7. If irrigation improvements are proposed, then an RPZ will be proposed.

### **Storm Sewer**

8. The proposed pipe has a minimum of 3' of cover.
9. The last structure before discharge to the Ingersrol Creek will be replaced to provide a four-foot-deep sump and oil/gas separator.

### **Paving and Grading**

10. Additional grades will be provided for all utility structures proposed to be adjusted.
11. A note will be added to the plans indicating the use of crushed limestone and prohibiting the use of crushed concrete.
12. The requested note will be added to the pavement detail.
13. The bicycle parking area will be revised to the requested section.
14. A line indicating the bumper overhang will be provided on the revised final site plan.

### **Soil Erosion and Sediment Control**

15. A SESC permit will be secured prior to construction.

### **Additional comments**

16. A response letter will be submitted with all revised submittals.

Stamping set, pre-construction and TCO requirements are noted and will be addressed as the project progresses to those milestones.

## **Landscape Review**

### **Landscape Waivers**

The plans will be revised to remove one stall from the bay of parking with 26 stalls in favor of landscaping, so that no waiver is required.

### **Ordinance Considerations**

- All trees will be included on the revised plan on the chart.
- The chart will be revised to indicate removed/saved trees.
- The landscape plan will be revised to include additional species of trees.
- No improvements to the irrigation system are proposed.

**Traffic Review**

- The curb details are provided on the City's standard details. To avoid conflicting details, we would prefer to not duplicate the detail on our sheet sets. The City's standard details will be provided with the final stamping set.
- Dimensions of the bicycle parking will be provided on the revised final site plan.
- The size of the R8-31 sign will be provided on the revised final site plan.
- The sizes of the proposed signs will be provided on the sign quantity table on plan sheet C4.

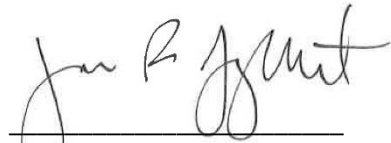
**Façade Review**

- Dumpster enclosure details will be provided on the revised plans.
- Required inspections prior to installation are noted.

Please feel free to contact us at (248) 332-7931 should you have any additional questions or comments.

Sincerely,

NOWAK & FRAUS ENGINEERS



Jason R. Longhurst, P.E.  
Principal

NOWAK & FRAUS ENGINEERS



Timothy D. Wood, P.E.  
Civil Engineer III