



MEMORANDUM

TO: MEMBERS OF THE PLANNING COMMISSION
FROM: MADELEINE DANIELS, PLANNER, COMMUNITY DEVELOPMENT
SUBJECT: JSP19-44 OAK POINTE CHURCH:
PRELIMINARY SITE PLAN EXTENSION
DATE: JANUARY 21, 2022

The subject property is located in Section 19 north of Ten Mile Road and west of Wixom Road, and is zoned RA, Residential Acreage. The applicant received Preliminary Site Plan approval to construct a 16,596 square foot addition (Phase 4A) on the east side of the existing church building, as well as an additional 11,512 square foot (Phase 4B) future expansion. Modifications of the previous Phasing Plan were also approved.

The Planning Commission approved the Preliminary Site Plan, Phasing Plan, and Stormwater Management Plan at the January 15, 2020 meeting. Planning Commission approval is valid for two years.

As stated in the attached letter, the applicant is requesting a one-year extension of Preliminary Site Plan approval, "due to all of the issues regarding COVID." This is the applicant's first site plan extension request.

The time limit for site plan approvals as set forth in subpart 6.1.6.A, may be extended by the body which approved the Preliminary Site Plan, subject to a number of conditions, included the following as provided in Section 6.1.7.F of the Zoning Ordinance:

It is the burden of the applicant to show good cause for the granting of the requested extension. The body which approved the preliminary site plan shall consider the following factors in its determination of whether good cause exists:

- i. The applicant has demonstrated that needed utility services have been delayed;
- ii. The applicant has demonstrated that technical reviews of the final site plan have raised unforeseen development problems;
- iii. The applicant has demonstrated that **unforeseen economic events or conditions have caused delays;**
- iv. The approved plan to be extended is in compliance with all current site plan criteria and current ordinances, laws, codes and regulations;
- v. There is no pending zoning ordinance which would substantially change the requirements of the approved plan.

If approved by the Planning Commission, the Preliminary Site Plan approval will be effective until January 14, 2023. The Zoning Ordinance allows for up to three, one-year extensions of Preliminary Site Plan Approval.

At this time, the Planning Staff is not aware of any changes to the Ordinances, or surrounding land uses, which would adversely affect the approval of the requested extension for one year. Approval of the extension of Preliminary Site Plan is **recommended.**

Attached for reference are the following:

1. Letter of request for extension dated January 12, 2022 from Daryl Rice.
2. A copy of approved Preliminary Site Plan.
3. Action summary from January 15, 2020 Planning Commission meeting.
4. Minutes from January 15, 2020 Planning Commission meeting.

APPLICANT LETTER OF EXTENSION REQUEST

January 12, 2022

City of Novi Community Development
ATTN:Madeleine Daniels
45715 Ten Mile Rd.
Novi, Michigan 48375

Regarding : One Year Construction Extension
Oak Pointe Church
50200West 10 Mile Rd.

Dear Madeleine

Please allow this letter to serve as an extension for the construction of the building expansion project, located at 50200W. 10 Mile Rd, for one additional year.

This request is made due to all of the issues regarding COVID.

Oak Pointe Church continues to look forward in moving this project forward in 2022 as we continue to serve the Novi Community. Please call if you have additional questions to facilitate this request.

Daryl Rice 
Pastor of Business and Operations.

SITE PLAN

OAK POINTE CHURCH NOVI - ADDITION

50200 W. TEN MILE ROAD, NOVI MI 48374

ARCHITECT:

S3ARCHITECTURE
33610 GRAND RIVER AVE
FARMINGTON, MI 48335
248.427.0007

CIVIL ENGINEER:

FLEIS & VANDENBRINK
27725 STANSBURY BLVD
SUITE 195
FARMINGTON HILLS, MI 48334

INDEX OF DRAWINGS			
NO.	SHEET TITLE	PRELIM/ISS	PRELIM/ISS
ARCHITECTURAL DRAWINGS			
SPW1	TITLE SHEET	●	●
SPW2	ARCHITECTURE SITE PLAN	●	●
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SPW3B	BUILDING ELEVATIONS-PHASE B	●	●
SPW4	LANDSCAPE PLAN	●	●
SPW5	PAVING PLAN	●	●
CIVIL DRAWINGS			
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C2	SEWER LAYOUT PLAN	●	●
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C5	SOIL EROSION & SEDIMENT CONTROL PLAN	●	●
C6	OKLAND COUNTY SESS DETAILS	●	●
PHOTOMETRIC PLAN			
● SHEET ISSUED			
○ SHEET ISSUED FOR REFERENCE ONLY			



ISSUED	DATE
SPA	10.04.19
PRELIMINARY SPA	11.27.19



33610 grand river ave
farmington, mi 48335
s3architecture.com
484.427.0007

OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI MI 48374



Date 07.12.19

Scale AS NOTED

Drawn by KT

Approved by SS

Job 1820

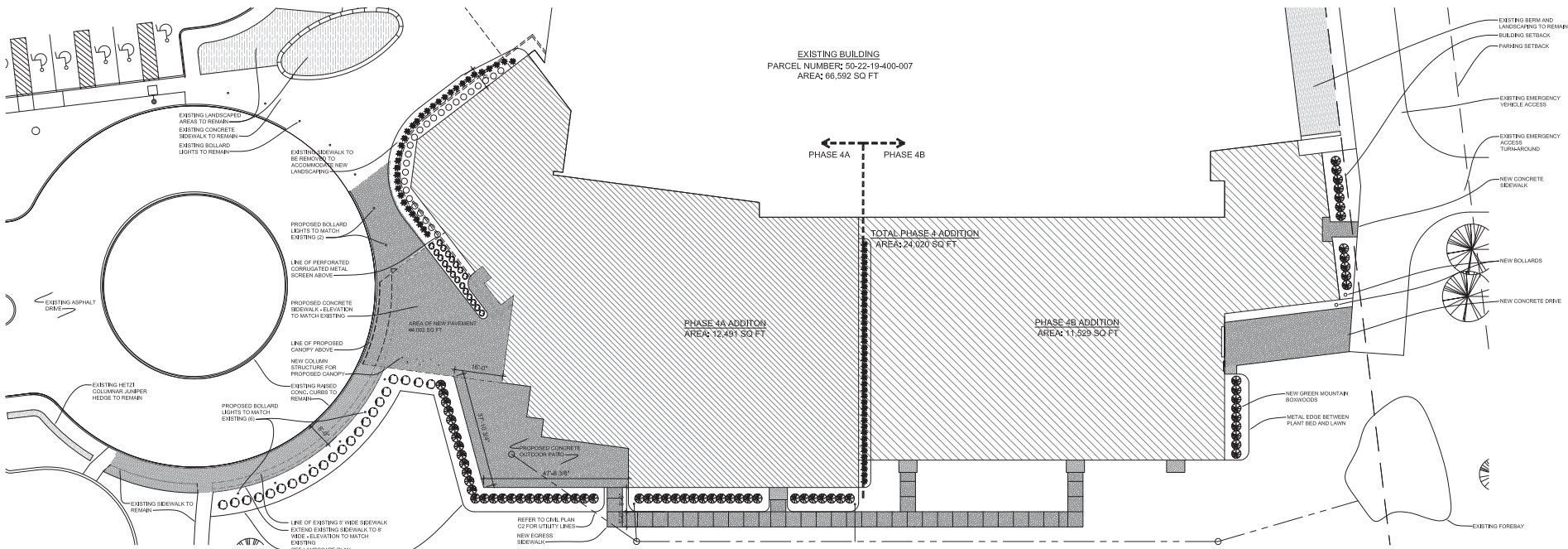
Sheet Name

PROPOSED

SITE PLAN

Sheet No.

SPA-1



EXISTING BUILDING
 PARCEL NUMBER: 50-22-19-400-007
 AREA: 66,592 SQ FT

PHASE 4A PHASE 4B

TOTAL PHASE 4 ADDITION
 AREA: 24,020 SQ FT

PHASE 4A ADDITION
 AREA: 12,491 SQ FT

PHASE 4B ADDITION
 AREA: 11,529 SQ FT

EXISTING LANDSCAPED AREAS TO REMAIN
 EXISTING CONCRETE SIDEWALK TO REMAIN
 EXISTING BOLLARD LIGHTS TO REMAIN
 EXISTING SIDEWALK TO BE REMOVED TO ACCOMMODATE NEW LANDSCAPING
 PROPOSED BOLLARD LIGHTS TO MATCH EXISTING (2)
 LINE OF PERFORATED CORRUGATED METAL SCREEN ABOVE
 PROPOSED CONCRETE SIDEWALK - ELEVATION TO MATCH EXISTING
 LINE OF PROPOSED CANOPY ABOVE
 NEW COLUMN STRUCTURE FOR PROPOSED CANOPY
 EXISTING RANDED CONC. CURBS TO REMAIN
 PROPOSED BOLLARD LIGHTS TO MATCH EXISTING (6)
 LINE OF EXISTING 8" WIDE SIDEWALK EXTEND EXISTING SIDEWALK TO 8" WIDE - ELEVATION TO MATCH EXISTING
 SEE LANDSCAPE PLAN SHEET SPA-001 FOR ALL LANDSCAPE INFORMATION

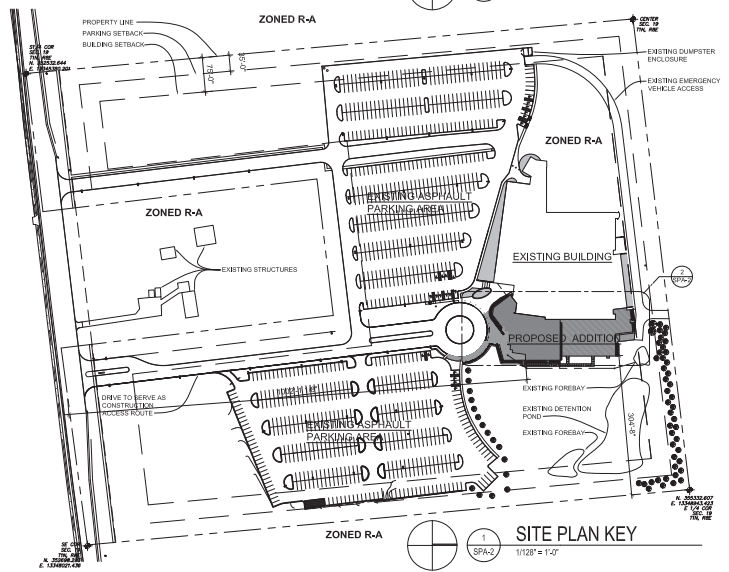
EXISTING BERM AND LANDSCAPING TO REMAIN
 BUILDING SETBACK
 PARKING SETBACK
 EXISTING EMERGENCY VEHICLE ACCESS
 EXISTING EMERGENCY ACCESS TURNAROUND
 NEW CONCRETE SIDEWALK
 NEW BOLLARDS
 NEW CONCRETE DRIVE
 NEW GREEN MOUNTAIN BOXWOODS
 METAL EDGE BETWEEN PLANT BED AND LAWN
 EXISTING FOREBAY

LEGAL DESCRIPTION
 PART OF THE S. E. 14 SECTION 19, T. 1 N., R. 8 E., NOVY TOWNSHIP, DANLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE S.E. CORNER OF SAID SECTION 19; THENCE S. 89° 24' 24" W., ALONG THE CENTERLINE OF TERVILLE ROAD AND SOUTH LINE OF SAID SECTION, 1,316.2 FT., TO THE POINT OF BEGINNING; THENCE N. 89° 24' 24" W., ALONG SAID LINE 427.0 FT.; THENCE N. 00° 26' 26" SLOOBY L. THENCE S. 89° 24' 24" W., 300.0 FT.; THENCE S. 60° 00' 00" E., 250.0 FT., TO THE SOUTH LINE OF SECTION; THENCE S. 89° 24' 24" W., ALONG SAID LINE 303.5 FT.; THENCE N. 00° 26' 48" E., 1,320.19 FT.; THENCE N. 89° 24' 24" E., 104.44 FT.; THENCE S. 00° 58' 48" W., 1,327.19 FT. TO POINT OF BEGINNING.
 THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 1,186,138 SQUARE FEET OR 27.323 ACRES OF LAND.

ECONOMIC IMPACT
 TOTAL CONSTRUCTION COST: APPROX. \$6,000,000



PROPOSED SITE PLAN
 1/128" = 1'-0"



SITE PLAN KEY
 1/128" = 1'-0"

ISSUED	DATE
SPA	10.04.19
PRELIMINARY SPA	11.27.19

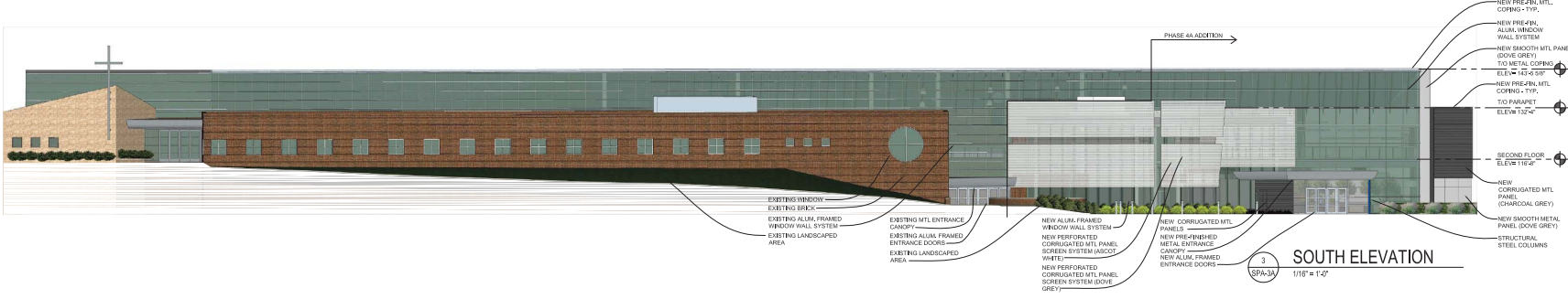


3810 grand ave
 farmington hills 48335
 s3architecture.com
 484.643.0007

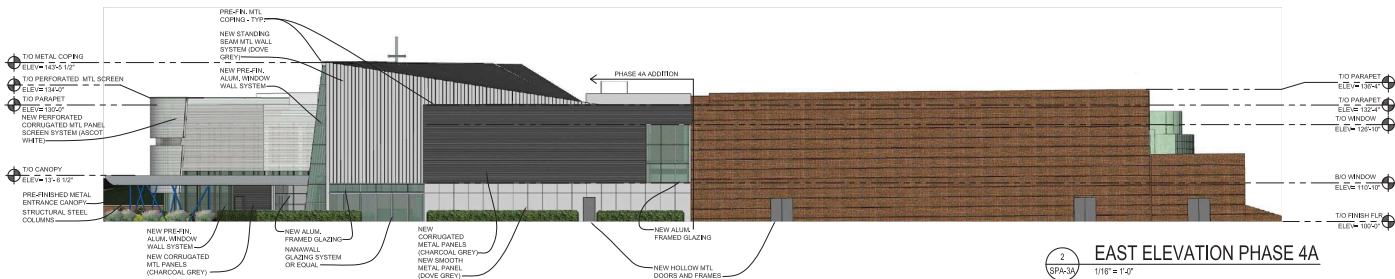
OAK POINTE CHURCH NOVI - ADDITION
 50200 W. TEN MILE ROAD, NOVI MI 48374



Date: 07.12.19
 Scale: AS NOTED
 Drawn by: KT
 Approved by: SS
 Job: 1820
 Sheet Name: PROPOSED SITE PLAN
 Sheet No.: SPA-2



SOUTH ELEVATION
1/18" = 1'-0"



EAST ELEVATION PHASE 4A
1/18" = 1'-0"



NORTH ELEVATION PHASE 4A
1/18" = 1'-0"

OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI, MI 48374



Date: 9.21.18
Scale: AS NOTED
Drawn by: KT
Approved by: SS
Job: 1820
Sheet Name: BUILDING ELEVATIONS PHASE 4A
Sheet No.: SPA-3A

EAST ELEVATION MATERIAL CALCULATIONS - SECTION 5.15 OF CITY OF NOVI CODE OF ORDINANCES				
MATERIAL	PERCENT (%) PROPOSED	PERCENT (%) ALLOWED	CONFORMS?	REMARKS
BRICK	4,950 SF = 53%	100%	YES	-
CMU	27 SF = 0.3%	10%	YES	-
SMOOTH METAL PANEL	800 SF = 8%	50%	YES	-
STANDING SEAM METAL PANEL	1,060 SF = 11.5%	25%	YES	-
GLAZING	810 SF	-	-	SO FT EXCLUDED FROM TOTAL SQ FT
PERFORATED CORRUGATED MTL PANEL	848 SF = 9%	-	-	MAT. USE BASED ON CITY PLANNING APPROVAL
CORRUGATED MTL PANEL	1443 SF = 15.5%	0%	-	MAT. USE BASED ON CITY PLANNING APPROVAL
SMOOTH MTL PANEL	122 SF = 1.2%	50%	YES	-

NOTES: EAST ELEVATION TOTAL FACADE AREA: 9,250 SF

SOUTH ELEVATION MATERIAL CALCULATIONS - SECTION 5.15 OF CITY OF NOVI CODE OF ORDINANCES				
MATERIAL	PERCENT (%) PROPOSED	PERCENT (%) ALLOWED	CONFORMS?	REMARKS
BRICK	5,235 SF = 56%	100%	YES	-
CMU	120 SF = 1%	10%	YES	-
SMOOTH METAL PANEL	384 SF = 4%	50%	YES	-
STANDING SEAM METAL PANEL	-	25%	YES	-
GLAZING	6,115 SF	-	-	SO FT EXCLUDED FROM TOTAL SQ FT
PERFORATED CORRUGATED MTL PANEL	2,166 SF = 23%	-	-	MAT. USE BASED ON CITY PLANNING APPROVAL
CORRUGATED MTL PANEL	283 SF = 3%	0%	-	MAT. USE BASED ON CITY PLANNING APPROVAL

NOTES: SOUTH ELEVATION TOTAL FACADE AREA: 9,341 SF

NORTH ELEVATION MATERIAL CALCULATIONS - SECTION 5.15 OF CITY OF NOVI CODE OF ORDINANCES				
MATERIAL	PERCENT (%) PROPOSED	PERCENT (%) ALLOWED	CONFORMS?	REMARKS
BRICK	9,281 SF = 81%	100%	YES	-
STONE	150 SF = 0.9%	50%	YES	-
SMOOTH METAL PANEL	627.5 SF = 5.5%	50%	YES	-
GLAZING	1,083 SF	-	-	SO FT EXCLUDED FROM TOTAL SQ FT
EPS	2,684 SF = 11.5%	25%	YES	-
CORRUGATED MTL PANEL	47 SF = 0.3%	0%	-	MAT. USE BASED ON CITY PLANNING APPROVAL
SMOOTH MTL PANEL	1,099 SF = 9.3%	50%	YES	-

NOTES: NORTH ELEVATION TOTAL FACADE AREA: 15,090 SF

ISSUED	DATE
SPA	10.04.19
PRELIMINARY SPA	11.27.19



3883 grand ave
farmington, mi 48335
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484.454.0007

OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI, MI 48374



Date: 9.21.18

Scale: AS NOTED

Drawn by: KT

Approved by: SS

Job: 1820

Sheet Name: BUILDING ELEVATIONS PHASE 4B

Sheet No. SPA-3B



2 EAST ELEVATION PHASE 4B
1/16" = 1'-0"



1 NORTH ELEVATION PHASE 4B
1/16" = 1'-0"

NOTE: NO CHANGES TO SOUTH ELEVATION IN PHASE B

MATERIAL	PERCENT (%) PROPOSED	PERCENT (%) ALLOWED	CONFORMS?	REMARKS
BRICK	5,360 SF = 63%	100%	YES	-
CONC.	27 SF = 0.2%	10%	YES	-
SMOOTH METAL PANEL	800 SF = 9%	50%	YES	-
STANDING SEAM METAL PANEL	1,060 SF = 10.6%	25%	YES	-
GLAZING	870 SF	-	YES	SO FT EXCLUDED FROM TOTAL SQ FT
PERFORATED CORRUGATED MTL PANEL	848 SF = 8.4%	-	-	MAT. USE BASED ON CITY PLANNING APPROVAL
CORRUGATED MTL PANEL	1443 SF = 14.3%	0%	-	MAT. USE BASED ON CITY PLANNING APPROVAL
SMOOTH MTL PANEL	148 SF = 0.1%	50%	YES	-

NOTES: EAST ELEVATION FACADE AREA: 10,028 SF

MATERIAL	PERCENT (%) PROPOSED	PERCENT (%) ALLOWED	CONFORMS?	REMARKS
BRICK	12,276 SF = 78.9%	100%	YES	-
STONE	150 SF = 0.9%	10%	YES	-
SMOOTH METAL PANEL	827.5 SF = 5.3%	-	-	MAT. USE BASED ON CITY PLANNING APPROVAL
GLAZING	1,080 SF	-	YES	SO FT EXCLUDED FROM TOTAL SQ FT
CORRUGATED MTL PANEL	47 SF = 0.3%	0%	-	MAT. USE BASED ON CITY PLANNING APPROVAL
SMOOTH MTL PANEL	1,178 SF = 7.6%	50%	YES	-

NORTH ELEVATION TEMPORARY WALL MATERIAL CALCULATION

EFS	2,848 SF = 17.5%	25%	YES	-
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NOTES: NORTH ELEVATION TOTAL FACADE AREA: 15,560 SF

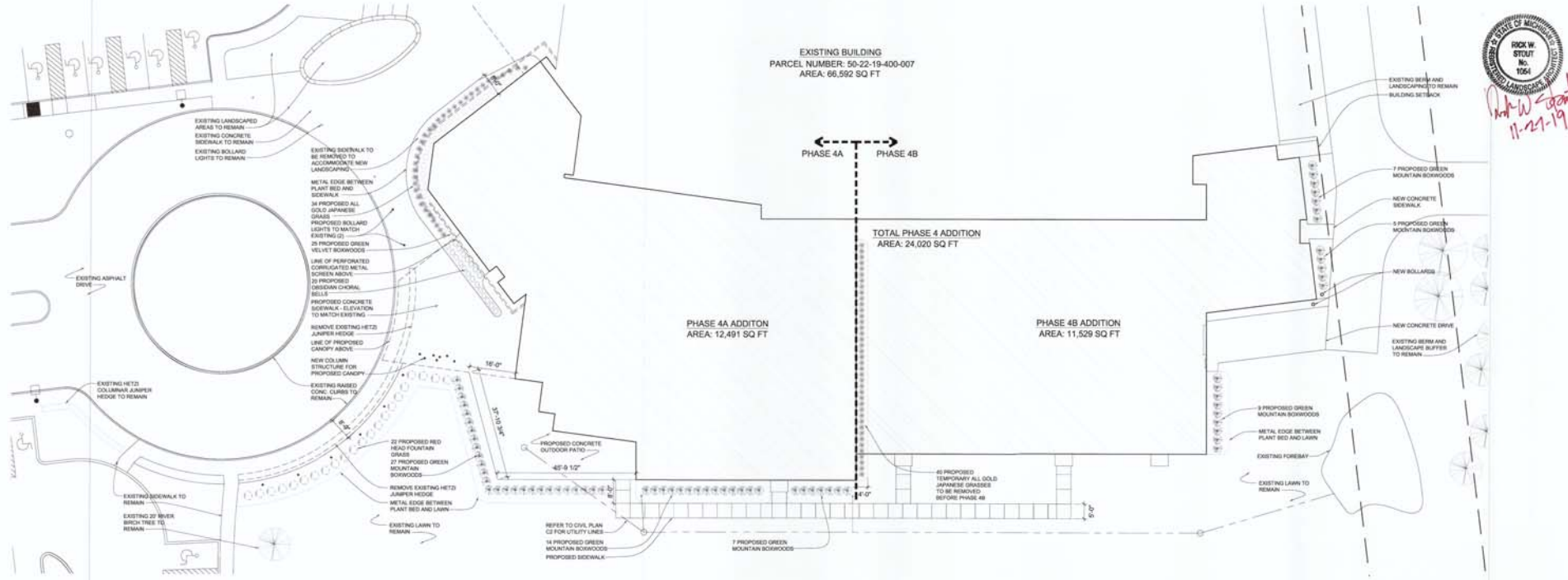
ISSUED DATE	SCALE
SPA 10.04.19	AS NOTED
PRELIMINARY SPA 11.27.19	

S³ architecture

32619 grand river
Beverly, MI 48303
s3architecture.com
MI_2814273027

OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI MI 48374

Date	07.12.19
Scale	AS NOTED
Drawn by	KT
Approved by	SS
Job	1820
Sheet Name	PROPOSED LANDSCAPE PLAN
Sheet No.	SPA-4



SYMBOL	QTY. (PHASE A)	QTY. (PHASE B)	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	MULCH	REMARKS
1	22	-	PENNISE FLM ALCOPECUROIDES	3 GAL	48"	POTTED	2" HARDWOOD MULCH BED	-
2	48	21	RED HEAD FOUNTAIN GRASS	5 GAL	24"	POTTED	2" HARDWOOD MULCH BED	TRIM TO CONT. HEDGE @ 42" HT.
3	74	-	BULKUS GREEN MOUNTAIN BOXWOOD	1 GAL	24"	POTTED	2" HARDWOOD MULCH BED	-
4	25	-	HAKONECHLOA MACRA	1 GAL	24"	POTTED	2" HARDWOOD MULCH BED	-
5	25	-	ALL GOLD JAPANESE GRASS	1 GAL	36"	POTTED	2" HARDWOOD MULCH BED	TRIM TO CONT. BOX HEDGE @ 24" HT.
6	20	-	BULKUS GREEN VELVET BOXWOOD	1 GAL	36"	POTTED	2" HARDWOOD MULCH BED	-
7	-	-	HEUCHERA OBBIDIAN CORAL BELLS	1 GAL	18"	POTTED	2" HARDWOOD MULCH BED	-

- NOTE: 1. ALL PLANTS SHALL BE MAINTAINED IN GOOD CONDITION FOR A MINIMUM OF 2 YEARS AS REQUIRED BY THE CITY OF NOVI LANDSCAPE DESIGN MANUAL.
2. ALL PLANTS TO BE UP-MIDWEST FOREAT LAKES GROWN AS REQUIRED BY THE CITY OF NOVI LANDSCAPE DESIGN MANUAL.
3. MULCH DARK NATURAL COLOR, FINELY SHREDDED HARDWOOD MULCH, 2" DEEP.
4. PLANTING PERIOD SHALL BE: APRIL 1ST-NOVEMBER 15TH ANTICIPATED 2020
5. ANY AND ALL DEVIATIONS OR SUBSTITUTIONS SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION
6. SEE SURVEY/CIVIL PLANS FOR SOIL INFORMATION

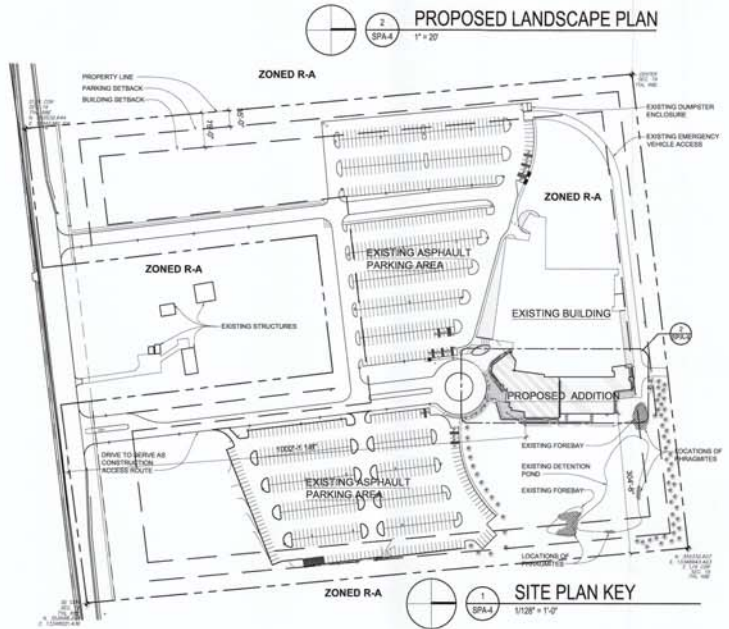
	COST PER UNIT	TOTAL COST PHASE A	TOTAL COST PHASE B
RED HEAD FOUNTAIN GRASS	\$15	\$300	-
BULKUS GREEN MOUNTAIN BOXWOOD	\$50	\$2,400	\$1,050
ALL GOLD JAPANESE GRASS	\$15	\$1,110	-
BULKUS GREEN VELVET BOXWOOD	\$50	\$1,250	-
HEUCHERA OBBIDIAN CORAL BELLS	\$15	\$300	-
MULCH	\$70 PER YARD	\$1,893	\$630
METAL EDGING	\$7.5 PER LINEAR FOOT	\$3,090 (112)	\$863 (115)
TOTAL COST OF LANDSCAPING		\$10,173	\$2,543

NOTE: 1. PLANT UNIT PRICES RETRIEVED FROM CITY OF NOVI FINAL SITE PLAN CHECKLIST GUIDE

LEGAL DESCRIPTION
PART OF THE S. E. 1/4 SECTION 18, T. 1 N., R. 8 E., NOVI TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE S. E. CORNER OF SAID SECTION 18, THENCE S. 89° 24' W. ALONG THE CENTERLINE OF TEN MILE ROAD AND SOUTH LINE OF SAID SECTION 18, 137.1 FT. TO THE POINT OF BEGINNING; THENCE S. 89° 24' W. ALONG SAID LINE OF SAID SECTION 18, 437.78 FT.; THENCE N. 02° 36' W. 205.50 FT.; THENCE S. 89° 24' W. 302.9 FT.; THENCE S. 07° 30' E. 393.50 FT. TO THE SOUTH LINE OF SECTION, THENCE S. 89° 24' W. ALONG SAID LINE 304.6 FT.; THENCE N. 02° 36' W. 137.18 FT.; THENCE N. 86° 24' E., 1.0444 FT.; THENCE S. 89° 24' W. 1.32719 FT. TO POINT OF BEGINNING.

OWNER INFORMATION:
OWNER: OAK POINTE CHURCH
ADDRESS: 6200 W. 10 MILE RD NOVA, MI 48374
PHONE: (248) 912-3263

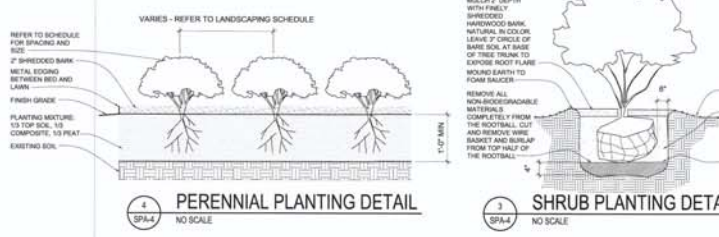
PHRAGMITES CONTROL:
APPROXIMATELY 4,300-5,000 SQ FT OF PHRAGMITES WERE FOUND ON SITE NEAR THE FOREBAYS AND DETENTION BASIN. THE POPULATIONS OF PHRAGMITES WILL BE CHEMICALLY TREATED PER SOIL SUBLETHAL AND REQUIREMENTS PRIOR TO CONSTRUCTION.

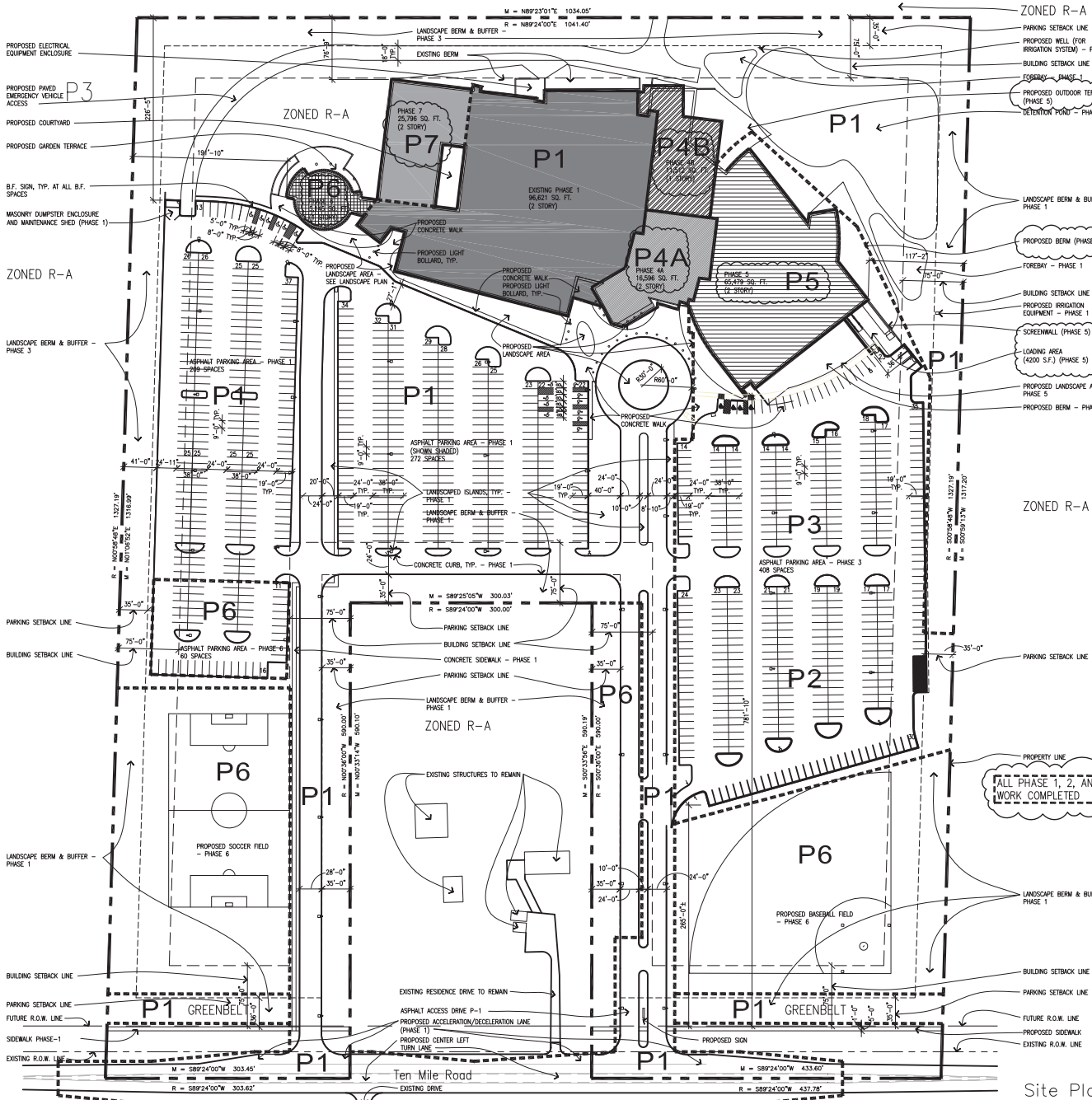


BUILDING FOUNDATION LANDSCAPE REQUIREMENTS PHASE A	BUILDING FOUNDATION LANDSCAPE REQUIREMENTS PHASE B	FRONT FACADE GREEN SPACE SECTION 5.15 OF CITY OF NOVI CODE OF ORDINANCES
REQD. 2,238 SQ. FT.	REQD. 3,048 SQ. FT.	REQD. 60%
PROPOSED 2,419 SQ. FT.	PROPOSED 3,320 SQ. FT.	PROPOSED 76%

NOTE: 1. PROPOSED ADDITION PERIMETER NOT INCLUDING DOOR OPENINGS = 292 SQ FT
2. AREA CALCULATION INCLUDES LANDSCAPING ADJACENT TO PATIO

NOTE: 1. CALCULATION INCLUDES SOUTH FACADE OF EXISTING AND PROPOSED BUILDING





ZONING ORDINANCE COMPARISON CHART:

OWNER:
OAK POINTE CHURCH
50200 W 10 MILE RD
NOVI, MI 48374

EXISTING ZONING CLASSIFICATION:
R-4

PROPOSED LAND USE:
CHURCH
(SPECIAL LAND USE)

SITE AREA:
1,186,139 S.F. (27.23 ACRES)

BUILDING SQUARE FOOTAGE:

PHASE 1:	96,821 SQ. FT.
PHASE 2:	0 SQ. FT.
PHASE 3:	0 SQ. FT.
PHASE 4:	28,100 SQ. FT.
PHASE 5:	69,479 SQ. FT.
PHASE 6:	5,145 SQ. FT.
PHASE 7:	25,796 SQ. FT.
TOTAL:	206,362 SQ. FT.

MAXIMUM LOT AREA COVERED BY ALL BUILDINGS:
ALLOWABLE: 25%
PROPOSED: 143,702 = 1,186,139 = 12.1%

SETBACKS:
REQUIRED FRONT (MINIMUM): 75'-0" BUILDING (35'-0" PARKING)
PROPOSED FRONT: 781'-10" BUILDING (285'-0" PARKING)
REQUIRED SIDE (MINIMUM): 75'-0" BUILDING (35'-0" PARKING)
PROPOSED SIDE: 117'-2" BUILDING (35'-0" PARKING)
REQUIRED REAR (MINIMUM): 75'-0" BUILDING (35'-0" PARKING)
PROPOSED REAR: 76'-9" BUILDING (226'-5" PARKING)

BUILDING HEIGHT (MAXIMUM ALLOWABLE): 35'-0" ABOVE ESTABLISHED GRADE
ALL BUILDING HEIGHTS ARE FROM ESTABLISHED GRADE AND DO NOT INCLUDE AUDITORIUM UNLESS NOTED OTHERWISE

BUILDING HEIGHT NORTH (PROPOSED): 35'-0"
BUILDING HEIGHT SOUTH (PROPOSED): 34'-4"
BUILDING HEIGHT WEST (PROPOSED): 27'-5"
BUILDING HEIGHT EAST (PROPOSED): 39'-1" (AUDITORIUM W/O FLYLOFT)
47'-5" (AUDITORIUM WITH FLYLOFT)

LOT SIZE (MINIMUM): 43,560 S.F.
LOT SIZE (EXISTING): 1,186,139 S.F.

LOT WIDTH (MINIMUM): 200'
LOT WIDTH (EXISTING): 737'

REQUIRED PARKING (CARS) PER ZONING (COMPLETE BUILDING - ALL PHASES):
CHURCH: 1/3 SEATS x 2850 = 950 CAR SPACES
TOTAL REQUIRED PARKING: 950 CAR SPACES

TOTAL PROPOSED PARKING (CARS) (COMPLETE BUILDING - ALL PHASES):
969 (OF WHICH 20 ARE BARRIER FREE)

PARKING CALCULATION - EACH PHASE:

PHASE 1:
REQUIRED: CHURCH - 1/3 SEATS x 1200 SEATS = 400 CAR SPACES
PROPOSED: 480 (OF WHICH 16 ARE BARRIER FREE)

PHASE 2:
REQUIRED: CHURCH - 1/3 SEATS x 1200 SEATS = 400 CAR SPACES
PROPOSED: 552 (OF WHICH 16 ARE BARRIER FREE)

PHASE 3:
REQUIRED: CHURCH - 1/3 SEATS x 2850 SEATS = 950 CAR SPACES
PROPOSED: 888 (OF WHICH 20 ARE BARRIER FREE)

PHASE 4:
REQUIRED: CHURCH - 1/3 SEATS x 2850 SEATS = 400 CAR SPACES
PROPOSED: 888 (OF WHICH 20 ARE BARRIER FREE)

PHASE 5:
REQUIRED: CHURCH - 1/3 SEATS x 1200 SEATS = 400 CAR SPACES
PROPOSED: 888 (OF WHICH 20 ARE BARRIER FREE)

PHASE 6:
REQUIRED: CHURCH - 1/3 SEATS x 2850 SEATS = 950 CAR SPACES
PROPOSED: 564 (OF WHICH 20 ARE BARRIER FREE)

PARKING LOT DIMENSIONS:
PARKING SPACE SIZE (FOR 90 DEGREE PARKING): 9' x 19'-0"
PARKING AISLE WIDTH: 24'

WETLANDS:
NONE PRESENT ON SITE

WOODLANDS:
NONE PRESENT ON SITE

FIRE SUPPRESSION:
BUILDING TO BE FULLY SUPPRESSED USING PUBLIC WATER SUPPLY.

VARIANCES:
BUILDING HEIGHT EXCEEDS 35'-0" ABOVE GRADE AT FLYLOFT AND AUDITORIUM AT NORTH, SOUTH AND EAST ELEVATIONS
MAXIMUM DISTANCE ABOVE 35'-0" IS: 4'-1" AT AUDITORIUM
12'-9" AT FLYLOFT

ALL PARKING HAS BEEN PROVIDED IN THE FRONT YARD DUE TO SITE RESTRICTIONS.



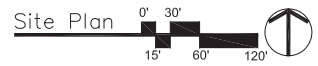
ISSUED	DATE
PRELIMINARY SPA	11.27.19

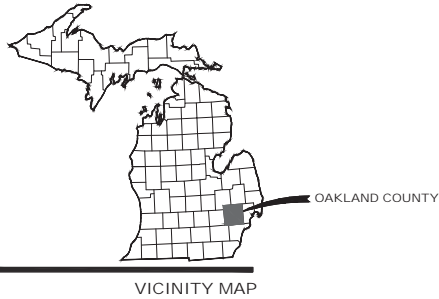


OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI, MI 48374



Date: 11.01.19
Scale: AS NOTED
Drawn by: KT
Approved by: SS
Job: 1820
Sheet Name: PHASING PLAN - 2019 UPDATE
Sheet No.: SPA - 5





CITY OF NOVI OAKLAND COUNTY, MICHIGAN

OAK POINTE CHURCH ADDITION NOVEMBER, 2019



LOCATION MAP

INDEX OF DRAWINGS

DESCRIPTION	SHEET NUMBER
COVER SHEET	CS
DEMOLITION PLAN	C1
SITE LAYOUT, GRADING & UTILITY PLAN	C2
STORM WATER MANAGEMENT CALCULATIONS	C3
SOIL EROSION & SEDIMENT CONTROL PLAN	C4
CITY PAVING & STORM SEWER DETAILS	DT1-DT4
OAKLAND COUNTY SESC DETAILS	DT5

ENGINEER:
FLEIS & VÄNDENBRINK ENGINEERING
27725 STANSBURY BLVD., SUITE 195
FARMINGTON HILLS, MICHIGAN 48334

ARCHITECT:
S3 ARCHITECTURE
33610 GRAND RIVER
FARMINGTON, MICHIGAN 48335

ISSUED	DATE
APP SUBMIT	10.04.19
PRELIMINARY	11.27.19

S³
architecture
33610 grand river
farmington, mi 48335
313architect.com
tel 248.427.0007

OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI, MI 48374

27725 Stansbury Blvd, Suite #195
Farmington Hills, MI 48334
Date 09.27.2019
Scale NONE
Drawn by AWC
Approved by YD
Job 841340
Sheet Name
COVER SHEET
Sheet No.
CS





NORTH



NOTE: THE VERTICAL DATUM USED ON THESE PLANS WAS PROVIDED BY ARCHITECT.

FLOODPLAIN NOTE: ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (PANEL #26125C0608F - DATED SEPT 29, 2006), ZONE X - AREA OF MINIMAL FLOOD HAZARD.

REMOVAL LEGEND

SYMBOL	DESCRIPTION
XXXXX	CURB OR UTILITY TO BE REMOVED
	PAVEMENT TO BE REMOVED

GENERAL NOTES:

1. THE LOCATION OF UTILITIES DEPICTED ON THIS DRAWING WERE DETERMINED FROM ON-SITE OBSERVATION AND AVAILABLE RECORDS AS PROVIDED BY THE UTILITY OWNERS. FLEIS & VANDENBRINK ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE LOCATIONS AS SHOWN AND DOES NOT MAKE ANY ASSURANCES THAT THE UTILITY OWNERS HAVE PROVIDED US ALL RELEVANT INFORMATION PERTAINING TO THIS SITE.
2. FLEIS & VANDENBRINK ENGINEERING, INC. WAS NOT ASKED TO REVIEW THIS PROJECT FOR ENVIRONMENTAL CONCERNS.
3. FLEIS & VANDENBRINK ENGINEERING, INC. HAS NOT REVIEWED THIS PROJECT FOR SOIL CONTENT. WE SUGGEST THAT THE OWNER CONTACT A SOILS ENGINEER WITH REGARD TO THE SOIL CONDITIONS. SOIL BEARING SUPPORT FOR THE FOUNDATION AND SLAB WORK SHALL BE TESTED BY AN INDEPENDENT TESTING SERVICE. LICENSED TO PROVIDE SUCH SERVICE PRIOR TO BEGINNING SUCH FOUNDATION AND SLAB WORK. TESTING IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. TOPOGRAPHIC AND/OR BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURES LOCATIONS WAS PROVIDED BY OTHERS TO THE SELLER/OWNER. FLEIS & VANDENBRINK ENGINEERING, INC. WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN OMISSIONS RESULTING FROM SURVEY INACCURACIES.
5. THE PROPERTY DESCRIPTION AND EASEMENTS DEPICTED ON THIS SITE PLAN WERE PROVIDED BY THE OWNER AND AVAILABLE RECORDS.

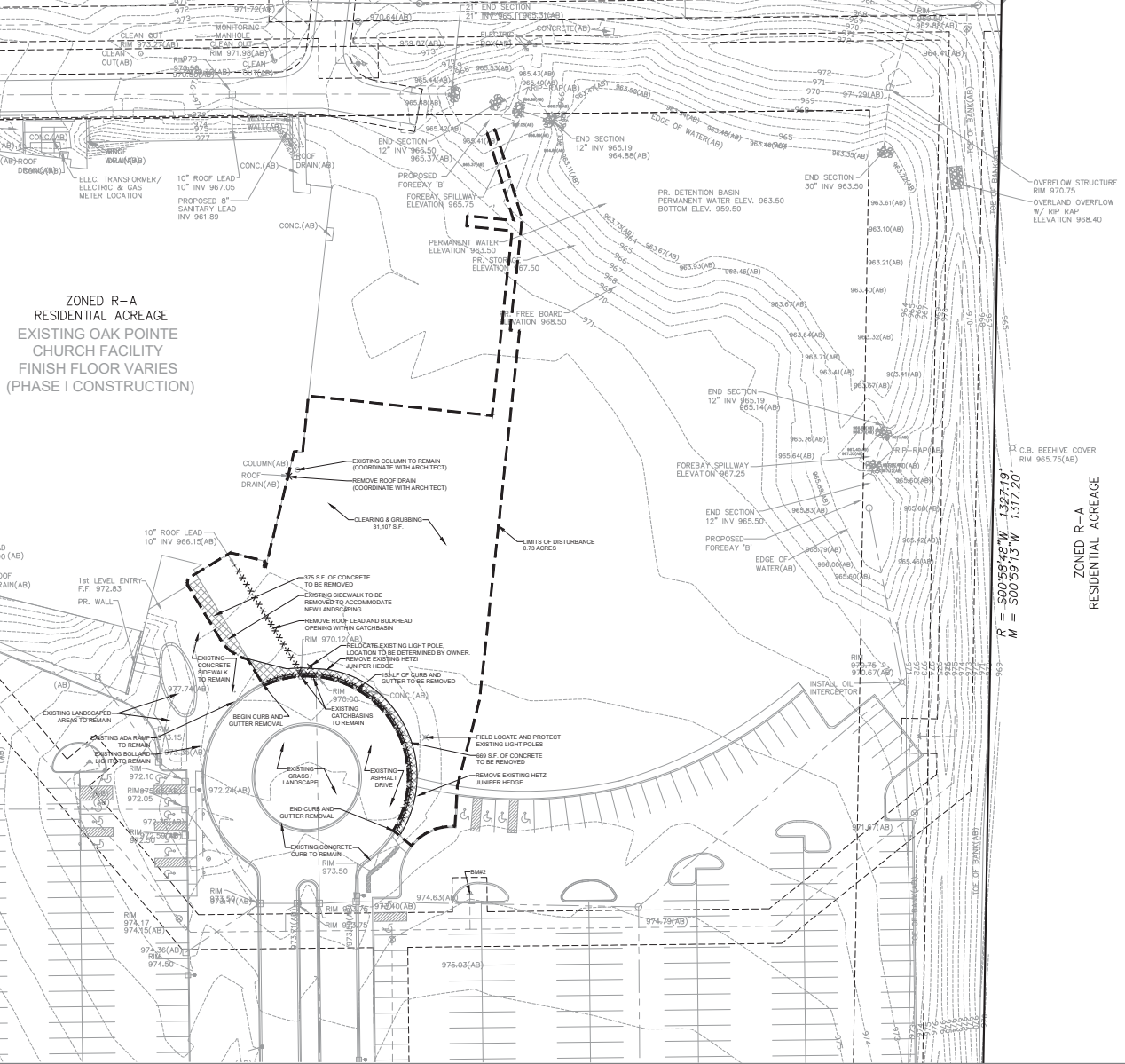
DEMOLITION NOTES:

1. REMOVE CONCRETE PAVEMENT AND CONCRETE CURB AND GUTTER TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING CONCRETE. SAWCUT FULL DEPTH TO NEAREST JOINT WHERE SHOWN. REMOVE LIMITS TO BE FIELD VERIFIED BY ENGINEER.
2. CLEAR AND GRUB TO THE LIMITS SHOWN, INCLUDING REMOVAL OF SIGNS, POST, FOOTINGS, GRAVEL, BRUSH, SHRUBS, GRASS, AND TREES NOT INDICATED FOR PROTECTION, INCLUDING ROOTS, STRIP TOPSOIL AND STOOPPILE ON SITE IN DESIGNATED LOCATION.
3. PRIOR TO BEGINNING ANY OF THIS WORK THE CONTRACTOR SHALL NOTIFY THE CITY OF NOVI DPW DEPARTMENT AND FILL OUT THE NECESSARY FORMS OR PERMITS.
4. THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES AND OTHER SITE FEATURES PRIOR TO DEMOLITION, AND REPORT ANY DISCREPANCIES. BEFORE CONSTRUCTION OF ANY SUBSURFACE WORK CONTACT MISS DIG FOR CORROBORATION OF UTILITY LOCATIONS AND EXERCISE CAUTION. TELECOMMUNICATIONS, ELECTRIC, SECURITY, IRRIGATION AND OTHER UNDERGROUND UTILITIES ARE SHOWN BASED ON OBSERVABLE EVIDENCE AND RECORDS PROVIDED BY ARCHITECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES.
5. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MISHA REGULATIONS INsofar AS THEY APPLY TO THE REQUIRED WORK. A SOIL REMEDIATION CONTROL PERMIT WILL BE REQUIRED PRIOR TO DEMOLITION.
6. ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED WITHOUT PROPER PERMISSION. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING IN ITS ENTIRETY INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
8. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO NINETY-FIVE PERCENT (95%) OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
9. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION WITH ANY PROTECTIVE DEVICES AND BARRIERS REMOVED. ALL EXPOSED AREAS SHALL BE SUITABLY TOPSOILED, SEEDED AND MULCHED.

ZONED R-A RESIDENTIAL ACREAGE

$$M = N89^{\circ}23'01''E \quad 1034.05'$$

$$R = N89^{\circ}24'00''E \quad 1041.40'$$



ISSUED	DATE
APP SUBMIT	10.04.19
PRELIMINARY	11.27.19

S3 architecture

33630 Grand Ave Farmington, MI 48335 Sanderlance.com Tel: 248.427.0007

OAK POINTE CHURCH NOVI - ADDITION

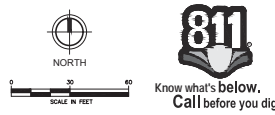
50200 W. TEN MILE ROAD, NOVI, MI 48374



27725 Stanley Blvd, Suite 1111 Farmington Hills, MI 48334
 Date: 09.27.2019
 Scale: AS SHOWN
 Drawn by: AWC
 Approved by: YD
 Job: 841340
 Sheet Name: DEMOLITION PLAN

Sheet No. C1





GENERAL PAVING NOTES

- CONCRETE SHALL BE OF THE THIRTIETH AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE PORTLAND CEMENT TYPE IA (AS-INDICATED) WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 3 TO 5 INCHES.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) FROM TOE OF BANK TO TOE OF BANK. EXISTING COMPRESSIVE STRENGTH OF EX. BASES PER CUBE YARD, MINIMUM 18 DAY, COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1-1/2 TO 3 INCHES.
- PAVEMENT BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURBS & DUTIES, ETC., SHALL BE SPRAY COURED WITH BRUSH WORKING COPOLYMER IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE JOINTS SHALL BE FILLED WITH HOT POURED POLYURETHANE ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-554.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE COUNTY OF WASHINGTON COUNTY, MINNESOTA.
- ALL TOP OF CURB ELEVATIONS AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 4" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 8 INCHES THICK TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

STORM SEWER NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY.
- ALL STORM SEWER TRENCHES UNDER OR WITHIN FIVE (5) FEET OF EXISTING OR PROPOSED PAVEMENT SHOULD BE BACKFILLED WITH MOST CLASS 1 MATERIAL (SAND) AND BE MACHINE COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DENSITY. PAVEMENT SHALL INCLUDE PARKING LOTS, DRIVE APPROACHES, CURBS & GUTTER AND ADJACENT WALLS.
- ALL STORM SEWER PIPE SHALL BE INSTALLED ON CLASS "D" BEDDING OR BETTER UNLESS OTHERWISE INDICATED ON THE PLANS.
- STORM SEWER SHALL BE OF THE TYPE, SIZE & CLASS DESIGNATION INDICATED ON THE PLANS AND SHALL BE INSTALLED AT THE PROPOSED LINE AND GRADE INDICATED.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM SPECIFICATION C-76, CL. V.
- ALL MANHOLE CATCH BASIN INLET, RIM AND DRAIN FRAMES AND COVERS SHALL BE AS INDICATED ON THE PLANS IN ACCORDANCE WITH MUNICIPALITY STANDARDS.
- THE CONTRACTOR SHALL NOTIFY MISS DOD (1-800-462-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- EXACT GRADES AND INVERTS OF PROPOSED STORM SEWER ARE TO BE CHECKED WITH THE FIELD ENGINEER PRIOR AND DURING INSTALLATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY PLAN INCONSISTENCY AND/OR UTILITY CONFLICTS.
- ALL STORM SEWER PIPE JOINTS SHALL BE "PREMIUM JOINT" MODIFIED GROOVED TONGUE (MGT) WITH SYNTHETIC RUBBER GASKETS CONFORMING TO ASTM SPECIFICATION C-443 & C-361 UNLESS OTHERWISE INDICATED ON THE PLANS. ALUMINUM JOINT CONNECTIONS MAY BE STANDARD GROOVED TONGUE WITH GELD MASTIC (DOWT 10 JOINT COMPOUND OR EQUAL).
- ALL SITE GRADING SHALL BE A MAXIMUM OF 1:4 OR 2% PER CITY OF WASHINGTON REQUIREMENTS.

ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
12" C-76, CLASS III, SEWER PIPE	294	L.F.
4" DIA. MANHOLE	2	EA.
2" DIA. INLET	1	EA.

PAVING

DESCRIPTION	QUANTITY	UNITS
6" CONCRETE PAVEMENT & SIDEWALK	3,000	S.F.
4" CONCRETE CURB & GUTTER	153	L.F.

NOTE

ALL WORK SHALL CONFORM TO THE CITY OF WASHINGTON STANDARDS AND SPECIFICATIONS.

BUILDING DEPT. NOTE

THE UNDERGROUND SITE CONTRACTOR SHALL INSTALL ALL STORM SEWER BUILDING LEADS TO WITHIN FIVE (5) FEET OF PROPOSED BUILDING.

GRADED RIP RAP SHALL BE INSTALLED AT THE ENDS OF ALL CURBS AND END SECTIONS. GRADED RIP RAP SHALL, HOWEVER, BE INSTALLED AT OUTLET POINTS IN DETENTION AND SEDIMENTATION FACILITY. THE MINIMUM WIDTH OF THE RIP RAP SHALL BE TWICE THE OUTSIDE DIAMETER OF THE PIPE. THE RIP RAP SHALL EXTEND FROM THE BOTTOM OF THE SLOPE TO THE PIPE INLET.

THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES APPROPRIATE FOR ALL SITE INSPECTIONS.

CONCRETE PORTLAND CEMENT TYPE IA (AS-INDICATED) WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 3 TO 5 INCHES.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) FROM TOE OF BANK TO TOE OF BANK.

ALL CONCRETE JOINTS SHALL BE FILLED WITH HOT POURED POLYURETHANE ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE COUNTY OF WASHINGTON COUNTY, MINNESOTA.

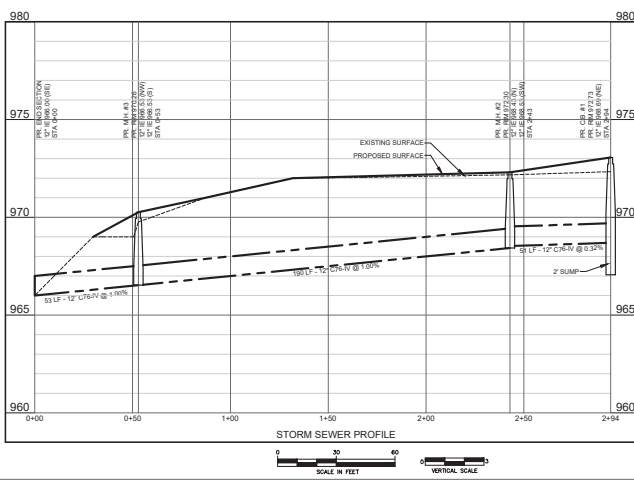
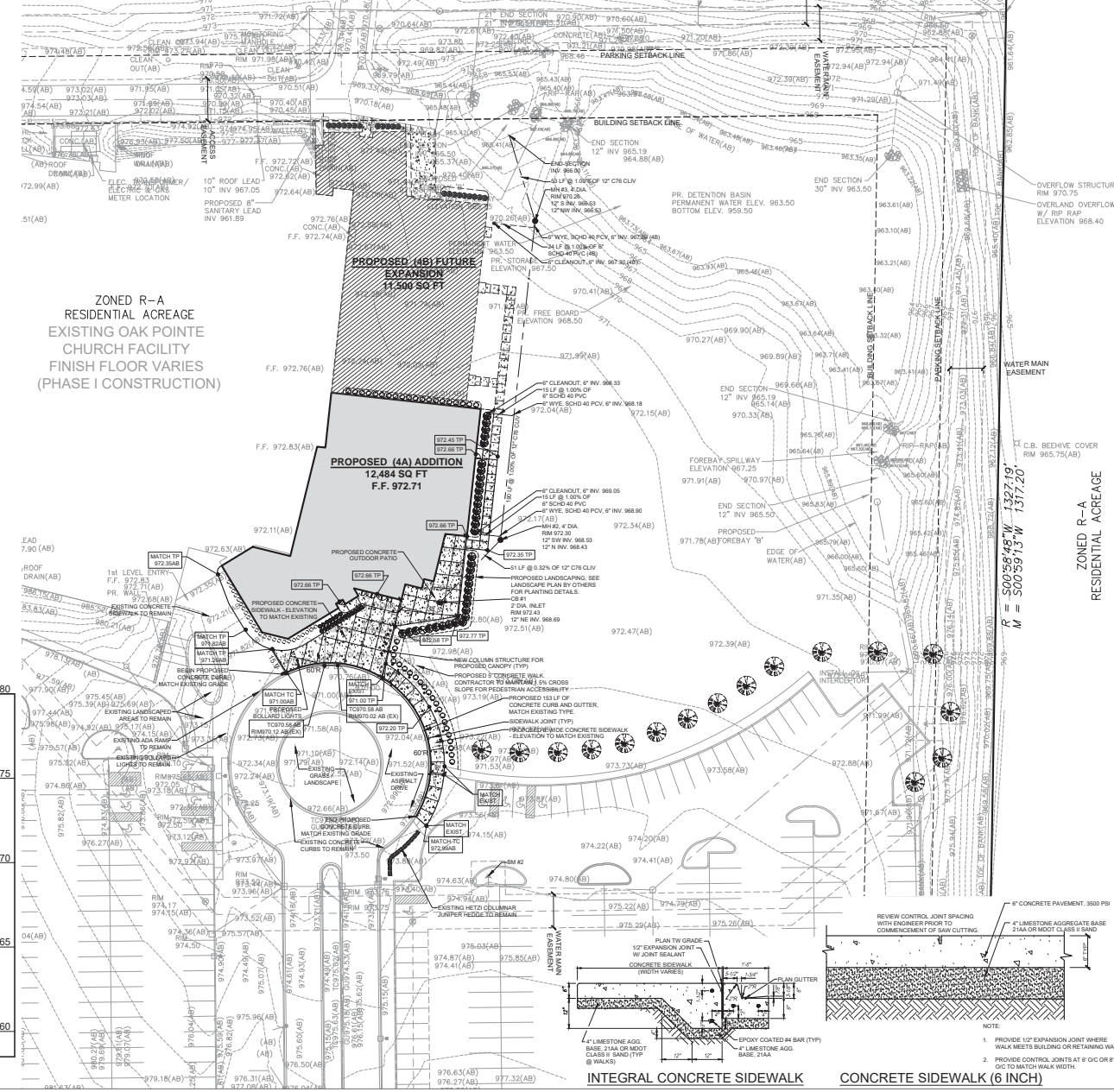
ALL TOP OF CURB ELEVATIONS AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 4" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

$$M = N89^{\circ}23'01''E \ 1034.05'$$

$$R = N89^{\circ}24'00''E \ 1041.40'$$



ISSUED	DATE
APP SUBMIT	10.04.19
PRELIMINARY	11.27.19

S3
architecture

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OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI, MI 48374



27725 Stanley Rd, Suite 100
Farmington Hills, MI 48334
Date: 09.27.2019
Scale: AS SHOWN
Drawn by: AWC
Approved by: YD
Job: 841340
Sheet Name: SITE LAYOUT, GRADING & UTILITY PLAN
Sheet No: C2

EXISTING - ASBUILT

As-built Detention Basin Volume Calculation		
Formula: Conical Frustum		
Formula: $V = 1/3 \times h \times (A1 + (A1 \times A2) \wedge 0.50 + A2)$		
Area, A1:	32,495.00	Square Feet
Area, A2:	15,956.00	Square Feet
Storage Elevation:	967.50	Feet
Outlet Elevation:	963.50	Feet
Depth of Storage, h:	4.00	Feet
Volume Provided:	94,961.84	Cubic Feet
Job No:	3 - B814	

EXISTING - ASBUILT

Detention Calculations - Oakland County Method		
(10) Year Storm Event - With Outlet (Orifice)		
Overall Development:		
Contributing Area:	26.210	Acres
Allowable Outflow, Qa :	0.200	CFS / Acre
Runoff Coefficient, C :	0.515	Imperviousness
Maximum Allowable Outflow, Qo :	0.388	CFS / Acre * Imper
Ts Storage Time (10 Yr):	104.994	Minutes
Vs Storage Time (10 Yr):	6,849.701	CF / Acre * Imperv.
Vt Total Volume (10 Yr):	92,458.295	Cubic Feet
Volume Required :	92,458.295	Cubic Feet

PROPOSED

Detention Basin			
(OAKLAND COUNTY FORMULA - 10-YEAR STORM)			
Job Name: Oak Pointe Church			
Job No.: 841340			
		Designed by: YD	
		Checked by: YD	
Total Area Tributary (At) =	0.64 ac		
Area Label	A (sf)	C	A*C
Lawn Area	28,082	0.20	5,616
Hard Surface	0.80	0	0
Roof Area	0.80	0	0
Sum	28,082	1.80	5,616
Overall site average C factor :	0.20		
Enter Standard Allowable Discharge (q):	<input type="text" value="0.15"/>		
Overall site C factor :	<input type="text" value="0.20"/>		
Overall site acreage contributing to the basin (A):	<input type="text" value="0.64"/> Ac.		
Maximum allowable outflow, Qa (q * A):	<input type="text" value="0.10"/> CFS		
VOLUME CALCULATIONS			
Qo = [(allowable outflow, Qa) / (acreage)(runoff coefficient)]			
= 0.781 CFS/(acre*imperviousness)			
Storage time calculation:			
T = -25 + sqrt(6562.5 / Qo) (10 year storm)			
T = 66.65 min.			
Maximum volume of storage per acre imperviousness:			
Vs = (10,500 (T) / (T + 25)) - 40(Qo)(T) (10 year storm)			
Vs = 5553.03 CF/(acre*imperviousness)			
Total volume of storage REQUIRED for the entire site:			
Vt = (Vs)(site acreage)(runoff coefficient)			
Vt = 710.79 CF (VOLUME REQUIRED)			

PROPOSED

Detention Basin Calc			
(OAKLAND COUNTY FORMULA - 100-YEAR STORM)			
Job Name: Oak Pointe Church			
Job No.: 841340			
		Designed by: YD	
		Checked by: YD	
Total Area Tributary (At) =	0.64		
Area Label	A	C	A*C
Lawn Area	0	0.20	0
Hard Surface	4,062	0.80	3,250
Roof Area	24,020	0.80	19,216
Sum	28,082	1.80	22,466
Overall site average C factor :	0.80		
Enter Standard Allowable Discharge (q):	<input type="text" value="0.15"/>		
Overall site C factor :	<input type="text" value="0.80"/>		
Overall site acreage contributing to the basin (A):	<input type="text" value="0.64"/> Ac.		
Maximum allowable outflow, Qa (q * A):	<input type="text" value="0.10"/> CFS		
VOLUME CALCULATIONS			
Qo = [(allowable outflow, Qa) / (acreage)(runoff coefficient)]			
= 0.195 CFS/(acre*imperviousness)			
Storage time calculation:			
T = -25 + sqrt(10312.5 / Qo) (100 year storm)			
T = 204.78 min.			
Maximum volume of storage per acre imperviousness:			
Vs = (16,500 (T) / (T + 25)) - 40(Qo)(T) (100 year storm)			
Vs = 13104.96 CF/(acre*imperviousness)			
Total volume of storage REQUIRED for the entire site:			
Vt = (Vs)(site acreage)(runoff coefficient)			
Vt = 6,709.74 CF (VOLUME REQUIRED)			

NOTE

THE TOTAL TRIBUTARY AREA (0.64 ACRES) INCLUDES THE PROPOSED BUILDING ADDITION WITH SIDEWALKS AND A POSSIBLE FUTURE BUILDING EXPANSION. FROM AS BUILT INFORMATION, THE VOLUME PROVIDED FROM EXISTING POND IS 94,941.84 CUBIC FEET (10-YR STORM); THE VOLUME REQUIRED FROM EXISTING SITE IS 92,458.295 CUBIC FEET (10-YR STORM) WHICH ALREADY COVERED THE FOOTPRINT WHERE THE NEW ADDITION AND PAVEMENT WILL BE CONSTRUCTED. TO AVOID DOUBLE CALCULATION, THE VOLUME OF THE AREA (0.64 ACRES) BASED ON 10-YR STORM NEEDS TO BE SUBTRACTED BEFORE ADDING THE VOLUME OF THE AREA (0.64 ACRES) BASED ON 100-YR STORM TO THE VOLUME REQUIRED FROM EXISTING SITE.

THUSLY, THE NET VOLUME INCREASE IS CALCULATED BELOW:

$$92,458.295 \text{ CFT} - 710.79 \text{ CFT} + 6,709.74 \text{ CFT} - 94,961.84 \text{ CFT} = 3,494.405 \text{ CFT} = 129.5 \text{ CYD}$$

PER DISCUSSION WITH CITY ENGINEER, THE VOLUME INCREASE IS MINIMAL. THE EXISTING DETENTION POND THEREFORE MAY BE ADEQUATE PENDING NOW ENGINEERING REVIEW.



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Farmington, MI 48335
313.487.0000
MI 248.427.0007

OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI, MI 48374



2775 Stanbury Blvd, Suite #100
Farmington Hills, MI 48334

Date: 09.27.2019
Scale: AS SHOWN

Drawn by: AWC
Approved by: YD

Job: 841340

Sheet Name: STORM WATER MANAGEMENT CALCULATIONS

Sheet No.: C3



Know what's below.
Call before you dig.



SCALE IN FEET
0 30 60

SOIL EROSION & SEDIMENTATION CONTROL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SOIL EROSION CONTROL PERMIT FROM THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER. CONTRACTOR SHALL REPORT TO THE CITY WITH ANY AND ALL REQUIRED MODIFICATIONS MADE TO THIS PLAN. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN TEMPORARY SOIL EROSION CONTROL MEASURES AND SHALL MAINTAIN PERMANENT SOIL EROSION MEASURES FOR ONE YEAR AFTER COMPLETION OF CONSTRUCTION. BEFORE FIRST YEAR OF OCCUPANCY, OWNER WILL BE RESPONSIBLE FOR MAINTAINING SOIL EROSION MEASURES.
- PLAN REVIEW AND PERMIT SHALL BE POSTED IN A CONSPICUOUS LOCATION.
- PLACE EROSION CONTROL MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- INSPECT AND MAINTAIN CHECK DAMS, SEDIMENT TRAPS, RPP (RAP), SILT FENCING AND OTHER MEASURES AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION. DEBRIS BAGS SHALL BE ON ALL CATCH BASINS ON THE SITE AND ADJACENT TO THE SITE. DEBRIS BAGS SHALL BE MAINTAINED WEEKLY, OR MORE OFTEN IF NECESSARY.
- TEMPORARY SEEDING FOR EROSION CONTROL CONSISTS OF THE FOLLOWING SEED MIX PLACED AT 4 LBS PER 1,000 SQUARE FOOT:
50% PERENNIAL RYEGRASS
25% CREEPING RED FESCUE
25% BENTONIC BLUEGRASS
- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS WELL ESTABLISHED. REMOVE PLACE ADDITIONAL TOPSOIL AND RESEED ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
- ALL SWALES AND DRENCHERS ON OR OFF SITE SHALL BE SEEDED AND MULCHED WITH NORTH AMERICAN GREEN B150 EROSION CONTROL BLANKET, OR EQUIVALENT, PLACED IN PLACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING CONSTRUCTION DEBRIS AND SEDIMENT FROM PUBLIC STREETS DURING CONSTRUCTION, STREETS AND ADJACENT PARKING LOTS SHALL BE SWEEPED WEEKLY OR MORE OFTEN AS NEEDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE GEOTECHNICAL REPORTS PRIOR TO CONSTRUCTION.
- ADJUST MEASURES TO CONSTRUCTION PHASE OR ACTIVITY.
- ADDITIONAL MEASURES NOT SHOWN MAY BE REQUIRED DURING CONSTRUCTION. CONSULT WITH LOCAL AGENCY.
- NO ENCROACHMENT SHALL BE ALLOWED WITHIN PUBLIC DRAIN OR ROAD RIGHT OF WAY UNLESS PERMITTED.

LOCATION MAP

NOT TO SCALE

LEGEND



- SILT FENCE
- SILT SACKS
- CONSTRUCTION ENTRANCE
- SOIL NOTE

SOIL EROSION & SEDIMENTATION CONTROL PLAN:

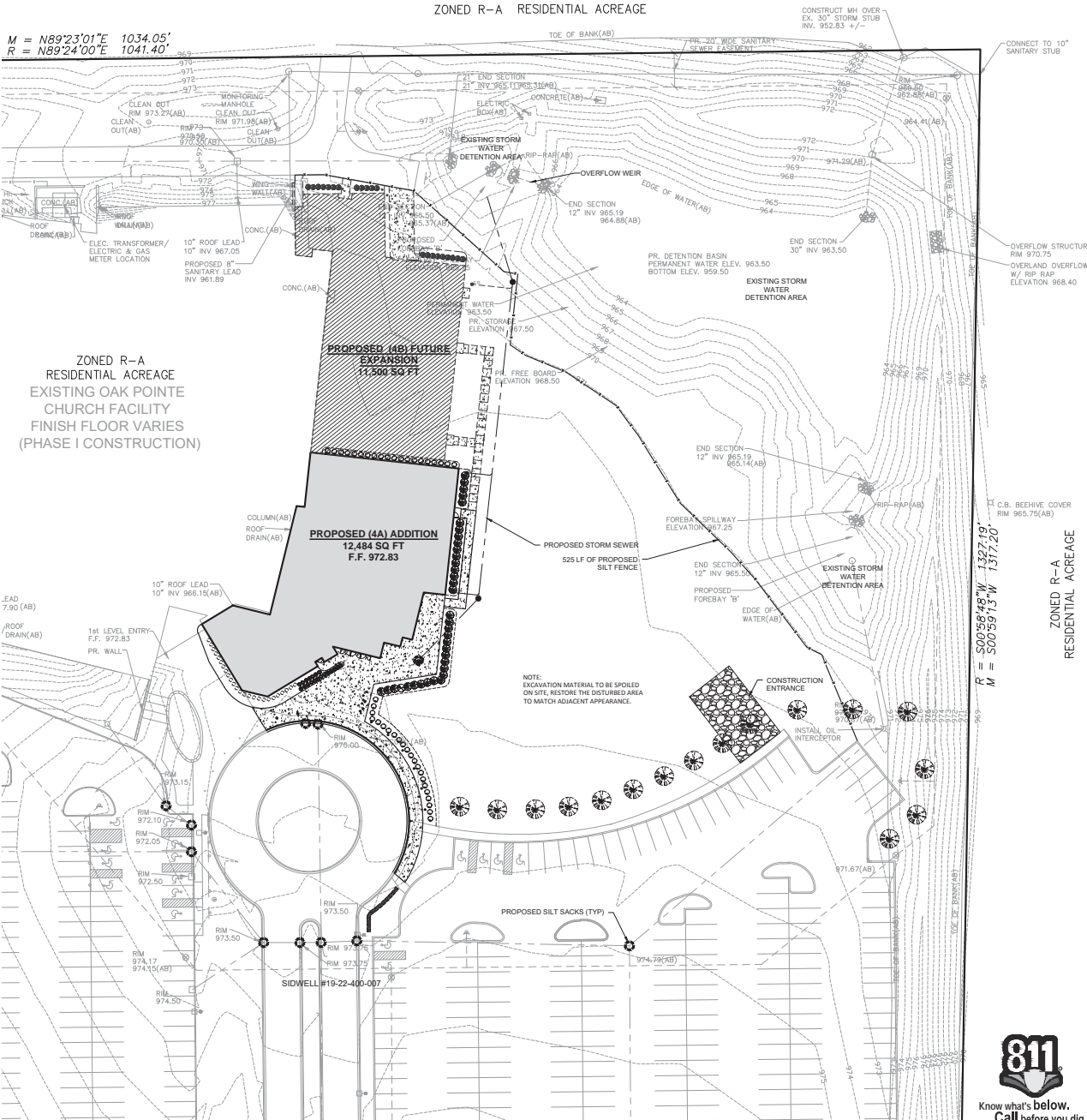
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF EXCAVATION AND SHALL REMAIN IN EFFECT UNTIL AREAS ARE STABILIZED.
- THE CONTRACTOR SHALL PLAN ALL EARTH MOVING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS.
- ALL EARTH CHANGES SHALL BE CONSTRUCTED AND COMPLETED IN SUCH A MANNER WHICH SHALL LIMIT THE EXPOSED AREA OF ANY DISTURBED LAND FOR THE SHORTEST POSSIBLE PERIOD OF TIME.
- THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO INSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND SHALL IMMEDIATELY MAKE NECESSARY REPAIRS.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCE. THIS ENTRANCE SHALL BE CONSTRUCTED OF CRUSHED STONE TO HELP FREE TREES OF SOILS WHEN LEAVING SITE. THE CONTRACTOR SHALL INSTRUCT ALL VEHICLES TO CLEAN ALL SOIL MATERIALS SHIPPED, CARRIED OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS, OR OTHER PUBLIC THOROUGHFARES DURING TRAVEL TO OR FROM THE EARTH CHANGE SITE SHALL BE REMOVED PROMPTLY.
- CATCH BASINS LOCATED ON OR NEAR THE SITE SHALL BE PROTECTED TO PREVENT SEDIMENTATION FROM ENTERING THE FACILITY. THE COVERS SHALL BE CHECKED PERIODICALLY AND CLEANED WHENEVER THEY FAIL TO FILTER RAIN PAVEMENT. SOIL EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN CALENDAR DAYS AFTER THE FINAL GRADING OR EARTH MOVING ACTIVITY. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA OR WHEN GRADING ACTIVITY HAS TEMPORARILY CEASED, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT CONTROL MEASURES ARE IMPLEMENTED.
- ALL DISTURBED AREAS IN THE EXISTING OR PROPOSED RIGHT-OF-WAY SHALL BE SEEDDED, FERTILIZED, AND MULCHED ACCORDING TO M.I.O.'S SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ON THIS SITE. FAILURE TO MAINTAIN THESE DEVICES COULD RESULT IN FINES OR SUSPENSION.
- ALL DISTURBED AREAS AND GREENBELT AREAS ON SITE SHALL HAVE 4" OF ACCEPTABLE TOPSOIL PLACED, SEEDDED, MULCHED AND FERTILIZED BY HYDROSEEDING IN ACCORDANCE WITH MOST SPECIFICATIONS. CLASS A BEDD SHALL BE USED UNLESS OTHERWISE NOTED. M107 8.21.09. CHEMICAL FERTILIZER M107 8.21.10. MULCH M107 8.21.11. CONSTRUCTION METHOD M107 4.33.12. TOPSOIL M107 8.21.10. MULCH M107 8.21.11. SEED FERTILIZER PER 1,000 SF. MULCH 150 POUNDS PER 1,000 SF.
- ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE CONTINUOUSLY MAINTAINED UNTIL THE PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- ALL SOIL TRACKED ONTO PAVEMENT SURFACES AND OFF SITE SHALL BE REMOVED DAILY BY THE CONTRACTOR.
- ALL SURPLUS MATERIAL STOCKPILED ON SITE FOR MORE THAN THIRTY DAYS SHALL BE SEEDDED AND MULCHED.
- THE SOIL EROSION CONTROLS SHALL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

CONSTRUCTION SEQUENCE:

- INSTALL ALL TEMPORARY SOIL EROSION CONTROL MEASURES INCLUDING FILTERS AT ALL CATCH BASINS
- CONTACT OAKLAND COUNTY OFFICE OF SOIL EROSION AT (248) 854-0389 TO SCHEDULE INSPECTION OF SOIL EROSION CONTROL MEASURES
- SITE DEMOLITION, PAVEMENT AND WATER MAIN REMEDIATION ITEMS AS NOTED ON PLANS
- EROSION CONSTRUCTION AND INSTALL UNDERGROUND UTILITIES
- MAINTAIN SOIL EROSION AND SEDIMENTATION MEASURES THROUGHOUT CONSTRUCTION
- INSTALL SWALES, CURBS AND OUTLET PAVEMENTS
- FINISH GRADE NON-PAVED AREAS
- RESTORE ALL DISTURBED AREAS BACK TO ORIGINAL CONDITION OR BETTER
- REMOVE ALL TEMPORARY EROSION MEASURES

SOIL EROSION/SEDIMENTATION CONTROL 2018-2020 OPERATION SEQUENCE/TIME SCHEDULE	
CONSTRUCTION SEQUENCE	DATE
1. STAKE IMPROVEMENTS AND INSTALL TEMP. CONTROL MEASURES	11/2018
2. ROUGH GRADE-DEMOLITION	12/2018
3. MAINTAIN TEMP. CONTROL MEASURES (DAILY)	11/2018 - 11/2019
4. STORM FACILITIES	12/2018
5. FOUNDATION/BLDG. CONSTRUCTION	1/2019
6. SITE CONSTRUCTION / PAVING	2/2019
7. PERM. CONTROL MEASURES	3/2019
8. FINISH GRADING	4/2019
9. LANDSCAPING	5/2019
10. REMOVE TEMPORARY CONTROL MEASURES	6/2019

INLET PROTECTION FABRIC DROPP (SILT SACK)
USE AT STORM WATER INLETS



ZONED R-A RESIDENTIAL ACREAGE
EXISTING OAK POINTE CHURCH FACILITY
FINISH FLOOR VARIES (PHASE I CONSTRUCTION)

PROPOSED (1A) ADDITION
12,484 SQ FT
F.F. 972.83

PROPOSED (AB) FUTURE EXPANSION
11,500 SQ FT

SIDWELL #19-22-400-007

ISSUED DATE
APP SUBMIT 10.04.19
PRELIMINARY 11.27.19

S3
architecture

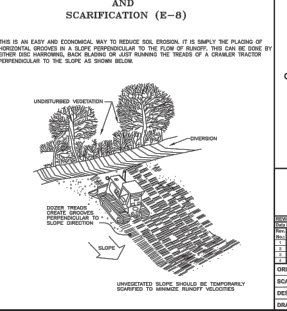
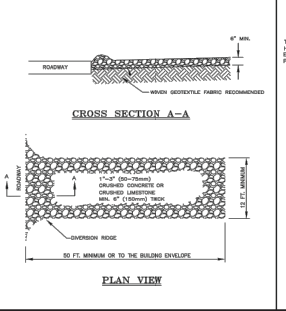
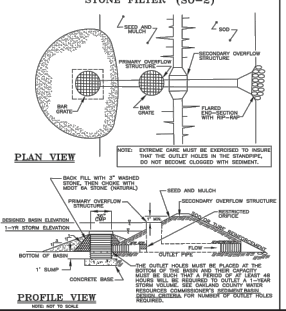
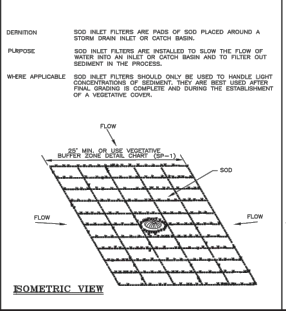
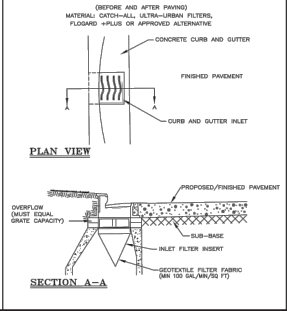
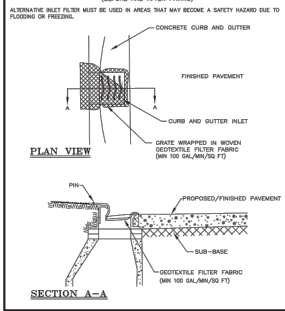
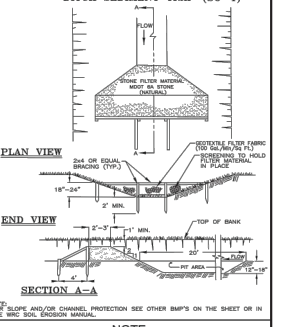
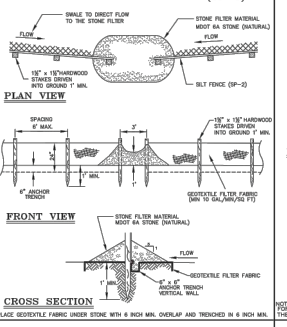
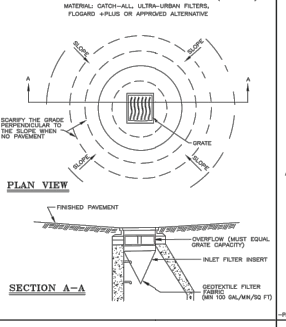
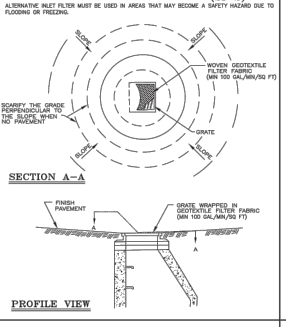
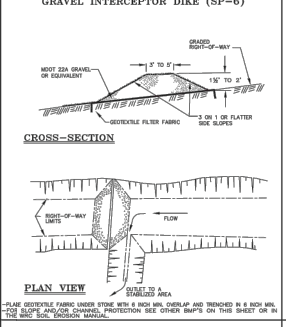
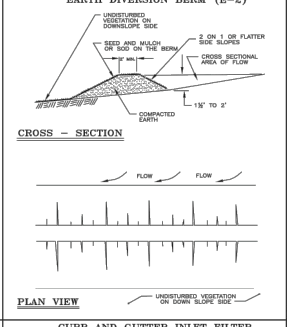
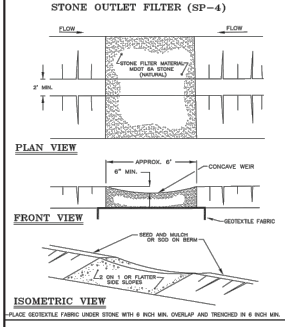
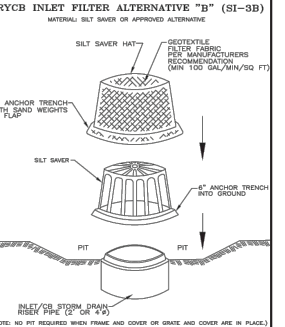
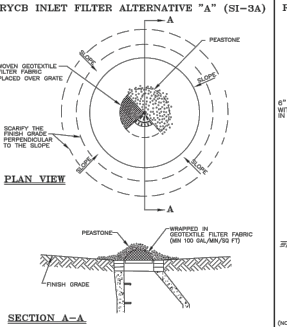
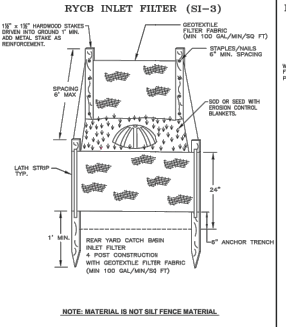
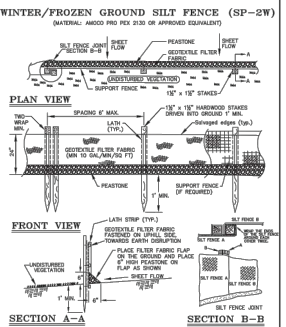
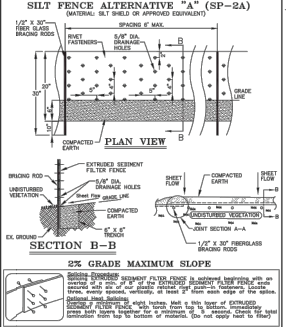
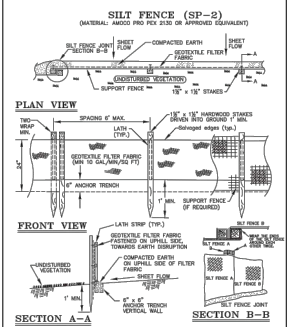
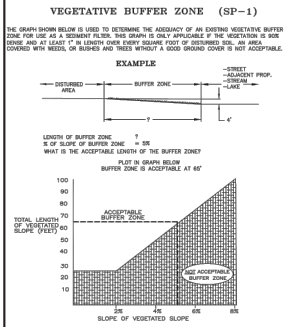
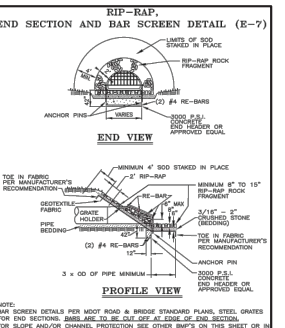
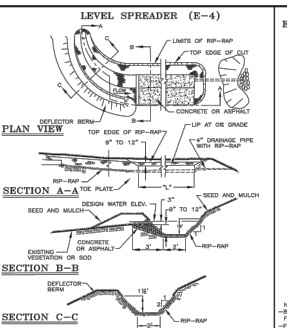
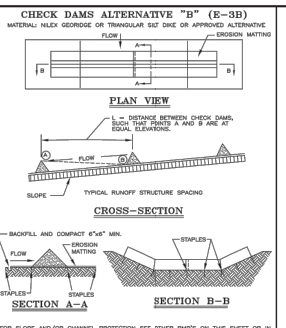
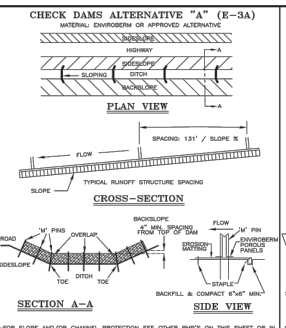
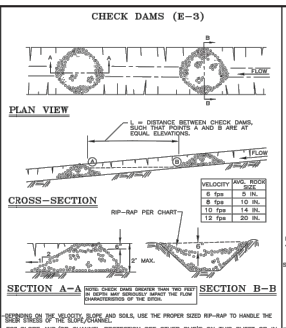
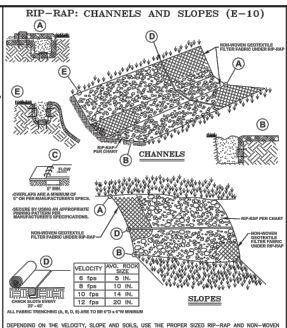
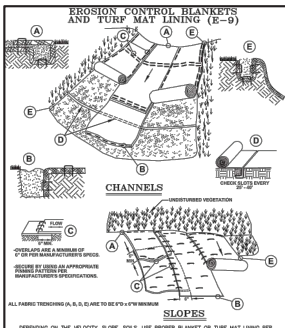
3326 Grand Ave
Farmington, MI 48335
313-485-1000
313-483-0007

OAK POINTE CHURCH NOVI - ADDITION
50200 W. TEN MILE ROAD, NOVI, MI 48374

ZONED R-A RESIDENTIAL ACREAGE

F&V
27725 Stanley Ave, Suite #100
Farmington Hills, MI 48334
Date: 09.27.2019
Scale: AS SHOWN
Drawn by: AWC
Approved by: YD
Job: 841340
Sheet Name: SOIL EROSION & SEDIMENTATION CONTROL PLAN
Sheet No.: C4

811
Know what's Below.
Call before you dig.



NOTE:

ALL OF THE DETAILS SHOWN ON THIS SHEET, ALONG WITH INFORMATION PERTAINING TO PLAN PREPARATION, DESIGN CRITERIA AND GENERAL NOTES, ETC., ARE INCLUDED IN THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER'S EROSION CONTROL MANUAL. PLEASE CONTACT THE EROSION CONTROL UNIT AT (248) 858-5389 TO OBTAIN A COPY OF THE MANUAL. OR GO ONLINE AT WWW.OAKGOV.COM/WATER

SOIL EROSION SEDIMENTATION CONTROL DETAILS

DATE: 01/15/2010

SCALE: AS SHOWN

DESIGNED BY: WRC

DRAWN BY: WRC

ONE FULL SIZE DRAWING SHEET IS BEST

SHEET NO. DT5 1 of 1

PLANNING COMMISSION MEETING ACTION SUMMARY
JANUARY 15, 2020



PLANNING COMMISSION ACTION SUMMARY

CITY OF NOVI

Regular Meeting

January 15, 2020 7:00 PM

Council Chambers | Novi Civic Center
45175 W. Ten Mile (248) 347-0475

CALL TO ORDER

The meeting was called to order at 7:00 PM.

ROLL CALL

Present: Member Avdoulos, Member Ferrell, Member Gronachan, Member Lynch, Member Maday, Chair Pehrson

Absent: Member Anthony

Also Present: Barbara McBeth, City Planner; Lindsay Bell, Senior Planner; Sri Komaragiri, Senior Planner; Rick Meader, Landscape Architect; Kate Richardson, Staff Engineer; Thomas Schultz, City Attorney; Pete Hill, Environmental Consultant; Josh Bocks, Traffic Engineering Consultant; Doug Necci, Façade Consultant

APPROVAL OF AGENDA

Motion to approve the January 15, 2020 Planning Commission Agenda. Motion carried 6-0.

MATTERS FOR CONSIDERATION

1. OAK POINTE CHURCH ADDITION JSP19-44

Consideration at the request of Oak Pointe Church, for Preliminary Site Plan and Storm Water Management Plan approval. The subject property is located in Section 19 north of Ten Mile Road and west of Wixom Road, and is zoned RA, Residential Acreage. The applicant is seeking approval to construct a 16,596 square foot addition (Phase 4A) on the east side of the existing church building, as well as an additional 11,512 square foot (Phase 4B) future expansion. Modifications of the previous Phasing Plan are also proposed.

In the matter of Oak Pointe Church Addition, JSP19-44, motion to approve the Preliminary Site Plan and revised Phasing Plan based on and subject to the following:

- a. Fourteen previously approved bicycle parking spaces shall be included on the Final Site Plan submittal;
- b. Landscape waiver for location of building foundation landscaping away from building, *as it will be located nearby, and total required area shall be provided, which is hereby granted;*

- c. A Section 9 façade waiver for an overage of Perforated Corrugated Metal Panels on the south, east and north facades of the addition, *because the design is consistent with the intent and purpose of the ordinance, which is hereby granted;*
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

In the matter of Oak Pointe Church Addition, JSP19-44, motion to approve the Storm Water Management Plan, subject to the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

2. GUERNSEY FARMS DAIRY REMODEL JSP 19-41

Consideration at the request of McGuire Brothers, LLC for Planning Commission's approval of Preliminary Site Plan and Storm Water Management plan. The subject property is located eastside of Novi Road north of Eight Mile Road. The applicant is proposing to make some interior changes to restaurant seating layout and outdoor seating area. The plan also proposes a number of changes to exterior site layout and traffic circulation by reducing the number of curb cuts along Novi Road. It also proposes an alternate location for 'Welcome to Novi' sign along its frontage.

In the matter of Guernsey Farms Dairy Remodel JSP 19-41, motion to approve the Preliminary Site Plan based on and subject to the following:

1. Landscape waiver from Sec. 5.5.3.B.ii for lack of berm along Novi Road due to lack of space from existing conditions, which is hereby granted;
2. Landscape waiver from Sec. 5.5.3.B.ii for reduction in required greenbelt width for areas where *the deficiency is an existing condition*, which is hereby granted;
3. The applicants shall revise the plans to comply with greenbelt landscaping for other areas where the deficiency is not due to an existing condition;
4. Landscape waiver from Section 5.5.3.B.ii, iii for not providing street trees due to lack of room within the Novi Road right-of-way for trees, which is hereby granted;
5. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for reduction in number of interior parking perimeter trees based on the revised landscape plan submitted on January 09, 2019, which is hereby granted;
6. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for reduction in number of parking lot perimeter trees, provided the applicant shall work with the City's landscape architect to provide better growing conditions for the proposed trees along the perimeter of the outdoor seating area, which is hereby granted;
7. Landscape waiver for exceeding the maximum number of parking spaces between landscape end islands. A maximum of 15 is allowed, the plans propose 17, which is hereby granted;
8. Planning Commission waiver for not meeting the minimum distance requirements for opposite side driveway spacing per Section 11.216 and Figure IX.12 of the City's Code of Ordinances, which is hereby granted;
9. Planning Commission waiver for the use of painted islands in place of raised end islands and curbs, which is hereby granted;

10. Planning Commission waiver for not meeting the minimum requirements for access path to bicycle parking. A minimum of 6 feet is required, 5 feet is existing), which is hereby granted;
11. A section 9 waiver is required for Overage of EIFS (25% maximum allowed, 41% on West façade and 59% on South façade proposed), which is hereby granted;
12. Subject to Zoning Board of Appeals variance for lack of raised curbs around the landscape islands as shown on the site plan;
13. A City Council variance for use of bumper blocks in lieu of raised curb;
14. The applicant shall work with the City to identify an alternate acceptable location for relocation of the existing Welcome to Novi sign;
15. The applicant shall designate the parking spaces opposite the southern entrance for employee parking to avoid conflicts with the incoming traffic;
16. The findings of compliance with Ordinance standards in the staff and consultant review letters and the remaining items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion Carried 6-0.*

In the matter of Guernsey Farms Dairy Remodel JSP 19-41, motion to approve the Storm Water Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

3. SAKURA NOVI JZ19-31 WITH REZONING 18.732

Consideration at the request of Robert B. Aikens & Associates, LLC and Robertson Brothers Homes for Planning Commission's recommendation to City Council for a Zoning Map amendment from Office Service (OS-1), Office Service Commercial (OSC) and Light Industrial (I-1) to Town Center-1 (TC-1) with a Planned Rezoning Overlay. The subject property is approximately 15.59 acres and is located north of Grand River Avenue, south of Eleven Mile Road and east of Town Center Drive (Section 23). The applicant is proposing to develop the property as an Asian-themed mixed-use development.

In the matter of Sakura Novi, JZ19-31, with Zoning Map Amendment 18.732, motion to postpone making a recommendation to the City Council to rezone the subject property from Office Service (OS-1), Office Service Commercial (OSC) and Light Industrial (I-1) to Town Center-1 (TC-1) with a Planned Rezoning Overlay Concept Plan. This motion is made for the following reasons:

1. To allow the applicant time to provide additional details as indicated in the staff and consultant review letters;
2. To allow the applicant time to determine details such as wetland mitigation, woodland discrepancies;
3. To allow the applicant to work with staff to resolve some of the deviations requested;
4. To allow additional time for the applicant to submit additional evidence/information in support of the public benefits to be achieved through this development and to justify the proposed ordinance deviations and the intent of the Section 7.13.2.D.ii that the proposed PRO rezoning would be in the public

interest and the benefits to the public of the proposed PRO rezoning would clearly outweigh the detriments.

5. The applicant shall have the opportunity to clarify through a modified submittal if any PRO conditions are being offered under the PRO provisions of the Zoning Ordinance. *Motion carried 6-0.*

4. **INTRODUCE TEXT AMENDMENT 18.292 – INSTRUCTIONAL CENTERS IN OS-1**

Set a public hearing for Text Amendment 18.292 to update the Zoning Ordinance to allow 'instructional centers' as an allowable use in the OS-1, Office Service District throughout the City of Novi subject to conditions and related changes.

Motion to set a public hearing for Text Amendment 18.292 to consider amending the City of Novi Zoning Ordinance as presented this evening. *Motion carried 6-0.*

5. **APPROVAL OF THE DECEMBER 11, 2019 PLANNING COMMISSION MINUTES.**

Motion to approve the December 11, 2019 Planning Commission Minutes. *Motion carried 6-0.*

ADJOURNMENT

The meeting was adjourned at 8:35 PM.

*Actual language of the motions subject to review.

**PLANNING COMMISSION MEETING MINUTES EXCERPT
JANUARY 15, 2020**



PLANNING COMMISSION MINUTES

CITY OF NOVI

Regular Meeting

January 15, 2020 7:00 PM

Council Chambers | Novi Civic Center

45175 W. Ten Mile (248) 347-0475

CALL TO ORDER

The meeting was called to order at 7:00 PM.

ROLL CALL

Present: Member Avdoulos, Member Ferrell, Member Gronachan, Member Lynch, Member Maday, Chair Pehrson

Absent: Member Anthony

Also Present: Barbara McBeth, City Planner; Lindsay Bell, Senior Planner; Sri Komaragiri, Senior Planner; Rick Meader, Landscape Architect; Kate Richardson, Staff Engineer; Thomas Schultz, City Attorney; Pete Hill, Environmental Consultant; Josh Bocks, Traffic Engineering Consultant; Doug Necci, Façade Consultant

PLEDGE OF ALLEGIANCE

Member Gronachan led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Moved by Member Avdoulos and seconded by Member Gronachan.

VOICE VOTE TO APPROVE THE JANUARY 15, 2020 PLANNING COMMISSION AGENDA MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER GRONACHAN.

Motion to approve the January 15, 2020 Planning Commission Agenda. *Motion carried 6-0.*

AUDIENCE PARTICIPATION

Mike Duchesneau, 1191 South Lake Drive, said I'd like to talk about the concept plan for Sakura Novi. One of the items in the proposal is parallel parking. I am opposed to parallel parking on Eleven Mile Road. This road has a 35 mile per hour speed limit. I don't know of any other roads in Novi that have 35 mile per hour speed limits that are classified as major public streets. The 2016 Thoroughfare Master Plan showed the current proposal is on a segment where the volume exceeds the capacity in the future. The area that they are proposing parallel parking just happens to be between Lee BeGole Drive and Town Center Drive. I would not be supportive of that as far as the concept plan. I understand this project is in its very early stages.

CONSENT AGENDA - REMOVALS AND APPROVALS

There were no items on the consent agenda.

PUBLIC HEARINGS

There were no public hearings.

MATTERS FOR CONSIDERATION

1. OAK POINTE CHURCH ADDITION JSP19-44

Consideration at the request of Oak Pointe Church, for Preliminary Site Plan, Phasing Plan and Storm Water Management Plan approval. The subject property is located in Section 19 north of Ten Mile Road and west of Wixom Road, and is zoned RA, Residential Acreage. The applicant is seeking approval to construct a 16,596 square-foot addition (Phase 4A) on the east side of the existing church building, as well as an additional 11,512 square-foot (Phase 4B) future expansion. Modifications of the previous Phasing Plan are also proposed.

Planner Bell said as you mentioned, the subject property is in Section 19 on the north side of 10 Mile Road and west of Wixom Road. The parcel is 27.23 acres and zoned RA, Residential Acreage, and is the location of the existing Oak Pointe Church. Parcels on the north, east, and west sides are also zoned RA and are part of the Island Lake subdivision. On the south is a parcel zoned R-1, One Family Residential, as well as a bit of RA and is the location of a golf course. The Future Land Use Map indicates this area and the surrounding area as Single Family Residential uses, except for some of the private park areas. There are no natural features impacted by the proposal, although, there is a small detention basin marked as a wetland in the northeast corner.

The applicant is proposing to construct a 16,596 square-foot two-story addition (Phase 4A) and a future 11,512 square-foot, one-story expansion (Phase 4B) on the east side of the existing Oak Pointe Church, as well as modifications to the Phasing Plan. The previously approved Master Plan for the church included this area with a larger addition identified as Phase 6, which is shown as P5 in the exhibit shown; it has been renumbered with this submittal. The parking to accommodate this expansion was already constructed with Phase 3. The new phase 5 consists of a 65,479 square-foot building expansion, which would be brought forward later. On the west side of the building, Phase 6 consists of a 5,145 square-foot building expansion along with more parking and recreation fields and Phase 7 would be a two-story, 25,796 square-foot addition. All of these building additions were previously identified in the original phasing master plan, however the order of construction has shifted and only a portion of the previous phase 6 is proposed at this time. No other significant changes from the approved plan are proposed.

The applicant is requesting a landscape waiver, to allow foundation landscaping to be located away from the building, which is supported by staff.

Planner Bell continued to say a Section 9 façade waiver is recommended for an overage of perforated corrugated metal material. Our façade consultant determined the use of the material in this design is consistent with the intent and purpose of the ordinance and recommends approval of that Section 9 waiver. In addition, we found that 14 bicycle parking spaces had been on the Phase 3 plan previously approved a few years ago for the parking addition, but were never installed. We have asked the applicant to ensure

they are provided at the time the addition will be constructed.

The site plan meets all other Zoning Ordinance requirements, and all reviewers are recommending approval with additional comments to be addressed in the Final Site Plan.

The Planning Commission is asked tonight to approve or deny the Preliminary Site Plan and the Storm Water Management Plan. Representing the project tonight is Steven Schneeman from S3 Architecture and the applicant from Oak Point Church to answer any questions you may have.

Steve Schneeman said I'm representing S3 Architecture on behalf of Oak Point Church. I think Lindsay did a fine job on introducing the project to you. The comments that have been made for the requirements of the bike parking we're happy to comply with that and we'll make sure that's included in the Final Site Plan approval.

Chair Pehrson asked the Planning Commission if they had any comments for consideration.

Member Lynch said I looked through this and I think it looks really nice, I have no issues with the bike parking and I'm glad you agreed to it. The landscaping has no problems. I don't see an issue with the Section 9 Waiver. I think we need to discuss the Storm Water Management Plan. As I was reading through this, the storm water management abides by the 10-year flood from when the project was approved in 2001. In 2002 we went to the 100-year. That's significantly different than the 10-year. Right now, it says that with the new impervious design we're going to exceed the limits of the existing under scaled by today's standard Storm Water Management Plan.

Plan Review Engineer Kate Richardson said we determined that change in the impervious cover was negligible in comparison to the size of the basin as it is currently. So right now it holds about 95,000 cubic feet. We determined that if we were going to hold them to our current standards, the 100-year flood, then they would have to increase the pond by 3-4%, which would be around 3,000 cubic feet. We felt that that was insignificant enough to actually increase the basin by volume it would create more disturbance and it could create soil erosion problems. It would be a big hassle for a very small increase and we don't actually think there is an issue out there with this space. So when they go to do the additional phases, it's in the letter that they will be required to be held to the 100-year storm event. So they will have to increase the basin when they go to do the other phases.

Member Lynch said we learned our lesson with the 10-year, that's the reason why we changed to the 100-year. You just heard one of the residents come in and talk about a project that hasn't even been built yet and the conditions that they're facing. One other thing in that area, that whole north-west quadrant is invaded by phragmites and I think the Ordinance states that absolutely no phragmites can exist.

Landscape Architect Meader said correct, by the end of a project's construction.

Member Lynch said has there been any active management on treating existing phragmites? That site has been full of them.

Landscape Architect Meader said I am not aware of any, maybe the Church can say something, but I haven't heard of anything going on.

Daryl Rice, Oak Pointe Church, said it has been brought to our attention through this planning process. We are planning to take care of it.

Steven Schneeman said we do have mitigation of the phragmites planned.

Member Lynch said I saw that you put it on the drawing, but what I've found in practice is that these phragmites, if you don't kill them, they propagate. It's the whole northwest quadrant and it's not just your property. How do we verify this and how do we enforce it?

Landscape Architect Meader said we ask them to submit a report when they've done treatment. This is actually the first time this has happened. The idea is that they will submit a report to us when it's done because it has to be chemically treated. I will receive a copy of their report that it was done and then we'll go out after two years to see if it's done. If it still needs treatment because the phragmites are not all gone, we'll tell them they have to keep treating.

Mike Lynch said it's not just this property, it's that whole quadrant of the city that is inundated with these phragmites and you know how invasive these things are. What are we doing as a City to make sure this is addressed? We just had that terrible traffic accident over on Seaglen Drive and Napier Road and that was strictly due to the abundance of phragmites where you can't even see. What is the City doing about it? Are we going to enforce that Ordinance? Are we going to have someone actively going out and looking around? Can we work with the property owners explaining they have to do something about it by sending them a letter? How do we make sure this stops?

Landscape Architect Meader said per the Ordinance, it is only about the actual development project. The area you are talking about at the intersection, that's really not a part of this development. The City is going to treat it.

Member Lynch said and I know this is not about the project and I apologize for bringing it up. This is more of a question for the planning staff, the legal staff, and the planner. It's a bigger problem and it's nice we can go site by site but a lot of this stuff is already developed.

Landscape Architect Meader said right now the City is treating phragmites along rights-of-way and in ponds, but when it comes to private property which is what that is, we don't have an Ordinance to take care of that at this time. We can only encourage people to do it.

Member Lynch said in the Ordinance it says absolutely no phragmites.

Landscape Architect Meader said that Ordinance is for a new development project. It's not for an existing development.

Member Lynch said even if there is a RUD or PRO agreement?

Landscape Architect Meader said if it's a new development since the new Ordinance started, then yes it would be in the agreement. Anything before that, it was not in the Ordinance. It would have developed when the Ordinance did not address phragmites.

Member Lynch said okay, I'll leave it at that. I want to avoid the situation with the young lady that came before you that said we could have possibly done something about it.

These trees according to the agreement have to be maintained and replaced when they die, is that happening?

Landscape Architect Meader said we hold the maintenance bond for two years and go back and inspect the trees to make sure they get any necessary replacements done. After that, then it becomes an Ordinance issue. We do request property owners replace their landscaping when it dies, sometimes they do and sometimes they don't.

Member Lynch said we approve these projects and landscaping plans, and then assume it's going to live in perpetuity and it doesn't. Then what recourse do we take? We go through these plans and say it looks great. A lot of the times we approve these plans because they're going to put some landscaping in to isolate the neighbors. I'm just curious on what do we have written on for this particular project that's says they're going to have to replace those trees when they die.

Landscape Architect Meader said that's part of the standard maintenance. It's part of the Landscape Ordinance that all landscaping is kept up to the standard of the final approved site plan. Also, I've lately been saying if it's an established project, any landscape missing from the original site plan must be replaced as part of this project.

Member Lynch said other than that, I guess I don't have a problem approving the entire thing.

Member Gronachan said I just want to confirm something in regards to the lighting. I was a part of this back on the Zoning Board in 2001, so I do remember there being issues and questions about lighting. I just want to make sure that with the addition of this project there's not going to be any negative impact on the existing area because there's a lot more houses there now than there were back when this project started.

Planner Bell said we did look at a preliminary lighting plan and we've asked them to include the existing lighting. It looked like the proposed lighting was shown on the plans so we asked them to show the existing as well but none of the photometrics show any light at the property lines.

Member Gronachan said I just wanted to confirm that and I am in full support of this.

Motion made by Member Gronachan and seconded by Member Avdoulos.

ROLL CALL VOTE TO APPROVE THE PRELIMINARY SITE PLAN OF OAK POINT CHURCH ADDITION JSP19-44 MADE BY MEMBER GRONACHAN AND SECONDED BY MEMBER AVDOULOS.

In the matter of Oak Pointe Church Addition, JSP19-44, motion to approve the Preliminary Site Plan and revised Phasing Plan based on and subject to the following:

- a. Fourteen previously approved bicycle parking spaces shall be included on the Final Site Plan submittal;
- b. Landscape waiver for location of building foundation landscaping away from building, *as it will be located nearby, and total required area shall be provided, which is hereby granted;*
- c. A Section 9 façade waiver for an overage of Perforated Corrugated Metal Panels on the south, east and north facades of the addition, *because the design is consistent with the intent and purpose of the ordinance, which is hereby granted;*

- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

Motion made by Member Gronachan and seconded by Member Lynch.

ROLL CALL VOTE TO APPROVE THE STORM WATER MANAGEMENT PLAN OF OAK POINT CHURCH ADDITION JSP19-44 MADE BY MEMBER GRONACHAN AND SECONDED BY MEMBER LYNCH.

In the matter of Oak Pointe Church Addition, JSP19-44, motion to approve the Storm Water Management Plan, subject to the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and items listed in those letters being addressed on the Final Site Plan. *Motion carried 6-0.*

2. GUERNSEY FARMS DAIRY REMODEL JSP 19-41

Consideration at the request of McGuire Brothers, LLC for Planning Commission's approval of Preliminary Site Plan and Storm Water Management plan. The subject property is located eastside of Novi Road north of Eight Mile Road. The applicant is proposing to make some interior changes to restaurant seating layout and outdoor seating area. The plan also proposes a number of changes to exterior site layout and traffic circulation by reducing the number of curb cuts along Novi Road. It also proposes an alternate location for 'Welcome to Novi' sign along its frontage.

Planner Komaragiri said I think I can safely say we all know where Guernsey Farms Dairy is located. Guernsey is celebrating their 80th anniversary this year and is proposing some upgrades to the interior and exterior of their facility. The subject property is currently zoned B-3, General Business, and is located at the Novi and Northville boundary. It is surrounded by B-3 to the north and R-4, One Family Residential, to the east and residential and retail to the west in the City of Northville. All the surrounding uses are well established and are unlikely to change.

The subject property has an existing single story building. Guernsey Farms Dairy along with its restaurant occupies approximately one-fifth of the building and the warehouse along with the ice-cream processing center occupies the rest. The applicant is proposing to make some interior changes to the restaurant seating layout and add approximately 18 seats outdoors. The restaurant offers carry-out and sit-down service. Alcohol service is proposed to be provided inside the restaurant only. The site plan also proposes a number of changes to the exterior site layout.

They currently have three curb cuts along Novi Road. The site plan is proposing to eliminate the middle curb cut and move the southern entrance farther south. Due to the relocation of the southern curb cut they are proposing to relocate the 'Welcome to Novi' sign to another location that staff approves of at time of Final Site Plan. As you can see, it appears that a part of the loading area and some of the existing landscaping encroaches onto the railroad right-of-way. The current site plan is not proposing any changes in that area. Current site plan approval does not include approval of the pre-existing conditions. The owners are still investigating any possible easement that may exist with the railroad right-of-way or if an additional easement is required. As noted in the