



CENTRAL PARK ESTATES SOUTH JSP23-22

CENTRAL PARK ESTATES SOUTH JSP 23-22

Public hearing at the request of Nobe Property Group II, LLC for JSP 23-22 Central Park Estates South for Preliminary Site Plan, Wetland Permit, Woodland Permit and Storm Water Management Plan. The subject property is zoned RM-2 (High Density Mid Rise Multiple Family) and is approximately 7 acres. It is located south of Grand River Avenue on the east side of Beck Road, in Section 16. The applicant is proposing a multifamily development with 142 units in a single 5-story building. The site improvements include parking on the first level of the building as well as surface parking, and related open space amenities.

Required Action

Approval or denial of Preliminary Site Plan, Wetland Permit, Woodland Permit, and Storm Water Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Conditional Approval recommended	9-22-23 Revised	Planning Commission determinations on: <ul style="list-style-type: none"> • Shared Usable Open Space • Shared Parking Zoning Board of Appeals (ZBA) variances to allow: <ul style="list-style-type: none"> • Building length of 261 feet (180 feet maximum allowed) • 11.5-foot parking setback along the north (20 feet required) • Parking spaces located 17 feet from the building (25 feet minimum required) • Terraces and walking path with dimensions less than 50 feet to count toward required Usable Open Space • Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval recommended	9-15-23 Revised	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	Conditional Approval recommended	8-3-23	<ul style="list-style-type: none"> • Waiver for lack of greenbelt berm (<i>Supported as significant landscaping and detention pond screen from the road</i>) • Items to be addressed by the applicant prior to Final Site Plan approval
Woodlands	Approval recommended	9-5-23 revised	<ul style="list-style-type: none"> • Woodland permit required • Conservation easement to protect woodland tree replacements
Wetlands	Approval Not recommended	9-22-23 revised	<ul style="list-style-type: none"> • Wetland permit required • Off-site wetland mitigation plans require City Council approval in Conservation Easement • Items to be addressed by the applicant prior to Final Site Plan approval

Traffic	Approval recommended	8-8-23	<ul style="list-style-type: none">• Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Approval recommended	9-12-23 Revised	<ul style="list-style-type: none">• Façade is in full compliance with the ordinance, material sample board approval required
Fire	Conditional Approval recommended	7-27-23	<ul style="list-style-type: none">• Items to be addressed by the applicant prior to Final Site Plan approval

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Central Park Estates South JSP23-22, motion to approve the Preliminary Site Plan based on and subject to the following:

1. A determination that a portion of the off-site Central Park Estates open space amenities may count toward the total amount of usable open space required, as the original plans for the properties were to share amenities, provided that a formal agreement that the spaces are shared in perpetuity is provided at the time of final site plan in a form approved by the City Attorney.
2. A determination that 8 parking spaces located on the site of the adjacent Central Park Estates property may be shared between the developments, as the applicant has provided a draft agreement to share those spaces, which were not required at the time of approval of the original site plan. Such agreement will be reviewed by the City Attorney at the time of final site plan approval, and must be recorded prior to approval of final stamping sets.
3. Landscape waiver from Sec. 5.5.3.B.ii for lack of a greenbelt berm along Beck Road, due to the location of the stormwater pond, and because significant landscaping is provided to screen the building, which is hereby granted;
4. The following will require Zoning Board of Appeals approval:
 - a. Variance from Section 3.8.2.C to exceed the maximum building length of 180 feet by 81 feet (261-foot length proposed).
 - b. variance from section 3.6.2.B and 3.8.2.F to allow a 11.5-foot parking setback at the northern property line (20 feet required).
 - c. variance from section 5.10.1.B.iv to allow parking spaces within 17 feet of a building (25 feet required).
 - d. variance from the definition of Usable Open Space, to allow spaces less than 50-foot dimensions (terraces and walking path) to count toward the required space.
5. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
6. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-AND-

Approval – Wetland Permit

In the matter of Central Park Estates South JSP23-22, motion to **approve** the Wetland Permit based on and subject to the following:

- a. The size of the mitigation area will be adjusted to fulfill the requirements for mitigation under the Code of Ordinances;
- b. Any area of mitigation outside of the existing Conservation Easement will be protected in a new conservation easement;
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- d. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 12 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-AND-

Approval – Woodland Permit

In the matter of Central Park Estates South JSP23-22, motion to **approve** the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-AND-

Approval – Stormwater Management Plan

In the matter of Central Park Estates South JSP23-22, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Preliminary Site Plan

In the matter of Central Park Estates South JSP23-22, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

Denial- Wetland Permit

In the matter of Central Park Estates South JSP23-22, motion to **deny** the Wetland Permit... *(because the plan is not in compliance with Chapter 12 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

-AND-

Denial – Woodland Permit

In the matter of Central Park Estates South JSP23-22, motion to **deny** the Woodland Permit... *(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance)*

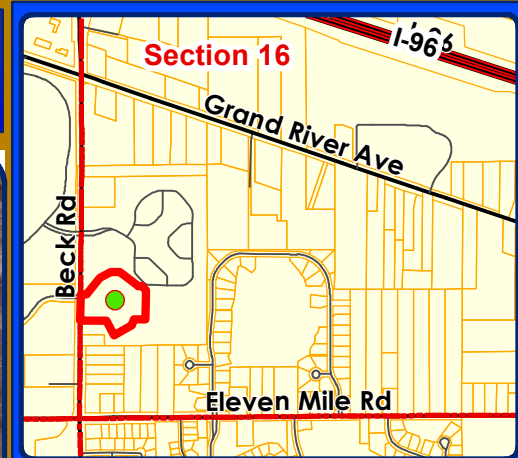
-AND-

Denial – Stormwater Management Plan

In the matter of Central Park Estates South JSP23-22, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features

CENTRAL PARK ESTATES SOUTH LOCATION




LEGEND

 Subject Property

**City of Novi**
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

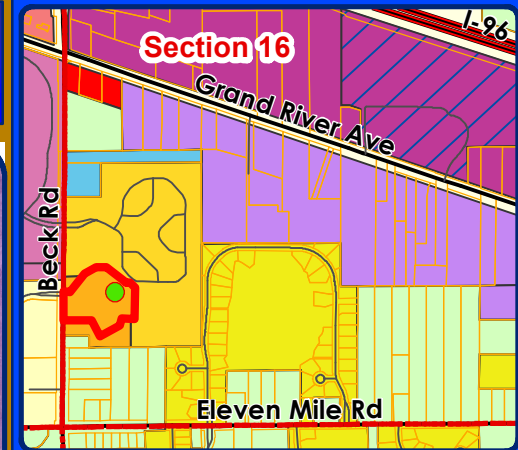
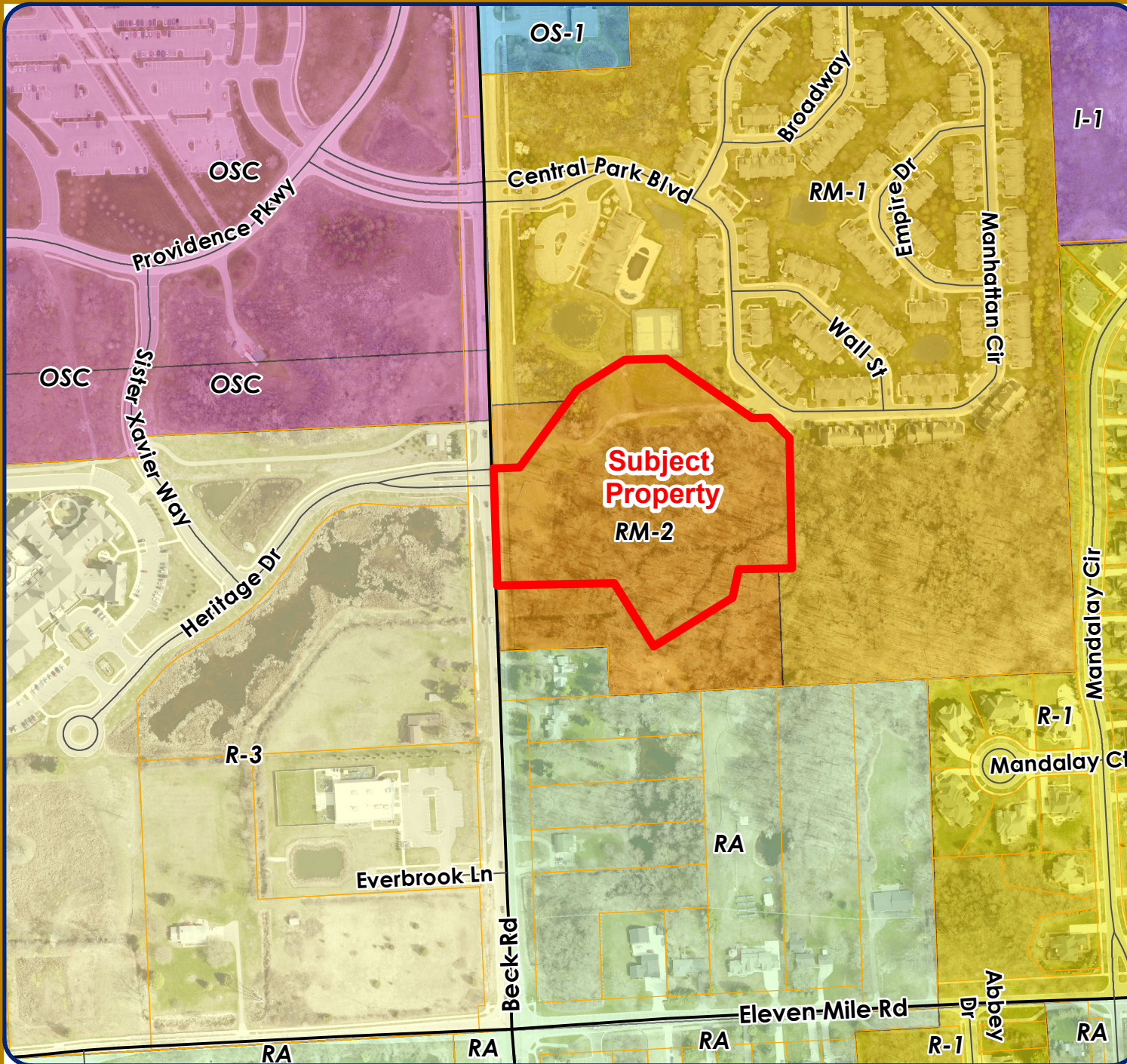
Map Author: Lindsay Bell
Date: 9/22/23
Project: CENTRAL PARK ESTATES SOUTH
Version #: 1

0 70 140 280 420 Feet
1 inch = 333 feet




MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

CENTRAL PARK ESTATES SOUTH ZONING




LEGEND

- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-3: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-2: Community Business District
- B-3: General Business District
- EXO: OST District with EXO Overlay
- FS: Freeway Service District
- I-1: Light Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- Subject Property


City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
 Date: 9/22/23
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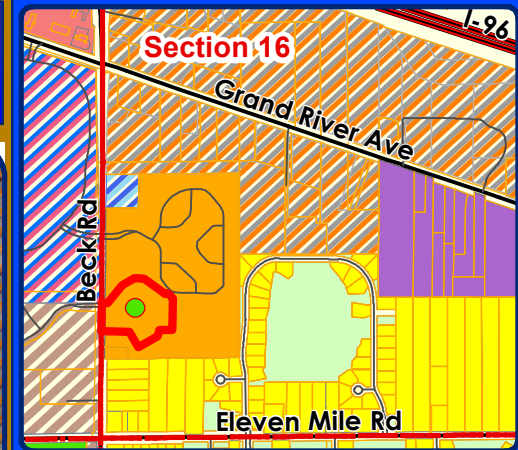
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CENTRAL PARK ESTATES SOUTH

FUTURE LAND USE





LEGEND

- Single Family
- Multiple-Family Residential
- Suburban Low-Rise
- Community Office
- Office, Research, Development and Technology
- Office Commercial
- Industrial, Research, Development and Technology
- Local Commercial
- City West
- Educational Facility
- Public Park
- Private Park
- Subject Property


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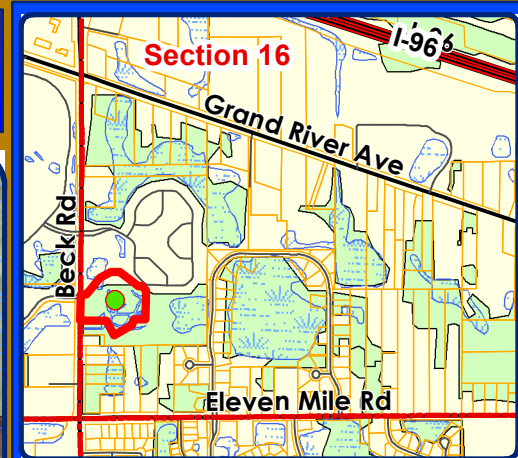
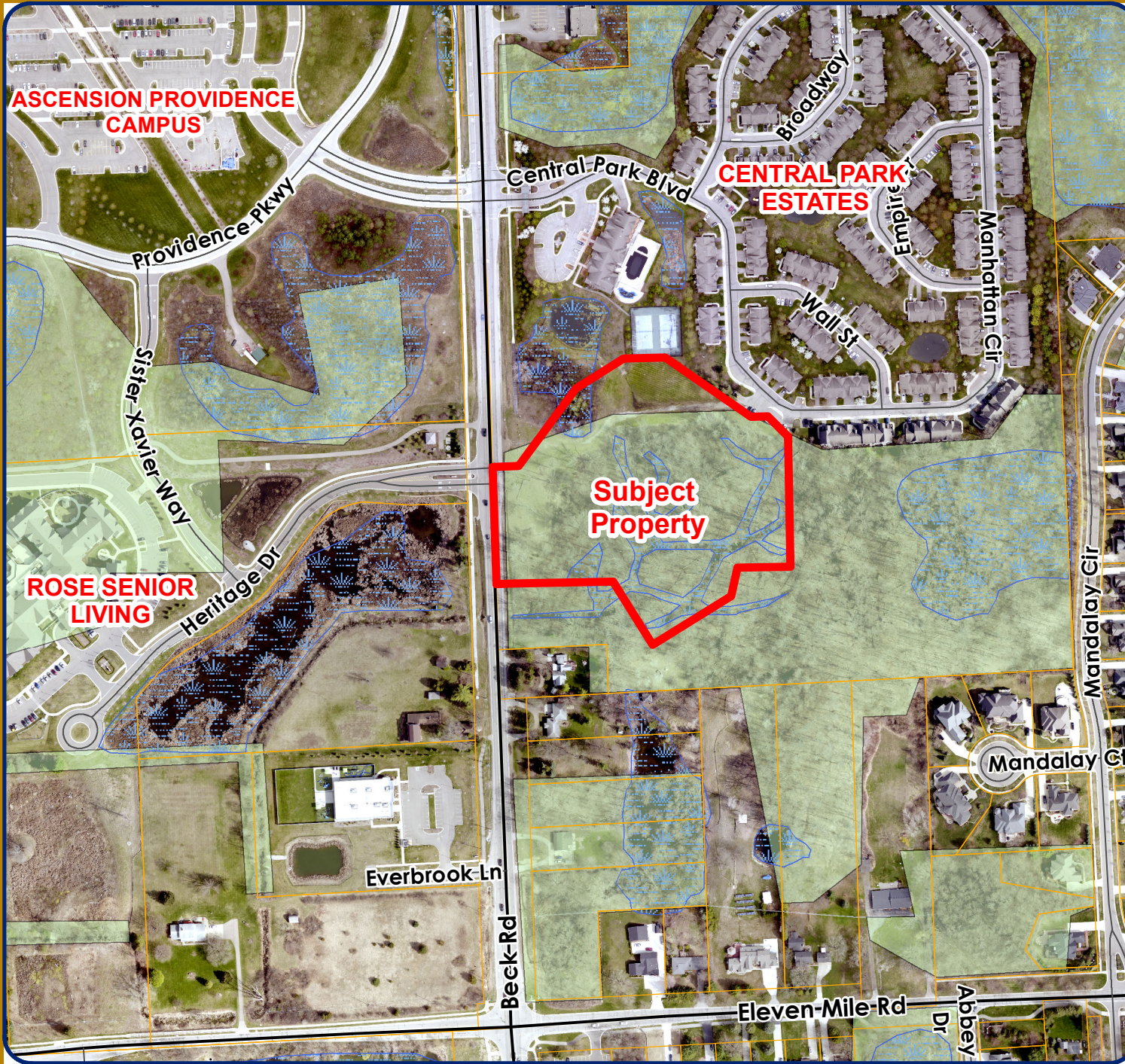


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CENTRAL PARK ESTATES SOUTH

NATURAL FEATURES




LEGEND

-  WETLANDS
-  WOODLANDS
-  Subject Property

CITY OF NOVI
 City of Novi
 Dept. of Community Development
 City Hall / Civic Center
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 Novi, MI 48375
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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



Illustrative Site Plan

Central Park South - Novi, Michigan

September 21, 2023



NOTE TO BUILDING OFFICIAL:
THIS DRAWING IS NOT VALID
UNLESS THE SIGNATURE AND
SEAL ARE IN BLUE INK



Alexander V. Bogart & Associates, P.C. • Architecture • Planning • Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248 • 334 • 5000

CLIENT PROJECT
 BOYMAN
 CENTRAL PARK SOUTH
 NOV/1, 2024

SHEET TITLE
 RENDERINGS

DRAWN BY: []
 INK: []
 FILE NAME: []
 CHECKED BY: []
 JOB NUMBER: 2440
 DATE: 08/25/2024
 SHEET NUMBER: A3

REVISIONS
 SPA Revision 2 - 08/25/2024

CONSTRUCTION
 PERMITS
 BIDS
 PRELIMINARY
 SPA: 08/25/2024
 PREPARED BY:
 ALEXANDER V. BOGART & ASSOCIATES, P.C.

EXTERIOR MATERIAL & FINISH LEGEND					
KEY NO.	MATERIAL	MANUFACTURER	NAME/DESCRIPTION/COLOR	SIZE	NOTES
1	Brick 1	Summit Brick	Askan White Smooth Texture	Modular	See elevations for additional info.
2	Brick 2	Mora Ceramica Brick	Silver Grey	Modular	See elevations for additional info.
3	Brick 3	Endicott Clay Products	Manganese Ironspot VeLOUR Texture	Modular	See elevations for additional info.
4	Scored EIFS - Color A		Match Sherwin Williams #SW 7005 Pure White		STO Milano Texture or equal
5	Scored EIFS - Color B		Match Sherwin Williams #SW 7669 Summit Gray		STO Milano Texture or equal
6	Scored EIFS - Color C		Match Sherwin Williams #SW 7069 Iron Ore		STO Milano Texture or equal
7	Scored EIFS - Color D		Match Sherwin Williams #SW 6693 Lily		STO Milano Texture or equal
8	Scored EIFS - Color E		Match Sherwin Williams #SW 6206 Oyster Bay		STO Milano Texture or equal
9	Fiber Cement Panel Color A	Hardie or similar	Match Sherwin Williams #SW 7005 Pure White		Smooth Texture, 5/8" Thickness
10	Fiber Cement Panel Color B	Hardie or similar	Match Sherwin Williams #SW 7669 Summit Gray		Smooth Texture, 5/8" Thickness
11	Fiber Cement Panel Color C	Hardie or similar	Match Sherwin Williams #SW 7069 Iron Ore		Smooth Texture, 5/8" Thickness
12	Fiber Cement Panel Color D	Hardie or similar	Match Sherwin Williams #SW 6693 Lily		Smooth Texture, 5/8" Thickness
13	Fiber Cement Panel Color E	Hardie or similar	Match Sherwin Williams #SW 6206 Oyster Bay		Smooth Texture, 5/8" Thickness
14	Roof Coping		Match Adjacent material color		
15	Enhanced Cornice	EIFS or similar	Match Sherwin Williams #SW 7005 Pure White		
16	Soffits	Exterior Plaster	To Match Siding Above		
17	Door Frames		Black		
18	Door Panels		Black		
19	Windows		Black		
20	Balcony Railings		Match Sherwin Williams #SW 7005 Pure White		
21	Balcony Fascia & Underside		Match Sherwin Williams #SW 7069 Iron Ore		
22	RoofTop Screens Metal Panels		ATAS Bone White 26 or similar		

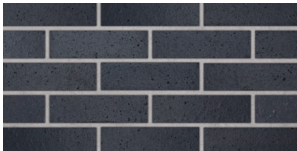
Note: Materials, features and suppliers used for this project may vary based on pricing and availability. All construction materials and features shall be of compatible style, appearance, color and quality to the materials listed and shown on the accompanying material board, and shall be indicated on the construction plans that will be submitted to the City for construction. All Window Trim surround to be integral.



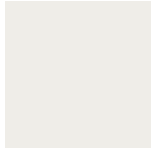
BRICK A
SUMMIT BRICK, ALASKAN WHITE
MODULAR, SMOOTH TEXTURE



BRICK B
MORA, SILVER GREY



BRICK C
ENDICOTT CLAY, MANGANESE IRONSPOT
VELOUR TEXTURE



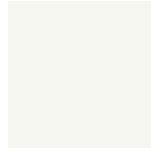
COLOR A
SW #7005 PURE WHITE



COLOR B
SW #7669 SUMMIT GRAY



COLOR C
SW #7069 IRON ORE



MECHANICAL EQUIPMENT SCREENING, METAL PANEL
COLOR: ATAS BONE WHITE 26



COLOR D
SW #6693 LILY



COLOR E
SW #6206 OYSTER BAY



COLOR F
BLACK

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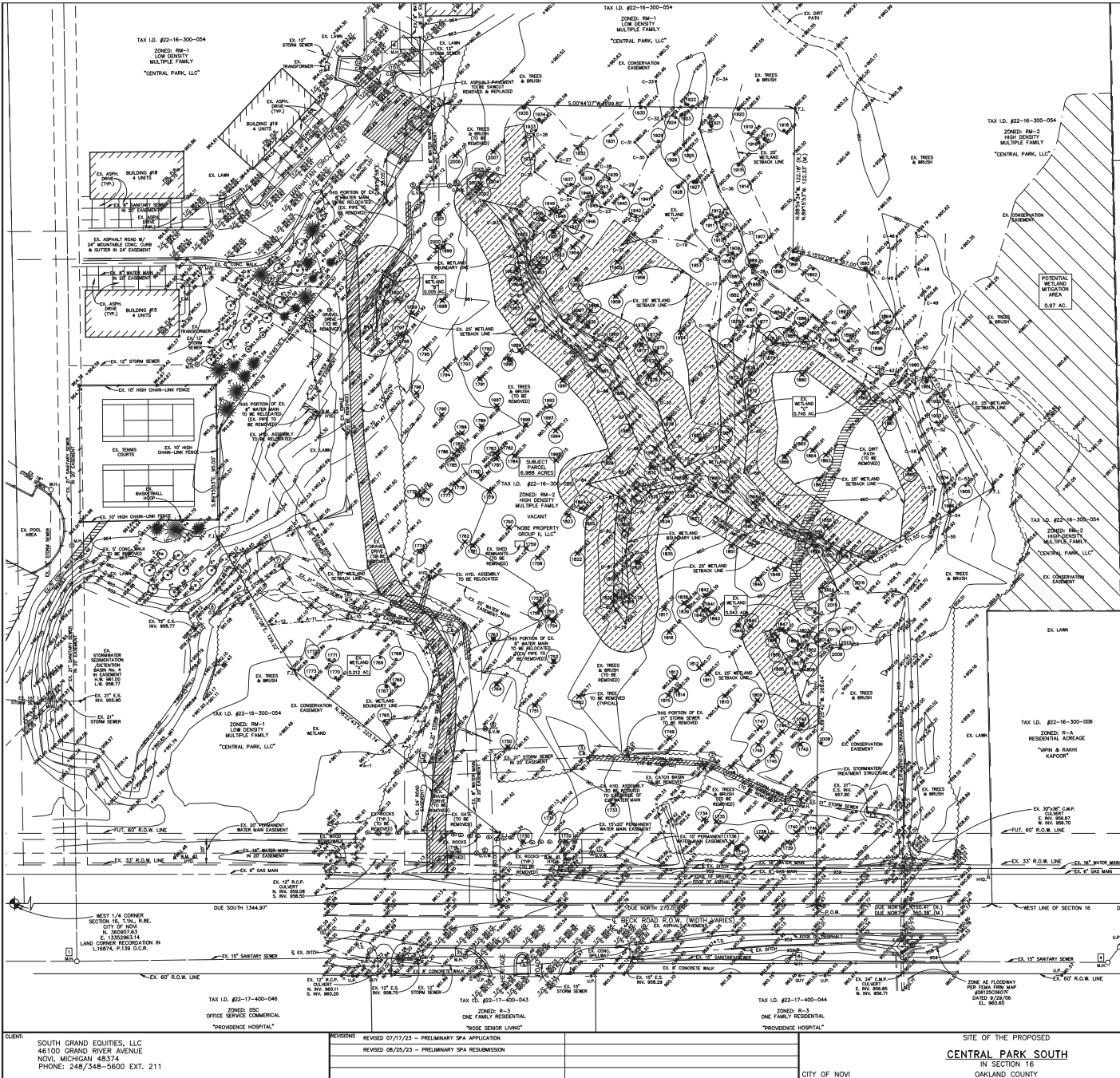
CLIENT PROJECT
 BOYMAN
 CENTRAL PARK SOUTH
 NOV, 1, 2024



DRAWN BY: []
 INK: []
 FILE NAME: []
 CHECKED BY: []
 DATE: []
 SHEET NUMBER: []
 A4

PRELIMINARY
 SPA: 18/23/2023

REVISIONS
 SPA Revision 2 - 08/23/2023

BOGARDTS + ASSOC.
 18/23/2023







LOCATION MAP
SCALE: 1"=1000'

LEGEND

- EXISTING ELEVATION
- EXISTING CONTOUR
- U.P. --- UTILITY POLE
- GUY --- GUY WIRE
- HD. --- HYDRANT
- G.V. --- GATE VALVE
- G.V.M. --- GATE VALVE AND WELL
- C.B. --- CATCH BASIN
- M.H. --- MANHOLE
- C.S. --- CURB STRUCTURE
- E.M. --- ELECTRIC METER
- G.M. --- GAS METER
- A.P. --- AMBUSH PEDESTAL
- T.S. --- TRAFFIC SIGN
- C.O.M. --- COMMUNICATION MANHOLE
- C.O.M. --- COMMUNICATION VAULT
- EXISTING DECIDUOUS TREE DIAMETER
- EXISTING CONIFEROUS TREE DIAMETER
- EXISTING TREE TO BE REMOVED
- F.I. --- FOUND IRON

SCALE: 1"=40'



BENCH MARKS

CITY OF NOVI #1742
"X" ON NORTH RM OF SANITARY MAIN LOCATED 1 FOOT EAST OF BEGINNING AND 172' NORTH OF DIME EXPRESS BECK RD. ELEVATION 861.04 (NVDG 29)

TAX ID. #22-16-300-046
ZONED: R-4 RESIDENTIAL ACREAGE
LOT 1
"ZADARY & PERA ROOFSHED"




8.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 67.4' SOUTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 862.84 (NVDG 29)



8.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278.3' NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 862.84 (NVDG 29)

8.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88.6' SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 862.84 (NVDG 29)
NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

PROPERTY DESCRIPTION - TAX ID. #20-22-16-300-005

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.4E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16 BEING SAID NORTH 10.00' FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE S89°24'15" W. 820.00 FEET; THENCE S89°24'15" W. 253.74 FEET; THENCE S46°02'07" W. 129.22 FEET; THENCE S46°15'24" W. 80.00 FEET; THENCE S43°40'18" W. 244.51 FEET; THENCE S89°24'15" W. 36.00 FEET; THENCE S46°02'07" W. 66.43 FEET; THENCE S46°02'07" W. 289.82 FEET; THENCE N88°24'34" W. 122.18 FEET; THENCE S49°22'08" W. 67.00 FEET; THENCE S49°22'08" W. 212.87 FEET; THENCE N43°07'57" W. 171.55 FEET; THENCE S46°02'07" W. 269.84 FEET TO THE POINT OF BEGINNING, CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

-  PROPOSED DELINEATED WETLAND IMPACT AREA 14,190 S.F. OR 0.32 AC.
-  PROPOSED OFFSITE WETLAND MITIGATION AREA 14,190 S.F. X 2 = 28,380 S.F. OR 0.65 AC. REQUIRED
-  PROPOSED 25' WETLAND SETBACK IMPACT AREA 50,471 S.F. OR 1.16 AC.

Know what's below.
Call before you dig.

NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022.
SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.

REVISIONS

REVISED 07/17/23 - PRELIMINARY SPA APPLICATION
REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

CLIENT: SOUTH GRAND EQUITIES, LLC
46100 GRAND RIVER AVENUE
NOVI, MICHIGAN 48274
PHONE: 248/248-5600 EXT. 211

CLIENT: TAX ID. #22-16-300-046
ZONED: R-4
OFFICE SERVICE COMMERCIAL
"PROVIDENCE HOSPITAL"

CLIENT: TAX ID. #22-17-400-048
ZONED: R-4
OFFICE SERVICE COMMERCIAL
"PROVIDENCE HOSPITAL"

CLIENT: TAX ID. #22-16-300-043
ZONED: R-3
ONE FAMILY RESIDENTIAL
"NOISE SENIOR LIVING"

CLIENT: TAX ID. #22-16-300-044
ZONED: R-3
ONE FAMILY RESIDENTIAL
"PROVIDENCE HOSPITAL"

CLIENT: TAX ID. #22-16-300-046
ZONED: R-4
RESIDENTIAL ACREAGE
"VINI & BARI KAPOOR"

CLIENT: TAX ID. #22-16-300-046
ZONED: R-4
RESIDENTIAL ACREAGE
LOT 1
"ZADARY & PERA ROOFSHED"

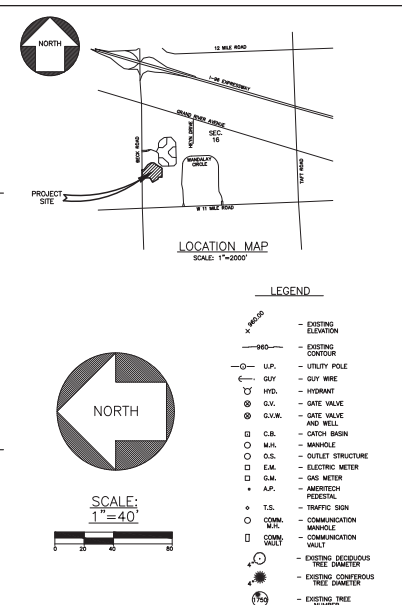
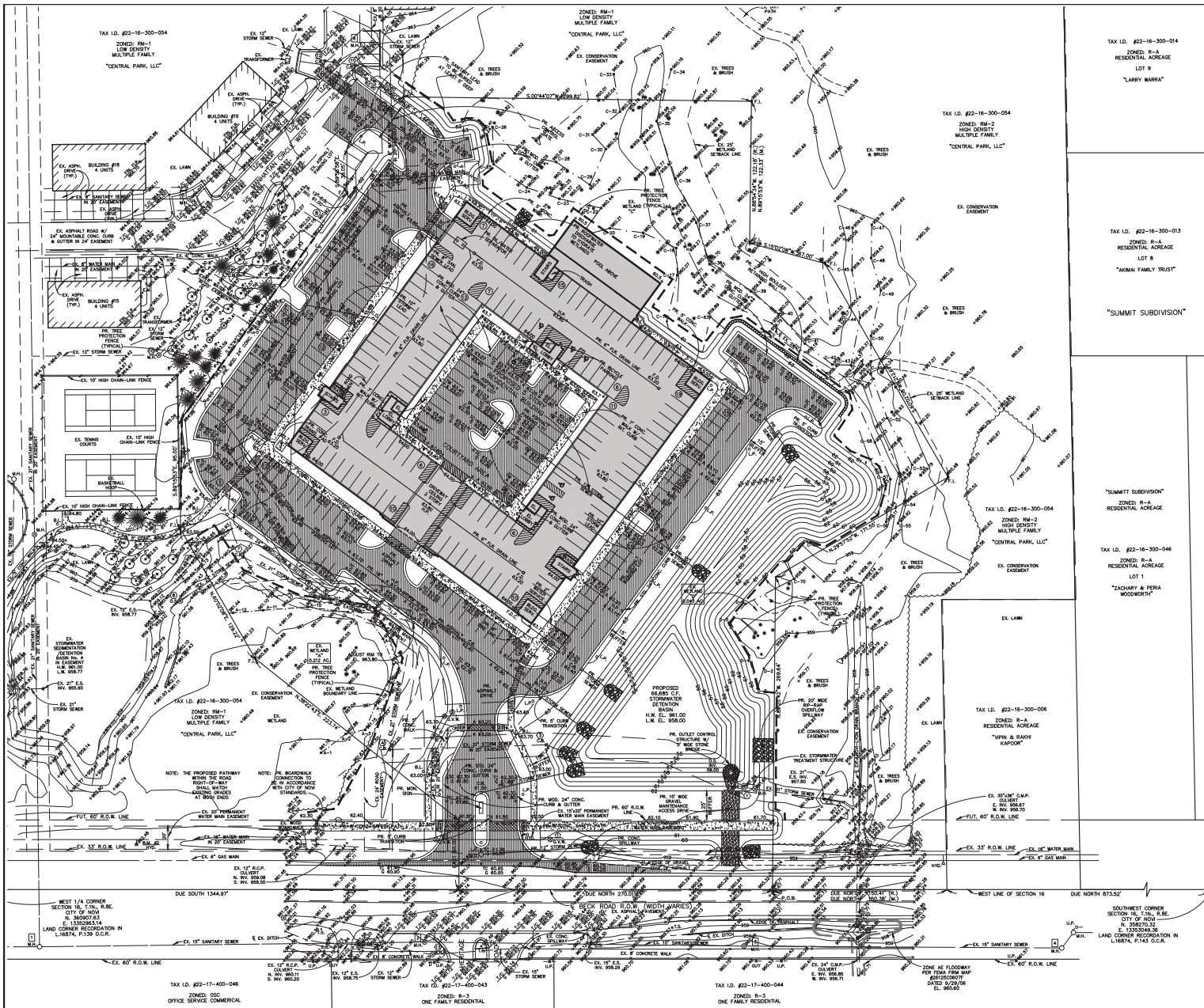
CLIENT: TAX ID. #22-16-300-046
ZONED: R-4
RESIDENTIAL ACREAGE
LOT 1
"ZADARY & PERA ROOFSHED"

CLIENT: TAX ID. #22-16-300-046
ZONED: R-4
RESIDENTIAL ACREAGE
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ZONED: R-4
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CLIENT: TAX ID. #22-16-300-046
ZONED: R-4
RESIDENTIAL ACREAGE
LOT 1
"ZADARY & PERA ROOFSHED"

CLIENT: TAX ID. #22-16-300-046
ZONED: R-4
RESIDENTIAL ACREAGE
LOT 1
"ZADARY & PERA ROOFSHED"



TAX ID. #22-16-300-014
 ZONED: R-3
 RESIDENTIAL ACREAGE
 LOT 9
 "LARRY WARRA"

TAX ID. #22-16-300-024
 ZONED: RM-2
 HIGH DENSITY MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX ID. #22-16-300-013
 ZONED: R-3A
 RESIDENTIAL ACREAGE
 LOT 8
 "KARMA FAMILY TRUST"

"SUMMIT SUBDIVISION"

TAX ID. #22-16-300-014
 ZONED: R-3
 RESIDENTIAL ACREAGE
 LOT 9
 "LARRY WARRA"

TAX ID. #22-16-300-024
 ZONED: RM-2
 HIGH DENSITY MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX ID. #22-16-300-013
 ZONED: R-3A
 RESIDENTIAL ACREAGE
 LOT 8
 "KARMA FAMILY TRUST"

"SUMMIT SUBDIVISION"

TAX ID. #22-16-300-046
 ZONED: R-3A
 RESIDENTIAL ACREAGE
 LOT 1
 "ZACHARY & PERLA WOODWORTH"

TAX ID. #22-16-300-008
 ZONED: R-3A
 RESIDENTIAL ACREAGE
 "NINA & DAVID KAPORIN"

TAX ID. #22-16-300-054
 ZONED: RM-1
 LOW DENSITY MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX ID. #22-16-300-054
 ZONED: RM-2
 HIGH DENSITY MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX ID. #22-16-300-054
 ZONED: RM-1
 LOW DENSITY MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX ID. #22-17-400-046
 ZONED: OSC
 OFFICE SERVICE COMMERCIAL
 "PROVIDENCE HOSPITAL"

TAX ID. #22-17-400-043
 ZONED: R-3
 ONE FAMILY RESIDENTIAL
 "PROVIDENCE HOSPITAL"

TAX ID. #22-17-400-044
 ZONED: R-3
 ONE FAMILY RESIDENTIAL
 "PROVIDENCE HOSPITAL"

LEGEND

- EXISTING ELEVATION
- EXISTING CONTOUR
- UTILITY POLE
- GUY WIRE
- HYD.
- G.V.
- G.V.W.
- C.B.
- M.M.
- O.S.
- E.M.
- G.M.
- A.P.
- T.S.
- COMM.
- COMM.
- COMM.
- EXISTING REDUCED TREE DIAMETER
- EXISTING CONTIGUOUS TREE DIAMETER
- EXISTING TREE NUMBER
- F.I.

SCALE: 1"=40'

BENCH MARKS

CITY OF NOVI #1742 "X" ON NORTH RM OF SANITARY MAN LOCATED 1 FOOT EAST OF BECKMAN AND 175' NORTH OF DRIVE EASSTO BECK. E.L. ELEVATION 86104 NWD 29 (ELEVATION 86072 NWD 88)

8.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON WEST SIDE OF BECK ROAD AND 87.5' SOUTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 86248 NWD 29

8.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 378.5' NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 86248 NWD 29

8.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 1620.0' SOUTH OF SOUTH DRIVE-LINK FENCE OF TENNIS COURT. ELEVATION 86538 NWD 29

(NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

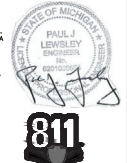
PROPERTY DESCRIPTION --- TAX ID. #22-16-300-008

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T14N, R3E, CITY OF NOVA, OAKLAND COUNTY, MICHIGAN (DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16 BEING THE NORTH 1203.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 65.00 FEET; THENCE S 64°24'36" W 124.74 FEET; THENCE N 62°02'07" W 129.82 FEET; THENCE S 69°15'37" W 95.00 FEET; THENCE S 52°42'17" W 240.51 FEET; THENCE S 60°02'16" W 122.18 FEET; THENCE S 102°02'16" W 171.55 FEET; THENCE S 60°24'42" W 269.64 FEET TO THE POINT OF BEGINNING, CONTAINING 6.888 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

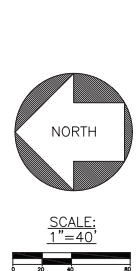
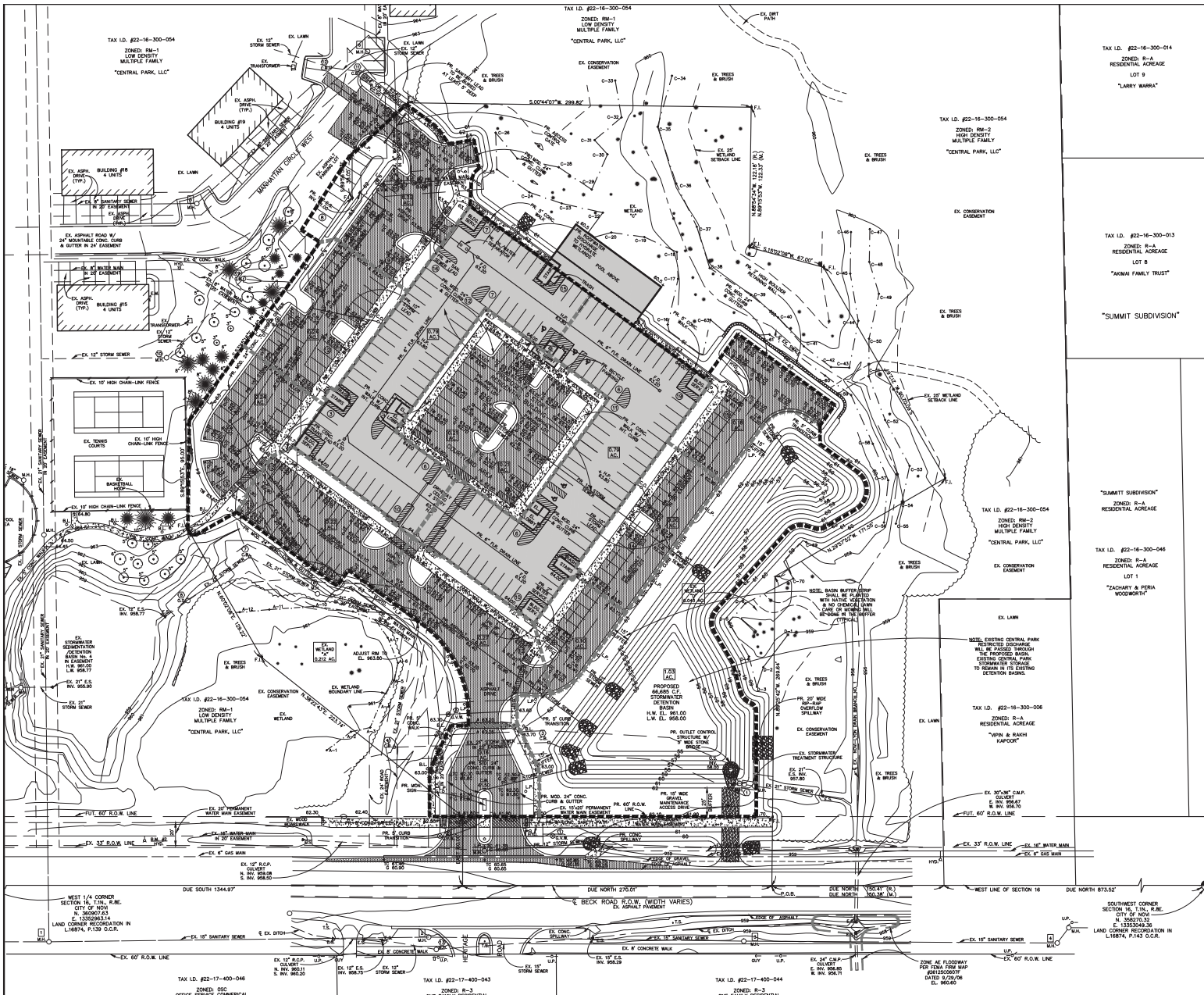
CONSTRUCTION NOTES

- 1.) ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
- 2.) A NEW SOIL EROSION AND SEDIMENTATION CONTROL PERMIT IS REQUIRED FROM THE CITY OF NOVI. DISTURBED AREA TO BE 5.23 ACRES, THEREFORE A NPDES/STATE STORMWATER PERMIT IS REQUIRED.
- 3.) THE SITE CONSTRUCTION AREA SHALL BE CLEARED AND CONFINED BY ALL EXISTING STRUCTURES. THE EXISTING ASPHALT PAVEMENT WITHIN THE CONSTRUCTION AREA SHALL BE PATCHED TO MATCH EXISTING. ALL EXISTING ASPHALT SHALL BE PATCHED TO MATCH EXISTING. PREPARED GRADING OR PAVEMENT AREAS SHALL BE CLEAN SOIL, FREE OF ANY VEGETATION OR ORGANIC MATERIALS AND SHALL BE PLACED IN 8" MAXIMUM LIFTS COMPACTED TO 98% OF MAXIMUM DENSITY PER MODIFIED PROCTOR TEST. THE PROPOSED GRADES SHOWN WITHIN LAWNS & LANDSCAPED AREAS ARE FINISHED GRADES & INCLUDE 4" TOPSOIL THICKNESS.
- 4.) ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL WATER MAINS SHALL HAVE MECHANICAL JOINT RESTRAINTS AND UNDRAGGED JOINTS. ALL WELLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWER SHALL HAVE M.C.S.L. JOINTS. ALL CONCRETE SAND BASKET UNITS SHALL BE PROVIDED FOR ALL VERTICAL CURVES IN PEAK ORVAL TRENCH IN FOUR DIRECTIONS FROM THE STRUCTURE.
- 5.) ALL UTILITY WITHIN THE INFLUENCE OF PAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS. ALL UTILITY WITHIN THE INFLUENCE OF UNPAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS. ALL UTILITY WITHIN THE INFLUENCE OF UNPAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS.
- 6.) ALL SANITARY SEWER LEAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. A BUILD-UP PERMIT IS NOT REQUIRED. NO EXISTING OR PROPOSED UTILITY STRUCTURES BEHIND EXISTING OR PROPOSED STRUCTURES SHALL BE CONSTRUCTED TO THE CITY OF NOVI ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWER SHALL HAVE M.C.S.L. JOINTS. ALL CONCRETE SAND BASKET UNITS SHALL BE PROVIDED FOR ALL VERTICAL CURVES IN PEAK ORVAL TRENCH IN FOUR DIRECTIONS FROM THE STRUCTURE.
- 7.) ALL UTILITY WITHIN THE INFLUENCE OF PAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS. ALL UTILITY WITHIN THE INFLUENCE OF UNPAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS.
- 8.) ALL UTILITY WITHIN THE INFLUENCE OF UNPAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS.
- 9.) ALL UTILITY WITHIN THE INFLUENCE OF UNPAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS.
- 10.) ALL UTILITY WITHIN THE INFLUENCE OF UNPAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS.
- 11.) THE PROPOSED GRADES SHOWN WITHIN PAVED AREAS ARE FINISHED PAVEMENT GRADES. DRIVE AND PARKING LOT PROMENTERS TO HAVE 24" STANDED OR NOTCHED CONCRETE DRIVE ASPHALT PAVEMENT SHALL HAVE 10" 4" I.C. BLEEDER SHOW IN PEAK ORVAL TRENCH IN FOUR DIRECTIONS FROM THE STRUCTURE.
- 12.) ALL UTILITY WITHIN THE INFLUENCE OF UNPAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS.
- 13.) ALL UTILITY WITHIN THE INFLUENCE OF UNPAVED AREAS SHALL BE FULL 20 FOOT LENGTH OF WATER MAIN AND AT LEAST 18 INCHES OF RISE OVER THE FULL 20 FOOT LENGTH OF CONCRETE SAND BASKET UNITS.

CLIENT: SOUTH GRAND EQUITIES, LLC 46100 GRAND RIVER AVENUE NOVI, MICHIGAN 48274 PHONE: 248/348-3600 EXT. 211	REVISIONS REVISED 07/17/23 - PRELIMINARY SPA APPLICATION REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION	SITE OF THE PROPOSED CENTRAL PARK SOUTH IN SECTION 16 OAKLAND COUNTY	MICHIGAN	 Environmental engineers, inc. 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075 PHONE: 248/424-9510 FAX: 248/424-2954	CLIENT PROJECT NO.: PROJECT NO.: 2235
		CITY OF NOVI			DATE ISSUED: 06/21/23



Know what's below. Call before you dig.



- LEGEND**
- EXISTING ELEVATION
 - - - EXISTING CONTOUR
 - U.P. — UTILITY POLE
 - G.W. — GUY WIRE
 - H.W. — HIGHWAY
 - G.V. — GATE VALVE
 - G.V.M. — GATE VALVE AND MANTLE
 - C.B. — CATCH BASIN
 - M.H. — MANHOLE
 - O.S. — OUTLET STRUCTURE
 - E.M. — ELECTRIC METER
 - G.M. — GAS METER
 - A.P. — AMERICAN PIPERSTAL
 - T.S. — TRAFFIC SIGN
 - C.M. — COMMUNICATION MANHOLE
 - C.M. — COMMUNICATION MANHOLE
 - EXISTING REDUCED TREE DIAMETER
 - EXISTING CONFERENTIAL TREE DIAMETER
 - EXISTING TREE TO BE REMOVED
 - F.I. — FOUND IRON

TAX ID. #22-16-300-014
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 9
 "LARRY BARRA"

TAX ID. #22-16-300-013
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 8
 "MANN FAMILY TRUST"

TAX ID. #22-16-300-012
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 7
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-011
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 6
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-010
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 5
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-009
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 4
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-008
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 3
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-007
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 2
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-006
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 1
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-005
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 1
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-004
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 1
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-003
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 1
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-002
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 1
 "SUMMIT SUBDIVISION"

TAX ID. #22-16-300-001
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 1
 "SUMMIT SUBDIVISION"

PROPOSED STORMWATER DETENTION BASIN DESIGN CALCULATIONS

DETENTION VOLUME REQUIRED
 USE OAKLAND COUNTY DRAIN COMMISSIONERS FORMULA TO DETERMINE REQUIRED DETENTION VOLUME FOR 100 YR. STORM PER CITY OF NOW STORMWATER MANAGEMENT ORDINANCE. CALCULATE FIRST FLUSH & BANK FULL VOLUMES BASED ON CITY OF NOW STORMWATER MANAGEMENT ORDINANCE FORMULAS.

WEIGHTED = $3.70 AC(0.80) + 0.45 AC(0.30) + 0.28(1.00) = 0.90$
 COEFFICIENT
 $Q_p = \frac{1.48 \text{ (AC)}^{0.775}}{0.56} = 1.167$ WHERE: $Q_p = (AC(0.6) \times 0.15 \text{ CFS/AC})$
 $Q_p = \frac{1.48 (4.52 \text{ AC})^{0.775}}{0.56} = 0.1667$
 $T_{60} = 25 + \frac{1.0(1.167)}{0.01} = 224 \text{ MIN.}$
 $T_{60} = 25 + \frac{1.0(1.167)}{0.01} = 224 \text{ MIN.}$

$V_{60} = 18,000(224) = 4,032,000 \text{ GALLONS}$
 $V_{60} = 16,000(224) = 3,584,000 \text{ GALLONS}$
 $V_{60} = 15,000(224) = 3,360,000 \text{ GALLONS}$
 $V_{60} = 14,000(224) = 3,136,000 \text{ GALLONS}$
 $V_{60} = 13,000(224) = 2,912,000 \text{ GALLONS}$
 $V_{60} = 12,000(224) = 2,688,000 \text{ GALLONS}$
 $V_{60} = 11,000(224) = 2,464,000 \text{ GALLONS}$
 $V_{60} = 10,000(224) = 2,240,000 \text{ GALLONS}$
 $V_{60} = 9,000(224) = 2,016,000 \text{ GALLONS}$
 $V_{60} = 8,000(224) = 1,792,000 \text{ GALLONS}$
 $V_{60} = 7,000(224) = 1,568,000 \text{ GALLONS}$
 $V_{60} = 6,000(224) = 1,344,000 \text{ GALLONS}$
 $V_{60} = 5,000(224) = 1,120,000 \text{ GALLONS}$
 $V_{60} = 4,000(224) = 896,000 \text{ GALLONS}$
 $V_{60} = 3,000(224) = 672,000 \text{ GALLONS}$
 $V_{60} = 2,000(224) = 448,000 \text{ GALLONS}$
 $V_{60} = 1,000(224) = 224,000 \text{ GALLONS}$

FIRST FLUSH VOLUME REQUIRED
 $V_{60} = 1.815(AC)(0.80) = 7.383 \text{ CU. FT. REQUIRED}$

BANK FULL VOLUME REQUIRED
 $V_{60} = 5.160(AC)(0.80) = 20.881 \text{ CU. FT. REQUIRED}$

DETENTION VOLUME PROVIDED

CONCRETE	AREA BELOW CONCRETE	AVERAGE DEPTH	VOLUME BETWEEN	CUMULATIVE
950.0 (BOT)	5,854 S.F.	6.802 S.F. + 1.0 FT. = 6.802 C.F.		
950.0 (TOP)	15,114 S.F.	8.832 S.F. + 1.0 FT. = 8.832 C.F.		
950.0 (L-R)	12,982 S.F.	15.630 S.F. + 1.0 FT. = 15.630 C.F.		
950.0 (L-R)	12,795 S.F.	15.630 S.F. + 1.0 FT. = 15.630 C.F.		
DETENTION BASIN VOLUME PROVIDED = 30,864 CU. FT. > 7,383 C.F. A ACCEPTABLE				

DETENTION BASIN
 CONCRETE AREA BELOW CONCRETE AVERAGE DEPTH VOLUME BETWEEN CUMULATIVE
 950.0 (L-R) 16,775 S.F. 18,555 S.F. + 1.0 FT. = 18,555 C.F. 18,555 C.F.
 950.0 22,535 S.F. 22,535 S.F. + 1.0 FT. = 22,535 C.F. 41,090 C.F.
 950.0 (H-R) 24,335 S.F. 24,335 S.F. + 1.0 FT. = 24,335 C.F. 65,425 C.F.
 950.0 27,655 S.F. 27,655 S.F. + 1.0 FT. = 27,655 C.F. 93,080 C.F.
 950.0 31,075 S.F. 31,075 S.F. + 1.0 FT. = 31,075 C.F. 124,155 C.F.
 DETENTION BASIN VOLUME PROVIDED = 66,685 CU. FT. > 54,308 C.F. A ACCEPTABLE

PRE-DEVELOPMENT/POST-DEVELOPMENT DISCHARGE RATE CALCULATION
 DEVELOPED PORTION OF SITE READY TO BE DEDICATED TO PROPOSED DETENTION BASIN = 4.52 ACRES
 UNDEVELOPED PORTION OF SITE READY TO CONTINUE TO FLOW TO ADJACENT WETLANDS = 2.62 ACRES
 TOTAL NET SITE AREA = 7.14 ACRES

PRE-DEVELOPMENT (0.30)(275)(6.82) = 12.14 CFS
 DISCHARGE

POST-DEVELOPMENT (0.30)(275)(2.10) = 3.85 CFS
 DISCHARGE
 4.52 AC(0.15 CFS/AC) = 0.68 CFS
 TOTAL = 4.53 CFS



Know what's below. Call before you dig.

CLIENT: SOUTH GRAND EQUITIES, LLC
 46100 GRAND RIVER AVENUE
 NOV, MICHIGAN 48374
 PHONE: 248/348-5600 EXT. 211

REVISIONS
 REVISED 07/17/23 - PRELIMINARY SPA APPLICATION
 REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

TAX ID. #22-17-400-046
 ZONED: OSC
 OFFICE SERVICE COMMERCIAL
 "PROVIDENCE HOSPITAL"

TAX ID. #22-17-400-043
 ZONED: R-3
 ONE FAMILY RESIDENTIAL
 "NOSE SENIOR LIVING"

TAX ID. #22-17-400-044
 ZONED: R-3
 ONE FAMILY RESIDENTIAL
 "PROVIDENCE HOSPITAL"

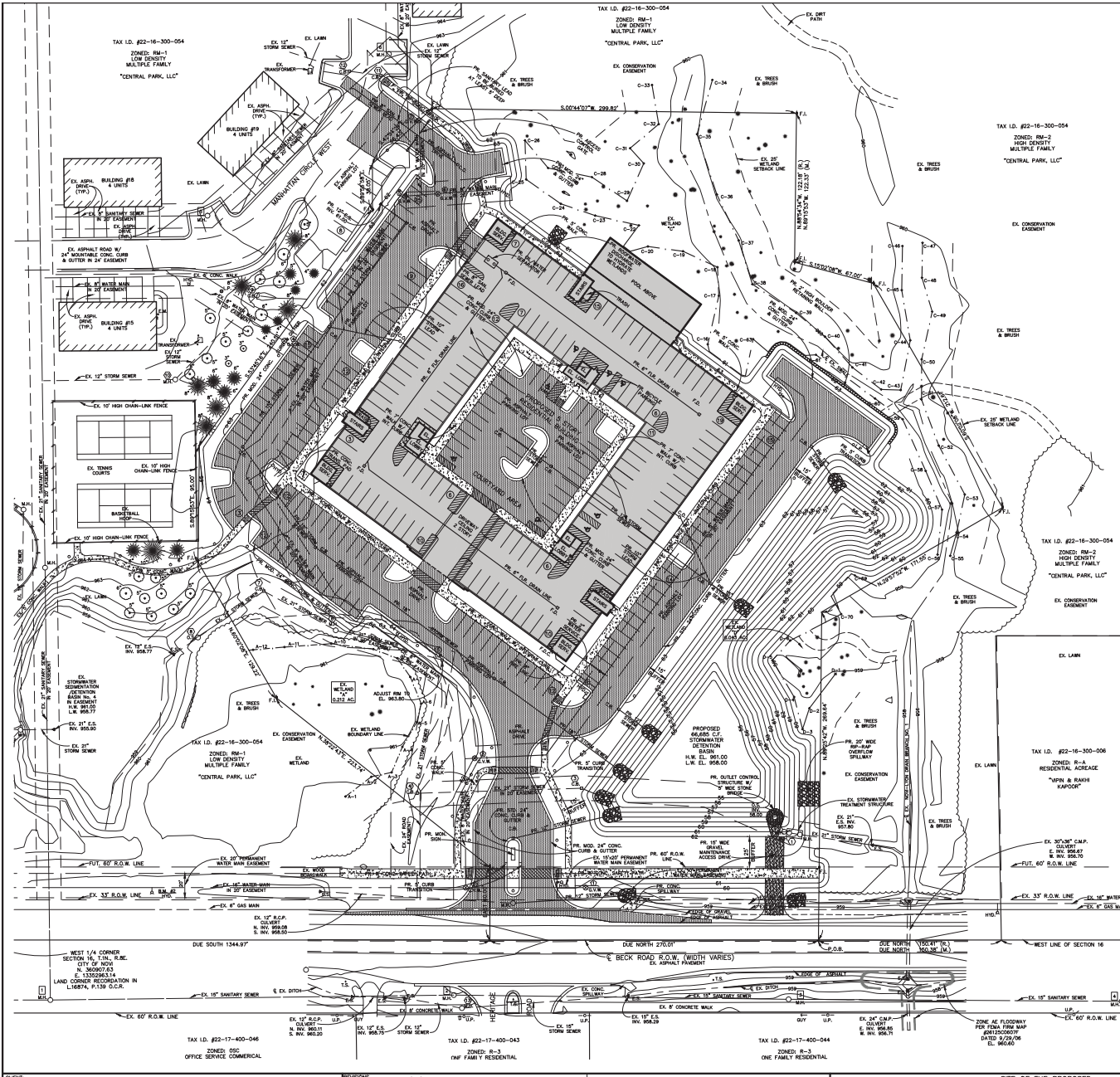
SITE OF THE PROPOSED
CENTRAL PARK SOUTH
 IN SECTION 16
 OAKLAND COUNTY

PRELIMINARY SITE STORMWATER MANAGEMENT PLAN
 Environmental engineers, Inc.
 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075
 PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT NO.: 2235
 PROJECT NO.: 2235
 DATE ISSUED: 06/21/23
 SHEET NO.: C-4

CITY OF NOV

MICHIGAN



TAX ID. #22-16-300-014
 ZONED: R-8
 RESIDENTIAL ACREAGE
 LOT 9
 "LARRY WARRAT"

TAX ID. #22-16-300-054
 ZONED: RM-2
 HIGH DENSITY
 MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

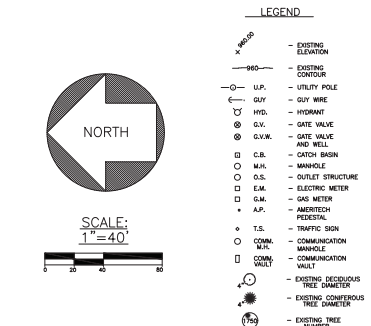
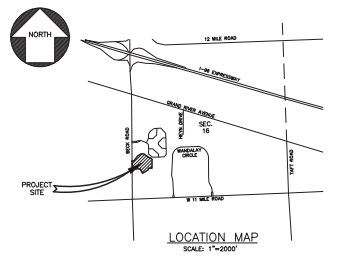
TAX ID. #22-16-300-013
 ZONED: R-8
 RESIDENTIAL ACREAGE
 LOT 8
 "ANAM FAMILY TRUST"

TAX ID. #22-16-300-048
 ZONED: R-8
 RESIDENTIAL ACREAGE
 LOT 1
 "JAGHART & PERA WOODCRAFT"

TAX ID. #22-16-300-054
 ZONED: RM-2
 HIGH DENSITY
 MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX ID. #22-16-300-048
 ZONED: R-8
 RESIDENTIAL ACREAGE
 LOT 1
 "JAGHART & PERA WOODCRAFT"

TAX ID. #22-16-300-006
 ZONED: R-8A
 RESIDENTIAL ACREAGE
 "WORN & RAKH KAPOOR"



BENCH MARKS
 CITY OF NOVI #1742 "X" ON NORTH W/ OF SANITARY MAN LOCATED 1 FOOT EAST OF
 BECKMAN AND 172 NORTH OF DRIVE EAST 852.00
 ELEVATION 86104 NAD 29 (ELEVATION 86072 NAD 83)
 B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK
 ROAD AND 87.5' NORTHWEST OF NORTHWEST PROPERTY CORNER.
 ELEVATION 98248 NAD 29
 B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK
 ROAD AND 272.3' NORTHWEST OF NORTHWEST PROPERTY CORNER.
 ELEVATION 98248 NAD 29
 B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND
 ELEVATION 98248 NAD 29
 NOTE: (SUBTRACT 0.32' TO CONVERT TO NAD 83 DATUM)

PROPERTY DESCRIPTION - TAX ID. #22-16-300-006
 PART OF THE SOUTHWEST 1/4 OF SECTION 16, T14N, R16E, CITY OF NOVA, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16 BEING THE NORTH 125.53' FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 65.00 FEET; THENCE S 82.274° E 124.74 FEET; THENCE S 20° 07' 08" E 129.22 FEET; THENCE S 89° 15' 37" E 90.00 FEET; THENCE S 24° 24' 07" E 240.51 FEET; THENCE S 80° 07' 08" E 240.51 FEET; THENCE S 24° 24' 07" E 66.43 FEET; THENCE S 20° 07' 08" E 290.82 FEET; THENCE N 88° 24' 34" E 122.18 FEET; THENCE S 10° 02' 00" E 47.00 FEET; THENCE S 80° 07' 08" E 22.68 FEET; THENCE N 82° 27' 07" E 171.55 FEET; THENCE N 82° 27' 07" E 269.64 FEET TO THE POINT OF BEGINNING, CONTAINING 0.888 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

- CONSTRUCTION NOTES**
1. ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
 2. A NEW SOLID EROSION AND SEDIMENTATION CONTROL PERMIT IS REQUIRED FROM THE CITY OF NOVI. DISTURBED AREA TO BE 0.2+ ACRES, THEREFORE A R.F.P. FOR STORMWATER PERMIT IS REQUIRED.
 3. THE SOLID CONSTRUCTION AREAS SHALL BE CLEARED AND STRIPPED OF ALL EXISTING VEGETATION AND SOILS. ALL FILL PLACED UNDER OR WITHIN A FEET OF PROPOSED WALKWAY OR DRIVEWAY SHALL BE CLEAN, FREE OF ALL TREE TRUNKS, BRANCHES, VEGETATION OR ORGANIC MATERIALS AND SHALL BE PLACED IN "B" MAXIMUM LIFTS COMPACTED TO 95% OF MAXIMUM DENSITY PER MOVED PROPOSED TEST. PROPOSED GRADES SHOWN WITHIN LAWN & LANDSCAPED AREAS ARE FINISHED GRADES & INDICATED BY "F" DIMENSIONS.
 4. ALL WETLAND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. SHALL MAINTAIN A MINIMUM COVER OF 8" x 12" STANDARD AREAS. 24" IN WETLANDS SHALL BE MAINTAINED. ALL WETLANDS SHALL BE MAINTAINED OR APPROVED SHALL, A M.D.C. PERMIT IS REQUIRED FOR THE PROPOSED WETLAND RECONSTRUCTION. RESTRAINED FLOW DESIGN SHALL BE PROVIDED TO THE RESPONDING ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE PER D.F.P.A. STANDARDS, CURRENT EDITION.
 5. ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. ALL REQUIRED ACCESS ROADS OR DRIVEWAYS SHALL BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. ACCESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION WITH THE ACCESS BEING AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
 6. ALL SANITARY SEWER LEAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS & SPECIFICATIONS. A M.D.C. PERMIT IS NOT REQUIRED, NO SCHEDULING IS ANTICIPATED. HOURS OF CONSTRUCTION SHALL BE 8:00 AM TO 5:00 PM.
 7. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER.
 8. COMPACTED SAND BENTONITE (M.D.C. SAND CLASS 8) SHALL BE PROVIDED FOR ALL UTILITY BENCH MARKS. THE BENTONITE SHALL BE 12" THICK AND SHALL BE MAINTAINED WITHIN THE TOLERANCE OF FINISH GRADES.
 9. WATER MAIN SHALL BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION WITH THE ADDRESS BEING AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
 10. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER.
 11. ALL SANITARY SEWER LEAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS & SPECIFICATIONS. A M.D.C. PERMIT IS NOT REQUIRED, NO SCHEDULING IS ANTICIPATED. HOURS OF CONSTRUCTION SHALL BE 8:00 AM TO 5:00 PM.
 12. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER.
 13. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER.
 14. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER.
 15. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER. ALL STORM SEWERS SHALL BE MAINTAINED WITH A 12" MINIMUM COVER.

CLIENT: SOUTH GRAND EQUITIES, LLC
 46100 GRAND RIVER AVENUE
 NOVI, MICHIGAN 48247
 PHONE: 248/248-5600 EXT. 211

REVISED 07/17/23 - PRELIMINARY SPA APPLICATION
REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

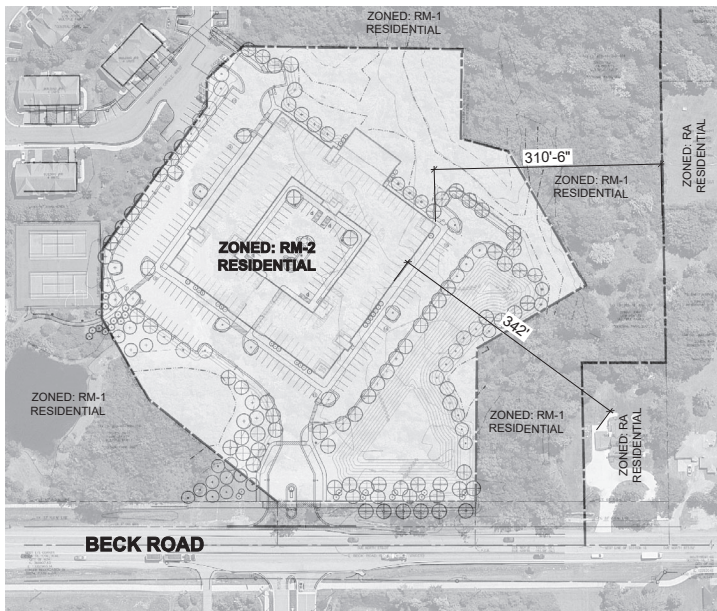
SITE OF THE PROPOSED
CENTRAL PARK SOUTH
 IN SECTION 16
 OAKLAND COUNTY
 MICHIGAN

PRELIMINARY SITE UTILITIES PLAN
Environmental engineers, Inc.
 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075
 PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT NO: 2235
 DATE ISSUED: 06/21/23
 SHEET NO: C-5



Know what's below.
 Call before you dig.

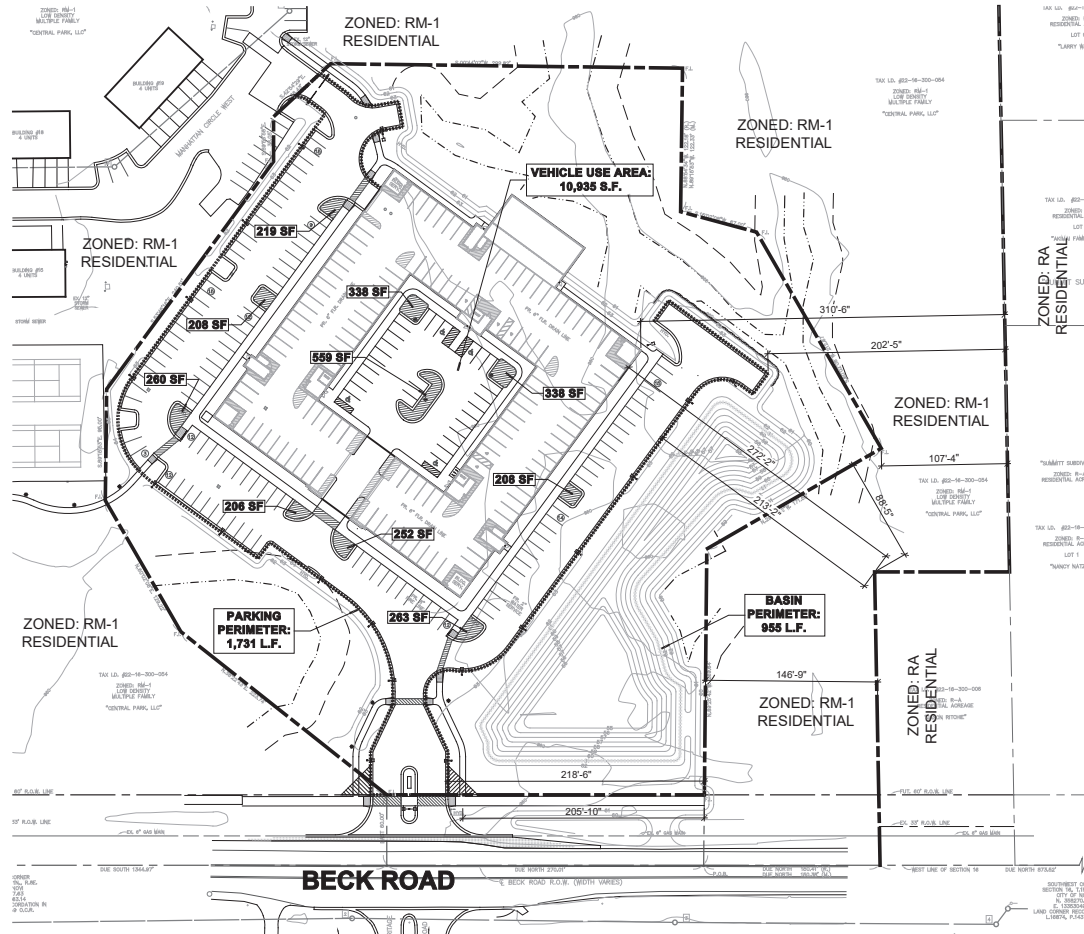
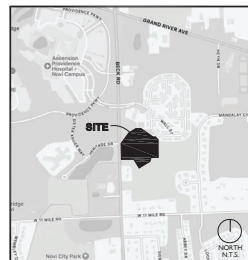


AERIAL OVERLAY MAP

SCALE: 1" = 80'

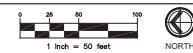


LOCATION MAP



LANDSCAPE REQUIREMENT MAP

SCALE: 1" = 50'



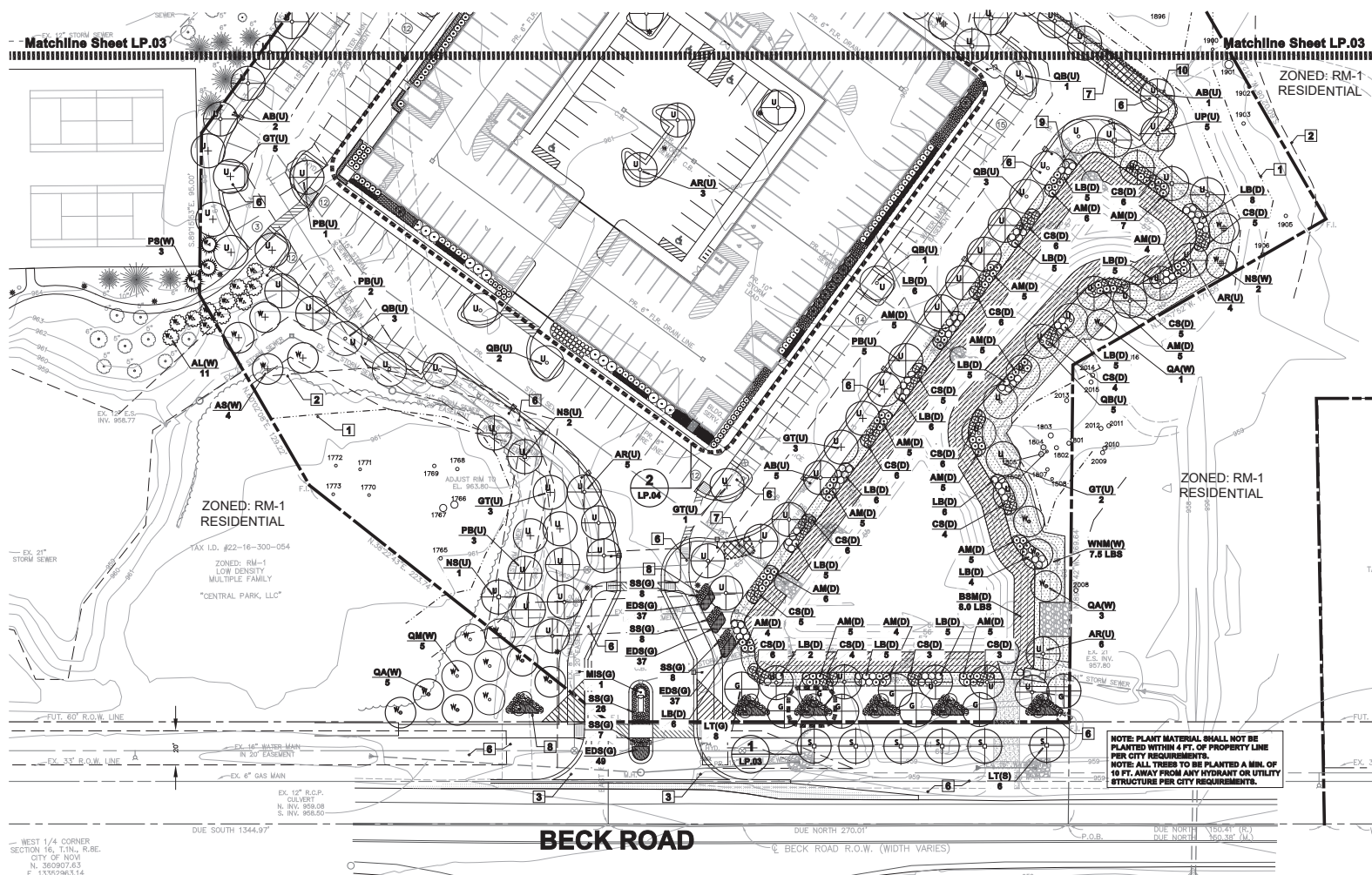
LANDSCAPE DATA

<p>R.O.W. Greenbelt Twelve Mile Road Fringe: Canopy/Evergreen Trees Req.: 219 ln. ft. (7 Trees/35 ln. ft.) Sub-Canopy Trees Req.: 9 Trees Sub-Canopy Trees Prov.: 12 Trees</p>	<p>PARKING LOT PARKING PERIMETER LANDSCAPING Parking Lot Perimeter: Canopy/Evergreen Trees Req.: 1731 l.f. (7 Trees/35 ln. ft.) Trees Provided: 80 Trees (*Unit Trees provided as permitted.)</p>	<p>STORM WATER BASIN PERIMETER LANDSCAPING Basin Perimeter: Canopy/Evergreen Trees Req.: 955 l.f. (7 Trees/35 ln. ft.) Trees Provided: 27 Trees (*Unit Trees and Woodland Replacement Trees provided.)</p>
<p>Street Trees Beck Road Fringe: Twelve Mile Road Fringe: Canopy/Evergreen Trees Req.: 208 ln. ft. (7 Trees/35 ln. ft.) Trees Required: 6 Trees Trees Provided: 6 Trees</p>	<p>COURTYARD PARKING LOT LANDSCAPING Total Courtyard Parking Area: 10,935 s.f. Required Landscape Area: V.U.A. x 0.075 s.f. (up to 50,000 s.f.): 820 s.f. (10,935 s.f. x 0.075) Total s.f. of Landscape Area Req.: 820 s.f. Total s.f. of Landscape Area Prov.: 1,230 s.f.</p>	<p>BUFFERS Northeast & NW Buffer (RM-1 zoning): 638 l.f. None - Preserved Existing Trees and Existing Landscaping East & SE Buffer (RM-1 zoning): 702 l.f. None - Preserved Existing Trees South Buffer (RM-1 zoning): 441 l.f. None - Preserved Existing Trees</p>
<p>FOUNDATION / SITE LANDSCAPING Building - 34 Units "First" Floor Trees Required (2 Trees per Unit): 102 Trees 35% Foundation Plantings: (Facade facing road) Trees Provided: 102 Trees</p>	<p>Parking Lot Tree Requirement Total Trees Required (1 per 200 s.f.): 4 Trees* Total Trees Provided: 4 Trees* (*Unit Trees provided as permitted.)</p>	



Matchline Sheet LP.03

Matchline Sheet LP.03



NOTE KEY:

- 1 WETLAND LIMITS
- 2 25 FT. WETLAND SETBACK
- 3 25' CLEAR VISION TRIANGLE
- 4 PROPOSED BIKE PATHS - SEE CIVIL DWGS.
- 5 2" DIA. EGGSITONE OVER FILTER MAT
- 6 SEEDS LAIN OVER MINIMUM 4" DEPTH TOPSOIL. SEE TOPSOIL NOT RELOC.
- 7 SNOW DEPOSIT AREA
- 8 SHOVEL CUT BED EDGE - TYP.
- 9 EDGE OF MOVED LAWN
- 10 SHOULDER WALL - SEE CIVIL PLANS
- 11 TRANSFORMER PAD - SEE ARCH DWGS.

GENERAL PLANTING REQ.:

- 1 THE WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIAL, LABOR, EQUIPMENT, TOOLS, AND SUPERVISION REQUIRED FOR THE COMPLETION AS SHOWN ON THE DRAWING.
- 2 ALL PLANT MATERIALS SHALL CONFORM TO THE TYPE LISTED ON THE PLANT LIST. USE ONLY THE MATERIALS LISTED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE PLANT STANDARDS FOR GRADE NO. 1 NURSERY STOCK AND NORTHERN NURSERY CROWN.
- 3 ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIALS.
- 4 ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. ALL OTHER TRUNKS SHALL BE REGULARLY BRANCHED. ALL TRUNKS AND SYMMETRICAL CROWNS.
- 5 ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE CENTRIFUGAL CROWNS. ONE SEEDLING TREE OR THOSE WITH THIN TRUNKS SHALL BE ACCEPTED. **NOT ACCEPTED**
- 6 ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FILED TO THE GROUND. SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- 7 THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE CORRECT GRADES AND SPACING. THE PLANTS SHALL BE PREPARED AS TO GIVE THE BEST PERFORMANCE.
- 8 WHEN THE PLANT HAS BEEN PROPERLY SET, THE RT SHALL BE BACKFILLED WITH A TOPSOIL AND NATIVE SOIL MIXTURE. GRADUALLY FILLING, PATTING, AND SETTLING WITH WATER.
- 9 ALL PLANT MATERIALS SHALL BE PRUNED AND PALMIES REPAIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD OR DAMAGED TWIGS AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPORTING. CUTS SHOULD BE FLUSH LEAVING BUSHES.
- 10 THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF TWO (2) YEARS. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR. **SEE SPECIFICATIONS FOR THE TWO YEAR GUARANTEE.** AT THAT TIME THE OWNER'S REPRESENTATIVE WILL INSPECT THE PLANTS. IF ANY PLANT MATERIALS WITH 20% LOSS OF LEAVES OR MORE BY THE OWNER'S REPRESENTATIVE SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE FURNISHING OF NEW PLANTS, LABOR AND MATERIALS. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE YEAR.
- 11 TOPSOIL SHALL BE FRANKLIN FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.5 TO 7.5. SOIL SHALL BE FREE FROM CLAY LUMPS, COARSE SAND, PLANT ROOTS, STICKS AND OTHER FOREIGN MATERIALS.
- 12 NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN DRIP LINE OF EXISTING TREES.
- 13 IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALLS AND PAVED AREAS.
- 14 ALL PLANTING BEDS SHALL RECEIVE 4" SHREDDED BARK MULCH. SEE SPECIFICATIONS.
- 15 100' X 200' LAWN AREAS - ALL LAWN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS, DESK SOL TO 4" DEEP DEEP FERTILE TOPSOIL PLACEMENT.
- 16 SOIL SHALL BE TWO YEAR OLD "BARONCHADELPHY" KENTUCKY BLUE GRASS SHOWN IN A SOIL SHOWN ON LOAD SOL.

PLANT MIX

- ALL PLANTING PERENNIAL BEDS TO RECEIVE:**
- 1-2 CUFT. CITY OF COMPOST
 - 1-4 LB. 8-8-8 FERTILIZER
 - 1-1 LB. 8-8-8 FERTILIZER
 - 1-1 LB. 8-8-8 FERTILIZER

MULCH
 MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH.
 NO GROUND WOOD PALLET MULCH PERMITTED

TOPSOIL

CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 4" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS. TOPSOIL SHALL BE PROVIDED BY CONTRACTOR.

PLANT KEY

- TREE SYMBOL
- TREE TYPE KEY - SEE PLANT LIST SHEET LP.03
- QUANTITY - NOV. PLANTING DETAILS - SEE SHEET LP.05

IRRIGATION

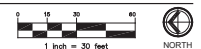
ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.

SITE PLANTING PLAN

SCALE: 1" = 30'

PLANTING KEY

- STREET TREES
- GREENBELT TREES
- UNIT TREES
- WOODLAND REPLACEMENT TREES



NOTE: PLANT MATERIAL SHALL NOT BE PLANTED WITHIN 4 FT. OF PROPERTY LINE PER CITY REQUIREMENTS.
NOTE: ALL TREES TO BE PLANTED A MIX OF 10 FT. AWAY FROM ANY HYDRANT OR UTILITY STRUCTURE PER CITY REQUIREMENTS.



deakplanningdesign.com

CENTRAL PARK SOUTH
 Novi, Michigan



project sponsor:
 Noble Property Group B, LLC
 46100 Grand River Ave.
 Novi, MI 48374

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revisions:
 PRELIM. SPA APP. 07/17/23
 RISK PER. COMMENTS 8/25/23

sheet title:
SITE LANDSCAPE PLAN

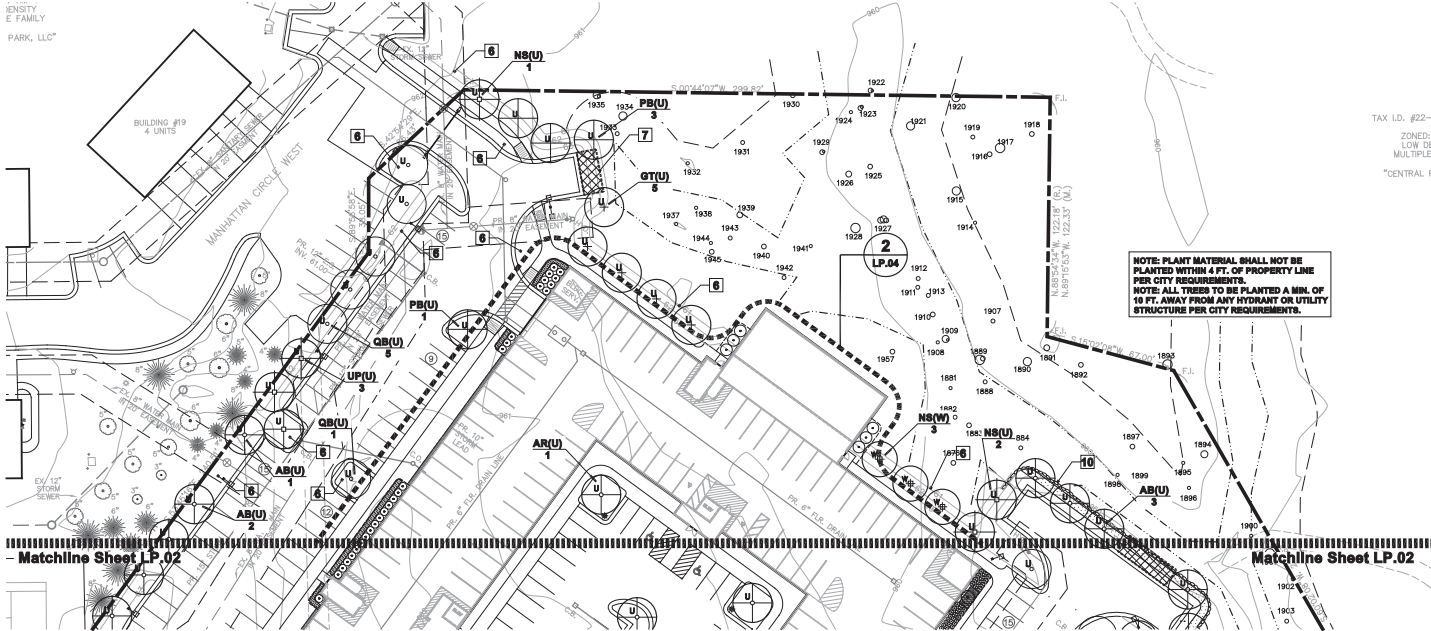
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182302

sheet no.
LP.02

NOT TO BE USED AS CONSTRUCTION DRAWING

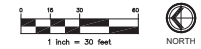


NOTES:
 1. NO OVERHEAD UTILITIES EXIST OR ARE PROPOSED ON SITE.
 2. SEE CIVIL DRAWINGS FOR SOIL MAP AND TYPES PRESENT ON SITE.



TAX I.D. #22-1
ZONED: LOW DED MULTIPLE
*CENTRAL P.

SITE PLANTING PLAN
SCALE: 1" = 30'



NOVI SPECIFICATIONS

- Wherever in this Ordinance landscape plantings are required or permitted, they shall be planted in accordance with the approved final landscape plan.
- All plant materials shall be installed between April 15th and November 15th. All materials shall include plant name, mature height, specimen size, and existing Certificate of Occupancy. At the time of installation, the contractor shall provide a Final Certificate of Occupancy. If the contractor is unable to provide a Final Certificate of Occupancy, the contractor shall be responsible for obtaining a Final Certificate of Occupancy. The contractor shall be responsible for obtaining a Final Certificate of Occupancy. If the contractor is unable to provide a Final Certificate of Occupancy, the contractor shall be responsible for obtaining a Final Certificate of Occupancy.
- A City representative will perform landscape inspection following a request from the developer or owner. The inspection time period is from April 15th to November 15th. If an inspection is performed between November 15th and April 15th, a financial guarantee is to be provided based on 1.2 times the percent incomplete for a Temporary Certificate of Occupancy as outlined above. Beginning April 15th, the Applicant has 30 days to complete items on the City will cash in the amount being held for the outstanding items and remove those items.
- The establishment period for the plant material guarantee will occur beginning at the Final Certificate of Occupancy inspection approval 2 years from the start date. All plantings shall be properly planted as to be in a healthy, growing condition at the commencement of the establishment period. At the end of the establishment period, any plantings which are 20% dead or greater, shall be replaced.
- Ability of establishment changes:
 - The owner or developer must notify the City of the installation schedule. The City may reject any material which is defective or in generally poor condition.
 - Minor changes regarding plant materials per the approved and stamped landscape plan shall be permitted. The contractor shall submit a written notification to and written approval by the City Landscape Architect of species, size, color, and location.
 - Minor changes due to seasonal planting problems and lack of plant availability may be approved as written by the City Landscape Architect when there is no reduction in the quality of plant materials, no significant change in size or location of plant material, the new plant material is compatible with the area and is the same general type/species/variety, and the same general characteristics (mature height, crown) as the material being replaced. If these criteria are not met, the contractor shall be responsible for obtaining a Final Certificate of Occupancy. The contractor shall be responsible for obtaining a Final Certificate of Occupancy.
- Abandonment:
 - Maintenance of required plantings by the owner shall be carried out as to prevent a healthy, well and orderly appearance, free from insect and disease.
 - To insure proper maintenance and as a condition of Final Site Plan approval, the property owner shall enter into and record with the City of Oakland County Register of Deeds a Landscape Maintenance Agreement, or include such provisions as part of subdivision restrictions or condominium master deed, such of which shall be approved by the City Attorney. Such instrument shall identify the minimum plant maintenance requirements and the person or persons responsible for maintenance, and shall provide the procedure, authority and finance for the City's care of resources by the responsible party. Such instrument shall include provisions that all unhealthy and dead material shall be replaced within one (1) month, or the next regular planting period, whichever occurs first. All landscaped areas shall be provided with an irrigation system. Two stakes, guy wires, and tree rings are to be removed after one winter season. Plantings shall be guaranteed for two (2) growing seasons after date of acceptance of the installation. If grass or weeds encroach the height specified in Chapter 21 of the Novi Code of Ordinances, or if shrubs are allowed to obstruct vision across any portion of the island and the responsible party is unwilling to rectify the problem, the City will abate such violation and shall assess the cost of such abatement measures to the owner proposed by the developer and approved by the City's such instrument.
- Responsibility and Certificate of Occupancy: The owner of the property subject to the requirements of this Section shall be responsible for installing and maintaining per landscaping the approved final landscape plan as specified in this Section. Where the property is occupied by a person other than the owner, the occupant shall also be responsible for maintenance. All landscaping work required pursuant to this Section shall be treated as a site improvement for purposes of Subsections 3005-8 and 9.

* These requirements supersede all other planting requirements or specifications.

PLANT LIST - Street Trees

QTY	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
8	LT80	Yulop Tree	N	2" Cal.	BAR	\$ 450.00	\$ 3,600.00
3	SR	SHRUBBED HARD BARK MULCH (G.V.)				\$ 1,800.00	\$ 5,400.00
							TOTAL: \$ 9,000.00

PLANT LIST - Greenbelt

QTY	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
8	LT80	Yulop Tree	N	2" Cal.	BAR	\$ 450.00	\$ 3,600.00
1	MM	Minor Tree	N	2" Cal.	BAR	\$ 375.00	\$ 375.00
12	MM	Impatiens	N	2" Cal.	BAR	\$ 375.00	\$ 4,500.00
30	DD	Double Flower Blue Bell	N	3" Cal.	Cont.	\$ 30.00	\$ 900.00
17	DD	LLB Blossom	N	1" Cal.	Cont.	\$ 150.00	\$ 2,550.00
40	DD	Dark Shadowed Wildflower	N	1" Cal.	Cont.	\$ 45.00	\$ 1,800.00
40	SR	SHRUBBED HARD BARK MULCH (G.V.)				\$ 450.00	\$ 18,000.00
							TOTAL: \$ 27,225.00

PLANT LIST - Ulnk Trees

QTY	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
14	AB	Autumn Blaze Maple	N	2" Cal.	BAR	\$ 450.00	\$ 6,300.00
19	AB	Red Maple	N	2" Cal.	BAR	\$ 450.00	\$ 8,550.00
19	OT	Shasta Trillium	N	2" Cal.	BAR	\$ 450.00	\$ 8,550.00
15	PR	Redwood Plant	N	2" Cal.	BAR	\$ 450.00	\$ 6,750.00
21	AB	Shasta Trillium	N	2" Cal.	BAR	\$ 450.00	\$ 9,450.00
8	MA	Maple	N	2" Cal.	BAR	\$ 450.00	\$ 3,600.00
8	UP	Phlox	N	2" Cal.	BAR	\$ 450.00	\$ 3,600.00
30	SR	SHRUBBED HARD BARK MULCH (G.V.)				\$ 1,800.00	\$ 54,000.00
							TOTAL: \$ 100,800.00

- NOTE:
- CONTRACTOR TO VERIFY ALL PLANT QUANTITIES ON PLANS.
 - PLANT SPECIES SELECTIONS PROVIDED TO MEET CITY REQUIREMENTS.
 - DO NOT USE DWARF SPECIES OF CORNUS SERICEA.

PLANT LIST - Detention Basin Shrubs

QTY	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
81	AB	Autumn Blaze Maple	N	2" Cal.	Cont.	\$ 50.00	\$ 4,050.00
9	CR	Red Cedar	N	2" Cal.	Cont.	\$ 50.00	\$ 450.00
78	LR	Red Maple	N	2" Cal.	Cont.	\$ 50.00	\$ 3,960.00
8	BB	Red Maple	N	2" Cal.	LIB.	\$ 300.00	\$ 2,400.00
40	SR	SHRUBBED HARD BARK MULCH (G.V.)				\$ 900.00	\$ 36,000.00
							TOTAL: \$ 47,860.00

PLANT LIST - Woodland

QTY	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
6	GA	White Oak	N	2" Cal.	BAR	\$ 450.00	\$ 2,700.00
4	GA	White Oak	N	2" Cal.	BAR	\$ 450.00	\$ 1,800.00
8	MA	Maple	N	2" Cal.	BAR	\$ 450.00	\$ 3,600.00
8	GA	White Oak	N	2" Cal.	BAR	\$ 450.00	\$ 3,600.00
2	UP	Phlox	N	2" Cal.	BAR	\$ 450.00	\$ 900.00
11	AL	Almond	N	2" Cal.	BAR	\$ 375.00	\$ 4,125.00
72	SR	SHRUBBED HARD BARK MULCH (G.V.)				\$ 1,800.00	\$ 129,600.00
							TOTAL: \$ 145,725.00

SEED CONVERSION:
0.1Y. = LBS. / LBS. PER AC. - I.E. 37.7 / 43,000 / 9
EXAMPLE:
0.1Y. LBS. / 37.7 x 43,000 / 9 = 7,823 0.1Y.



PLANTING DETAIL
SCALE: 1" = 10"

NOTE: GREENBELT PLANTING BED TYPICAL. REPEAT 80X(8) TIMES - SEE PLANT LIST FOR TOTAL QUANTITIES.

NOTE KEY:

- WETLAND LIMITS
- 25 FT. WETLAND SETBACK
- 25 FT. CLEAR VISION TRIANGLE
- UNDERSIDE BIRCHES - SEE CIVIL DWGS.
- 2" DIA. EGGSHELL OVER FILTER MAT
- SEEDED LAWN OVER MINIMUM 4" DEPTH TOPSOIL. SEE TOPSOIL NOTE BELOW
- SHOW DEPOSIT AREA
- SHOW CUT BED EDGE - TYP.
- EDGE OF ADJACENT LAWN
- ROUNDER WALL - SEE CIVIL PLANS
- TRANSFORMER PAD - SEE ARCH DWGS.

GENERAL PLANTING REQ.:

- THE WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIAL, LABOR, EQUIPMENT, TOOLS AND SUPERVISION REQUIRED FOR THE COMPLETION AS SHOWN ON THE DRAWING.
- ALL PLANT MATERIALS SHALL CONFORM TO THE TYPE LISTED ON THE LAST LIST. SPECIES SHALL BE THE MINIMUM SIZE ON THE LIST UNLESS OTHERWISE NOTED. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A.L.N." STANDARDS FOR GRADE NO. 1 NURSERY STOCK AND NORTHERN NURSERY GROWN.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS SHALL NOT BE ACCEPTED. ALL SINGLE TRUNK SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. CUTS SHOULD BE THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND. SYMMETRICAL IN SHAPE AND NOT SHAGGED FOR THE LAST FIVE GROWING SEASONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE CORRECT ORDER AND SPACING. THE PLANTS SHALL BE ORIENTED AS TO GIVE THE BEST APPEARANCE.
- WHEN THE PLANT HAS BEEN PLANTED, THE TREE SHALL BE BACKFILLED WITH A TOPSOIL AND NATIVE SOIL MIXTURE. SPACIAL FILLING, PATING AND SETTLING WITH WALK.
- ALL PLANT MATERIALS SHALL BE PRUNED AND MAINTAINED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD OR DAMAGED WOOD AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPORTING. CUTS SHOULD BE FLUSH, LEAVING NO STUBS.
- THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF TWO (2) YEARS. ALL PLANT MATERIALS SHALL HAVE A MINIMUM OF ONE CALIBER IN SIZE. ALL PLANT MATERIALS FOR THE PERIOD OF TWO (2) YEARS. ALL PLANT MATERIALS SHALL HAVE A MINIMUM OF ONE CALIBER IN SIZE. ALL PLANT MATERIALS FOR THE PERIOD OF TWO (2) YEARS. ALL PLANT MATERIALS SHALL HAVE A MINIMUM OF ONE CALIBER IN SIZE.
- TOPSOIL SHALL BE FERTILE, FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. SOIL SHALL BE FREE FROM CLAY LUMPS, SAND, SAND PLANT ROOTS, STICKS AND OTHER FOREIGN MATERIALS.
- NO LANDSCAPING IS TO BE DONE WITHIN THE ONE LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN ONE LINE OF EXISTING TREES.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALKS AND PAVED AREAS.
- ALL PLANTING BEDS SHALL RECEIVE 4" SHREDDED BARK MULCH. SEE SPECIFICATIONS.
- SOIL SHOULD BE TWO YEAR OLD "HARDSCAPING" KENTUCKY BLUE GRASS GROWN IN A 400 NURSERY ON LUMBER ON THE TOPSOIL PLACEMENT.
- SOIL SHALL BE TWO YEAR OLD "HARDSCAPING" KENTUCKY BLUE GRASS GROWN IN A 400 NURSERY ON LUMBER ON THE TOPSOIL PLACEMENT.

PLANT MIX

ALL PLANTING MATERIALS TO BE RECEIVED:

- 1 - 40 LBS BAG COMPOST
- 1 - 40 LBS BAG DRAINAGE
- 1 - 100 LBS BAG SHREDS 12-18"
- 1 - 100 LBS BAG SHREDS 12-18"

PER 100 SQ FT BED AREA, HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM

MULCH

MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH

NO AROUND WOOD PALLET MULCH PERMITTED

TOPSOIL

CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 4" COMPACTED DEEP TOPSOIL IN ALL LAWN AREAS. TOPSOIL SHALL BE PROVIDED BY CONTRACTOR

PLANT KEY

- TREE SYMBOL
- TREE TYPE KEY - SEE PLANT LIST SHEET LP.03
- QUANTITY - SHOW PLANTING DETAILS SEE SHEET LP.05

IRRIGATION

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM



NOT TO BE USED AS CONSTRUCTION DRAWING



project sponsor:
Nobe Property Group II, LLC
41600 Grand River Ave.
Novi, MI 48374

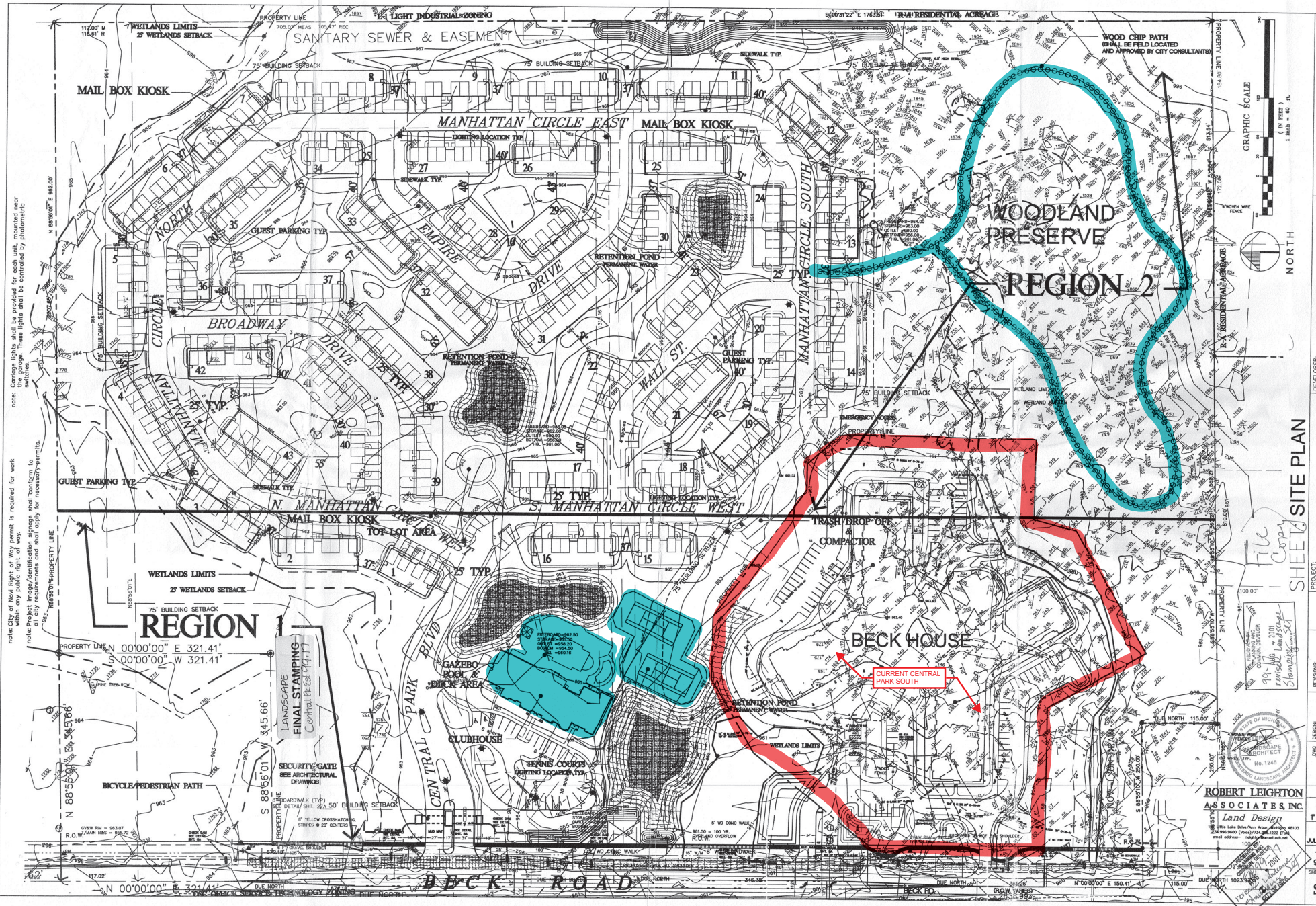
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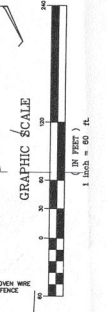
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sheet no:
LP.03



note: City of Novi Right of Way permit is required for work within any public right of way. The work shall be controlled by promulgated traffic signs and shall comply with all applicable city requirements and shall apply for necessary permits.

note: Check lights shall be provided for each unit, mounted near the door. The lighting shall be controlled by promulgated switches.



GRAPHIC SCALE
1 inch = 40 feet

SHEET SITE PLAN

MEH CONSULTING SERVICE INC.
CIVIL ENGINEERS & SURVEYORS
43700 EXPO CENTER DRIVE
FARMINGTON HILLS, MICHIGAN 48337
(248) 948-3333

DEVELOPER:
ROSE PROPERTY GROUP, L.L.C.
43700 EXPO CENTER DRIVE
NOVI, MICHIGAN 48375
248.347.3000

PROJECT:
CENTRAL PARK ESTATES
A LUXURY MULTIFAMILY COMMUNITY
S.W. 1/4 SECTION 16

REVISIONS:
REV. 03/23/2000
REV. 05/28/2000

DESIGN:
DRAWN:
CHECKER:
FIELD OK:

SCALE:
1" = 60'
DATE:
JULY 17, 2000
JOB NO.
98-186
SHEET
SP-1



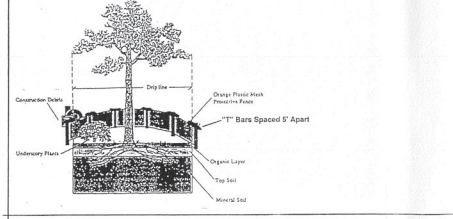
ROBERT LEIGHTON & ASSOCIATES, INC.

Land Design
1875 W. Lapeer Ave., Suite 200, Farmington Hills, MI 48334
248.996.8600 (Voice) / 248.996.1222 (Fax)
www.rolandesign.com

File Copy
98-186-186
revised
Shanley.com

WOODLAND PROTECTION DETAILS

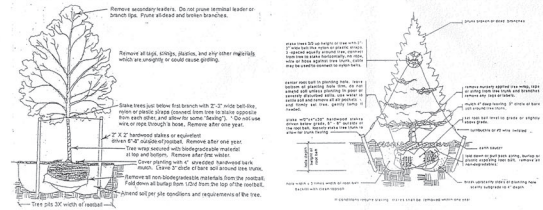
- Approved tree protection shall be erected prior to start of construction activities, and shall remain in place until construction is complete. The City shall be notified after tree protection is in place, prior to construction activities, including delivery of materials.
- No person may conduct any activity within the drip line of any tree designated to remain, including, but not limited to, placing materials, loading materials, construction equipment, or soil deposits within the drip lines.
- Excavation activities may not occur within the drip lines of any tree designated to remain.
- During construction, no person shall attach any device or wire to any remaining tree.
- All utility services shall be located and marked to avoid the area within the drip lines of protected trees. All trenching shall occur outside of the protective fencing.
- Stumps shall be hand cut and removed to avoid the area within the drip lines of protected trees.
- If tree protection cannot be maintained for a tree throughout the construction period, replacement of that tree may be required prior to issuance of the Certificate of Occupancy.
- Regulated trees located on adjacent property that may be affected by construction activities must be protected.



TREE REPLACEMENT NOTES

- Where woodland designated, tree relocation or replacement shall be within the open woodland area as defined herein.
- When tree relocation or replacement is not feasible within the woodland area, the relocation or replacement may be elsewhere on the property where the proposed activity is to be conducted.
 - When tree relocation or replacement is not feasible either within the woodland area or elsewhere on the property where the activity is to be conducted, the relocation or replacement may be made at another location within the city approved by the city engineer.
 - When tree relocation or replacement is not feasible within the woodland area, or on the other property within the city approved by the city engineer, the person shall pay into the city tree fund for tree replacement a per tree amount representing the current market value for the tree replacement that would otherwise be available for the planting of trees within the city. (See Ord. No. 10219, 10180, 10166, 10142, 10124, P. VII, 8-8-86; Ord. No. 92355, P. II, 2-2-00; Ord. No. 94358, P. I, 3-23-04; Ord. No. 96125, P. I, 4-11-04)
 - All replacement trees shall comply with the Association of Nurserymen standards, and be:
 - Nursery grown;
 - State department of agriculture approved;
 - Tree made transported within its dormant state, or, if not in the dormant state, having been balled and burlapped with a solid well-lashed root ball when in the dormant state;
 - No. 1 grade, with a straight, unscarred trunk and a well-developed subliminal crown (dead trees are unacceptable);
 - Shaded, watered and mulched in accordance with Section 2009 of Appendix A, "Living Ordinance" issued by the city engineer after approval of the tree replacement plan;
 - Quarantined for two (2) years, including labor to remove and dispose of dead material;
 - Approved through inspection by the city.
 - Of the same species as the regulated tree where available; or, if higher quality trees of the same species are available, replacement shall be pursuant to the replacement plan submitted by the contractor. Number 80130.01, on file in the office of the city engineer. Group 1 trees may be replaced by other group 1 trees. Group 2 trees may be replaced by group 2 trees or by other group 2 trees. The same tree may be replaced by a tree of a different species if the city engineer has given consideration to replace such choice.
- The location of replacement trees shall be subject to the approval of the city and shall be such as to provide the optimum enhancement, preservation and protection of woodland areas.

LANDSCAPE DETAILS



TREE PLANTING DETAIL

- THE OWNER SHALL PROVIDE OF PROVIDED ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS AND SUPPLIES REQUIRED FOR THE COMPLETION OF THE PLANTING WORK.
- THE PLANT MATERIALS SHALL CONFORM TO THE SPECIFICATIONS AND MEASUREMENTS SET FORTH IN THE LATEST EDITION OF THE "NURSERYMAN'S HANDBOOK".
- THE PLANT MATERIALS SHALL BE AS DELIVERED AND DIRECTED TO THE SITE. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PLANT MATERIALS FROM THE TIME OF DELIVERY TO THE SITE UNTIL THEY ARE PLANTED.
- PLANTS DESIGNATED "B-B" SHALL BE BALLED AND BURLAPPED WITH FIRM BALLS OF GARDEN.
- THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE LOCATIONS AND SPACINGS SHOWN ON THE PLANS. THE PLANTS SHALL BE OBSERVED AT THE TIME OF THE BEST APPEARANCE.
- WHEN THE PLANTS HAVE BEEN PLANTED, THE CITY SHALL BE NOTIFIED WITHIN A PERIOD, WITHIN, SCHEDULED FILING, PATTING AND BESTING WITH WATER.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM DAMAGE BY THE ADJACENT PROPERTY OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PLANT MATERIALS FROM THE TIME OF DELIVERY TO THE SITE UNTIL THEY ARE PLANTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PLANT MATERIALS FROM THE TIME OF DELIVERY TO THE SITE UNTIL THEY ARE PLANTED.
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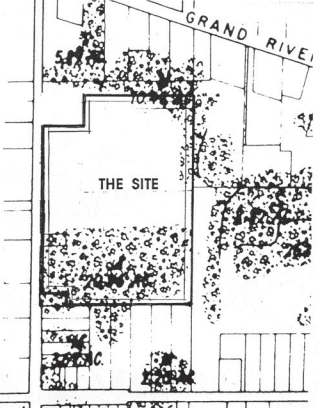


- CONTRACTOR TO VERIFY UTILITY EXISTENCE REQUIREMENTS ON SITE BEFORE PLANTING. No canopy or evergreen trees to be planted directly over utilities. Canopy and evergreen trees must be planted a minimum of 1' from edge of utilities. Where utility lines are shown on plan, show minimum of 20' setback from center.
- Obscuring earth berms. Section 1509.6.

NOTE: ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH ORDINANCE #97-18.133 SECTION 2509.

NOTE: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEARS.

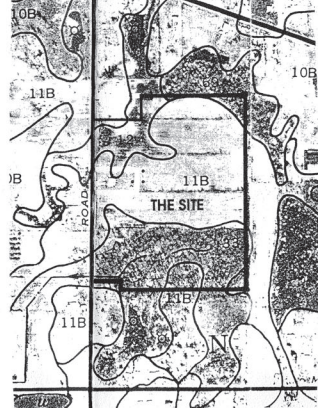
WOODLAND MAP



1" = 500'

NORTH

SOILS MAP

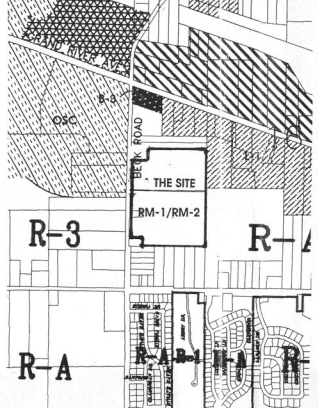


1" = 500'

NORTH

11B: Capac sandy loam, 0 to 4 percent slopes
12: Brookston and Colwood loams
33: Lenawee sily clay loam

AREA MAP



1" = 1000'

NORTH

LANDSCAPE DATA

R.O.W. FRONTAGE	
Back Road Frontage:	400 ft.
Front Road Frontage:	400 ft.
Trees Required (One / 35' In. Ft.):	121 trees min.
Trees Provided (80% winter opacity req.):	261 trees

RESIDENTIAL BUFFER/ BERM	
Trees Provided (80% winter opacity req.):	44 Trees

ADDITIONAL BUFFER	
Trees Provided:	45 Trees

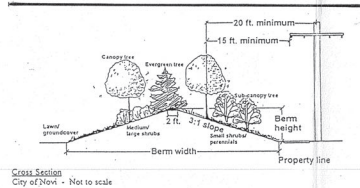
UNIT LANDSCAPING	
Total Units Proposed:	127 Units
(1/2 OF 254 UNITS ON GROUND FLOOR)	
Trees Required (Three / Unit):	381 Trees
Trees to be Provided:	381 Trees

INTERIOR ROAD	
Unimp. Front of Private Road:	5097 ft. In.
Trees Required (One / 35' In. Ft.):	146 Trees
Trees to be Provided:	146 Trees

REPLACEMENT TREES	
Trees Provided for Timber Meadows:	77 Trees

TOTAL LANDSCAPE REQ.	
Total Trees Required:	705 Trees
Trees to be Provided on Timber Meadows from Back House:	339 Trees
Total Landscape Trees Provided:	1058 Trees

TYPICAL BERM



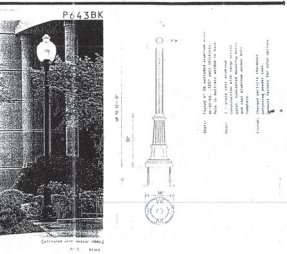
CONTRACTOR TO VERIFY UTILITY EXISTENCE REQUIREMENTS ON SITE BEFORE PLANTING. No canopy or evergreen trees to be planted directly over utilities. Canopy and evergreen trees must be planted a minimum of 1' from edge of utilities. Where utility lines are shown on plan, show minimum of 20' setback from center.

Obscuring earth berms. Section 1509.6.

WOODLAND IMPACT SUMMARY

CENTRAL PARK 124STES (MULTI-FAMILY SITE)	
Total Regulated Trees:	1003 trees
Total Trees Removed:	23 Trees
Ratio:	1:1
Replace:	54 Trees
Size:	8" x 11"
Ratio:	2:1
Replace:	50 Trees (5%)
Size:	11" x 10"
Ratio:	2:1
Replace:	953 Trees (95%)
Total Reg. Trees Removed:	77 Trees
Total Replacement Trees Req.:	77 Trees
Total Replacement Provided:	416 Trees
(Includes 339 Back House Replacement Trees)	

LIGHTING DETAIL



NOTE: LIGHTING SHALL BE SHIELDED FROM ADJACENT PARCELS.

NOTE: LIGHTING POLES AND FIXTURES SHALL BE OF SIMILAR STYLE AND CHARACTER CHOSEN BY OWNER.

NOTE: SEE PRELIMINARY SITE PLAN FOR LIGHT LOCATIONS.

SUMMARY INFORMATION

CENTRAL PARK ESTATES

City of Novi, Michigan (s.w. 1/4 Section 16)

developer: **Nobe Property Group, L.L.C.**
41700 Expo Center Drive
Novi, Michigan 48375
248.347.3000

land planner: **Robert Leighton Associates, Inc.**
167 Little Lake Drive
Ann Arbor, Michigan 48103
734.996.9000

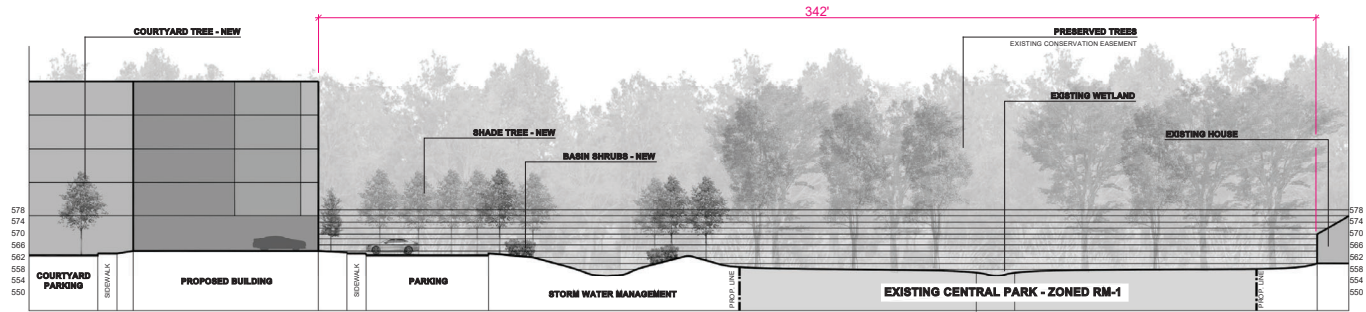
engineer: **MH Consulting Service, Inc.**
37552 Hills Tech Drive
Farmington Hills, Michigan 48331
248.848.3133

DATE	APRIL 30, 1999	MARCH 28, 2001
	AUGUST 2, 1999	AUG. 6, 2001
	JAN. 14, 2000	
	SEPT. 27, 2000	
	DEC. 20, 2000	
	FEB. 14, 2001	



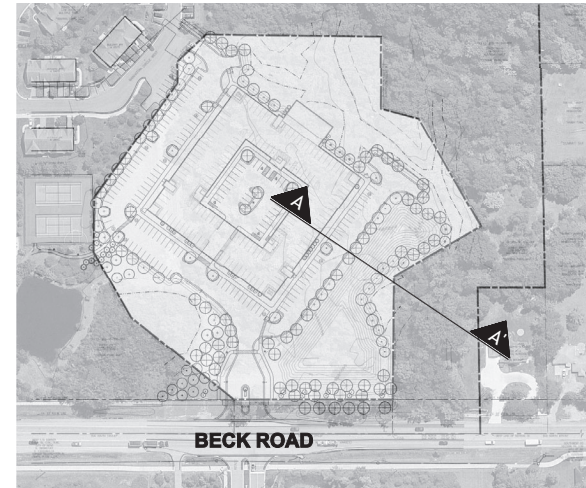
PLANNING • DESIGN
143 codycenter #79
northville, mi 48167

deakplanningdesign.com



SECTION A-A'
SCALE: HORZ. 1" = 20' VERT. 1" = 20'

CENTRAL PARK SOUTH
Novi, Michigan



KEY MAP
SCALE: 1" = 100'



project sponsor:
Nobe Property Group II, LLC
46100 Grand River Ave.
Novi, MI 48374

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revisions:

PRELIM. SPA APP.	07/17/23
RVSD PER CMNTS.	9/15/23

sheet title:
**LANDSCAPE
CROSS SECTION**

project no.
182302

sheet no.
LP.06



NOT TO BE USED AS CONSTRUCTION DRAWING



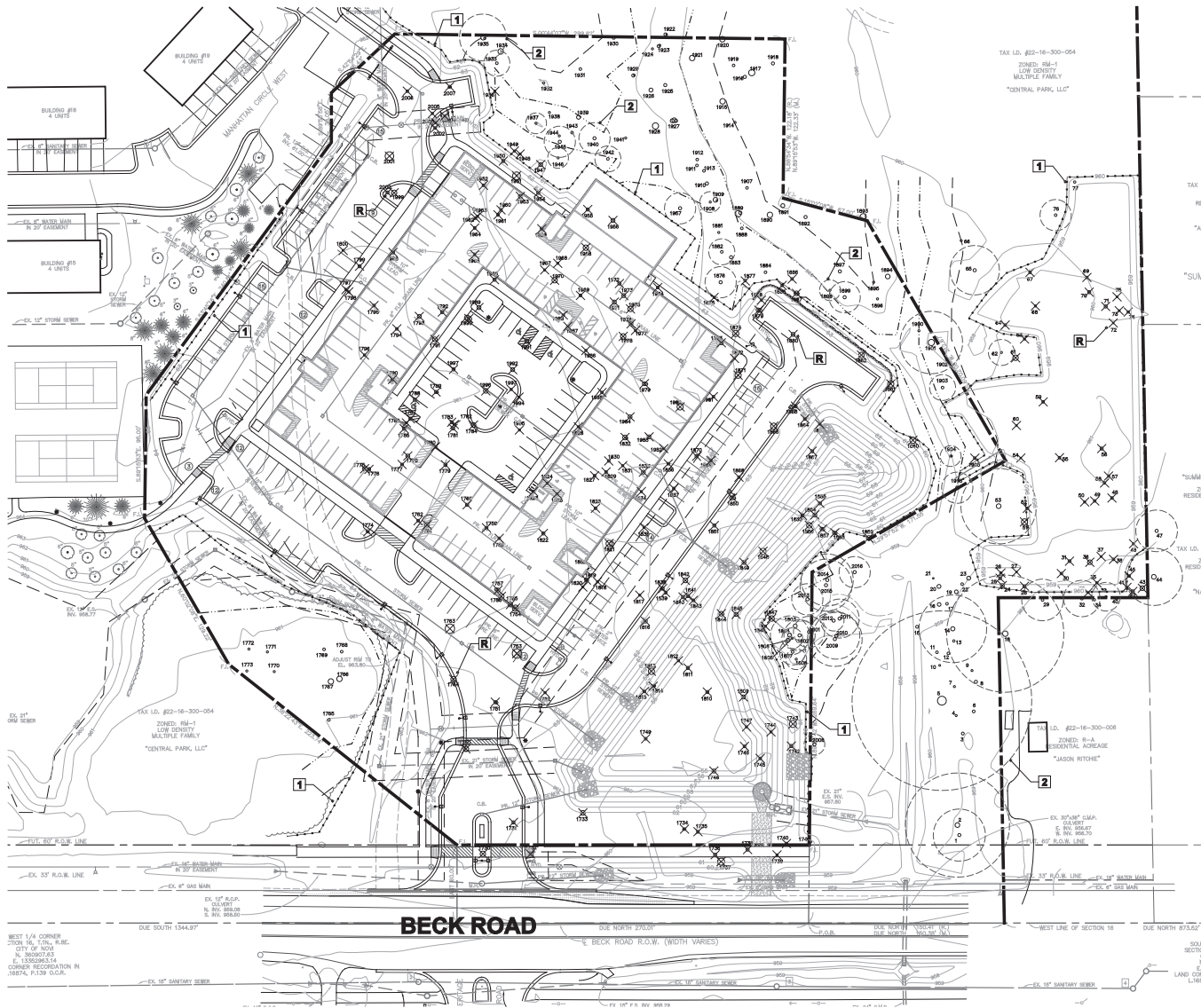
PLANNING + DESIGN
143 codycenter #70
northville, mi 48167

deakplanningdesign.com

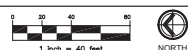
CENTRAL PARK SOUTH
Novi, Michigan

Tree ID #	Tree Type	Diameter	Health Condition	Remove	Multi Stem Replic. Credit	Replacement Credits
1730	QUERCUS/OAK SPECIES	21"	F	R		3
1731	ACER/MAPLE SPECIES	12"	F	R		2
1732	CARYA/HICKORY SPECIES	12"	F	R		2
1733	QUERCUS/OAK SPECIES	18"	F	R		2
1734	ACER/MAPLE SPECIES	10", 6"	F	R	2	2
1735	QUERCUS/OAK SPECIES	10"	F	R		2
1736	ACER/MAPLE SPECIES	12"	F	R		2
1737	POPULUS/POPLAR SPECIES	21"	F	R		2
1738	QUERCUS/OAK SPECIES	12"	F	R		2
1739	UMMULUM SPECIES	8"	F	R		1
1740	QUERCUS/OAK SPECIES	10"	F	R		1
1741	UMMULUM SPECIES	10"	F	R	0 - Dead	
1742	ACER/MAPLE SPECIES	12"	F	R		2
1743	ACER/MAPLE SPECIES	10"	F	R		4
1744	DEAD	8"	D	R		0 - Dead
1745	UMMULUM SPECIES	10"	F	R		1
1746	ACER/MAPLE SPECIES	10"	F	R		1
1747	CARYA/HICKORY SPECIES	8"	F	R		1
1748	QUERCUS/OAK SPECIES	15"	F	R		2
1749	ACER/MAPLE SPECIES	10"	F	R		1
1750	QUERCUS/OAK SPECIES	21"	F	R		3
1751	UMMULUM SPECIES	12", 8"	F	R	3	3
1752	FRAXINUS/ASH SPECIES	8"	P	R		1
1753	ACER/MAPLE SPECIES	10"	F	R		4
1754	POPULUS/POPLAR SPECIES	24", 6", 2	F	R	5	4
1755	QUERCUS/OAK SPECIES	18"	F	R		2
1756	QUERCUS/OAK SPECIES	21"	F	R		3
1757	QUERCUS/OAK SPECIES	15", 12"	F	R	4	3
1758	ACER/MAPLE SPECIES	10"	F	R		1
1759	ACER/MAPLE SPECIES	12"	F	R		2
1760	ACER/MAPLE SPECIES	12"	F	R		2
1761	PALMIUM/DOGWOOD SPECIES	18"	F	R		1
1762	QUERCUS/OAK SPECIES	10"	F	R		1
1763	QUERCUS/OAK SPECIES	4"	F	R		4
1764	QUERCUS/OAK SPECIES	21"	F	R		3
1765	ACER/MAPLE SPECIES	10"	F	R		1
1766	ACER/MAPLE SPECIES	21"	F	R		1
1767	ACER/MAPLE SPECIES	21"	F	R		1
1768	ACER/MAPLE SPECIES	10"	F	R		2
1769	QUERCUS/OAK SPECIES	8"	F	R		1
1770	POPULUS/POPLAR SPECIES	8"	F	R		1
1771	CARYA/HICKORY SPECIES	8"	F	R		1
1772	POPULUS/POPLAR SPECIES	8"	F	R		1
1773	POPULUS/POPLAR SPECIES	8"	F	R		1
1774	ACER/MAPLE SPECIES	8", 2	F	R		2
1775	ACER/MAPLE SPECIES	12"	F	R		2
1776	ACER/MAPLE SPECIES	10", 2	F	R		3
1777	PALMIUM/DOGWOOD SPECIES	10"	F	R		1
1778	ACER/MAPLE SPECIES	15"	F	R		2
1779	ACER/MAPLE SPECIES	12"	F	R		2
1780	ACER/MAPLE SPECIES	10"	F	R		2
1781	ACER/MAPLE SPECIES	10"	F	R		2
1782	ACER/MAPLE SPECIES	10"	F	R		1
1783	ACER/MAPLE SPECIES	12"	F	R		1
1784	ACER/MAPLE SPECIES	18"	F	R		2
1785	ACER/MAPLE SPECIES	12"	F	R		1
1786	DEAD	8"	D	R		0 - Dead
1787	ACER/MAPLE SPECIES	12"	F	R		2
1788	ACER/MAPLE SPECIES	12"	F	R		2
1789	ACER/MAPLE SPECIES	12", 8"	F	R	3	2
1790	ACER/MAPLE SPECIES	12"	F	R		2
1791	ACER/MAPLE SPECIES	18"	F	R		2
1792	ACER/MAPLE SPECIES	12"	F	R		2
1793	CARYA/HICKORY SPECIES	15"	F	R		1
1794	ACER/MAPLE SPECIES	10"	F	R		2
1795	DEAD	10"	D	R		0 - Dead
1796	POPULUS/POPLAR SPECIES	8"	F	R		1
1797	POPULUS/POPLAR SPECIES	8"	F	R		1
1798	ACER/MAPLE SPECIES	8"	F	R		1
1799	ACER/MAPLE SPECIES	12"	F	R		2
1800	POPULUS/POPLAR SPECIES	8"	F	R		1
1801	ACER/MAPLE SPECIES	12"	F	R		1
1802	ACER/MAPLE SPECIES	12"	F	R		1
1803	DEAD	10"	D	R		0 - Dead
1804	ACER/MAPLE SPECIES	10"	F	R		1
1805	ACER/MAPLE SPECIES	8"	P	R		1
1806	DEAD	10"	D	R		0 - Dead
1807	ACER/MAPLE SPECIES	10"	F	R		1
1808	ACER/MAPLE SPECIES	8"	P	R		1
1809	CARYA/HICKORY SPECIES	15"	F	R		2
1810	UMMULUM SPECIES	12"	F	R		2
1811	QUERCUS/OAK SPECIES	12"	F	R		2
1812	FRAXINUS/HICKORY SPECIES	8"	F	R		1
1813	QUERCUS/OAK SPECIES	10", 8"	F	R	3	4
1814	QUERCUS/OAK SPECIES	10"	F	R		1
1815	ACER/MAPLE SPECIES	10"	F	R		1
1816	QUERCUS/OAK SPECIES	15"	F	R		2
1817	ACER/MAPLE SPECIES	8"	P	R		1
1818	ACER/MAPLE SPECIES	8"	F	R		1
1819	UMMULUM SPECIES	12", 2	F	R	2	1
1820	ACER/MAPLE SPECIES	8"	F	R		1
1821	ACER/MAPLE SPECIES	24", 18"	F	R	6	3
1822	ACER/MAPLE SPECIES	10"	F	R		1
1823	ACER/MAPLE SPECIES	10"	F	R		1
1824	ACER/MAPLE SPECIES	10"	F	R		1
1825	ACER/MAPLE SPECIES	10"	F	R		1
1826	ACER/MAPLE SPECIES	12"	F	R		2
1827	ACER/MAPLE SPECIES	8"	F	R		1
1828	ACER/MAPLE SPECIES	8"	F	R		1
1829	ACER/MAPLE SPECIES	10"	F	R		1
1830	ACER/MAPLE SPECIES	10"	F	R		1
1831	ACER/MAPLE SPECIES	8"	P	R		1
1832	ACER/MAPLE SPECIES	10", 8"	F	R	4	1
1833	QUERCUS/OAK SPECIES	12"	F	R		2
1834	ACER/MAPLE SPECIES	8"	P	R		1
1835	ACER/MAPLE SPECIES	8"	F	R		1
1836	CARYA/HICKORY SPECIES	10"	F	R		1
1837	QUERCUS/OAK SPECIES	10"	F	R		1
1838	ACER/MAPLE SPECIES	12", 8"	F	R	3	1
1839	ACER/MAPLE SPECIES	10"	F	R		1
1840	ACER/MAPLE SPECIES	10"	F	R		1
1841	DEAD	12"	D	R		0 - Dead
1842	ACER/MAPLE SPECIES	18"	F	R		1
1843	ACER/MAPLE SPECIES	10"	F	R		1
1844	ACER/MAPLE SPECIES	18", 8"	F	R	4	1
1845	ACER/MAPLE SPECIES	15"	F	R		2

Tree ID #	Tree Type	Diameter	Health Condition	Remove	Multi Stem Replic. Credit	Replacement Credits
1846	ACER/MAPLE SPECIES	8"	P	R		1
1847	ACER/MAPLE SPECIES	21", 8"	F	R	4	1
1848	ACER/MAPLE SPECIES	24"	P	R		3
1849	UMMULUM SPECIES	15"	F	R		2
1850	ACER/MAPLE SPECIES	15", 2", 8"	F	R	5	2
1851	ACER/MAPLE SPECIES	8"	F	R		2
1852	ACER/MAPLE SPECIES	8"	F	R		1
1853	ACER/MAPLE SPECIES	12"	F	R		2
1854	ACER/MAPLE SPECIES	15"	F	R		2
1855	DEAD	12"	D	R		0 - Dead
1856	ACER/MAPLE SPECIES	21"	F	R		3
1857	DEAD	12", 2	D	R		0 - Dead
1858	DEAD	18", 2	D	R		0 - Dead
1859	ACER/MAPLE SPECIES	10"	F	R		2
1860	QUERCUS/OAK SPECIES	24"	F	R		3
1861	QUERCUS/OAK SPECIES	24"	F	R		3
1862	QUERCUS/OAK SPECIES	21"	F	R		3
1863	ACER/MAPLE SPECIES	8"	F	R		1
1864	UMMULUM SPECIES	12"	F	R		1
1865	UMMULUM SPECIES	10", 2	F	R	3	1
1866	QUERCUS/OAK SPECIES	24"	F	R		3
1867	QUERCUS/OAK SPECIES	12"	F	R		1
1868	ACER/MAPLE SPECIES	10"	F	R		1
1869	ACER/MAPLE SPECIES	12"	F	R		2
1870	ACER/MAPLE SPECIES	12"	F	R		2
1871	ACER/MAPLE SPECIES	24"	F	R		2
1872	DEAD	8"	D	R		0 - Dead
1873	ACER/MAPLE SPECIES	15"	F	R		2
1874	UMMULUM SPECIES	24"	F	R		1
1875	DEAD	12"	D	R		0 - Dead
1876	ACER/MAPLE SPECIES	12"	F	R		1
1877	UMMULUM SPECIES	10"	F	R		1
1878	UMMULUM SPECIES	8"	P	R		1
1879	ACER/MAPLE SPECIES	15", 8"	F	R	5	2
1880	ACER/MAPLE SPECIES	12"	F	R		2
1881	DEAD	8"	D	R		0 - Dead
1882	ACER/MAPLE SPECIES	12"	F	R		1
1883	DEAD	10"	D	R		0 - Dead
1884	DEAD	10"	D	R		0 - Dead
1885	ACER/MAPLE SPECIES	24"	F	R		1
1886	ACER/MAPLE SPECIES	10"	P	R		1
1887	ACER/MAPLE SPECIES	18", 8"	F	R	4	1
1888	UMMULUM SPECIES	10"	F	R		1
1889	ACER/MAPLE SPECIES	24", 12"	F	R	1	1
1890	DEAD	21"	D	R		0 - Dead
1891	DEAD	15"	D	R		0 - Dead
1892	UMMULUM SPECIES	12"	F	R		1
1893	QUERCUS/OAK SPECIES	24"	F	R		1
1894	QUERCUS/OAK SPECIES	18"	F	R		1
1895	ACER/MAPLE SPECIES	10"	F	R		1
1896	ACER/MAPLE SPECIES	8"	P	R		1
1897	ACER/MAPLE SPECIES	10"	F	R		1
1898	UMMULUM SPECIES	12"	F	R		1
1899	POPULUS/POPLAR SPECIES	12"	F	R		1
1900	ACER/MAPLE SPECIES	8"	P	R		1
1901	ACER/MAPLE SPECIES	24"	F	R		1
1902	UMMULUM SPECIES	10"	F	R		1
1903	ACER/MAPLE SPECIES	10", 8"	F	R	1	1
1904	ACER/MAPLE SPECIES	10"	F	R		1
1905	ACER/MAPLE SPECIES	12"	F	R		1
1906	ACER/MAPLE SPECIES	10"	F	R		1
1907	ACER/MAPLE SPECIES	10"	F	R		1
1908	ACER/MAPLE SPECIES	8"	P	R		1
1909	ACER/MAPLE SPECIES	18", 8"	F	R	2	1
1910	ACER/MAPLE SPECIES	10"	F	R		1
1911	DEAD	10"	D	R		0 - Dead
1912	ACER/MAPLE SPECIES	10"	F	R		1
1913	ACER/MAPLE SPECIES	10"	F	R		1
1914	ACER/MAPLE SPECIES	8"	F	R		1
1915	QUERCUS/OAK SPECIES	12"	F	R		1
1916	ACER/MAPLE SPECIES	12"	F	R		1
1917	ACER/MAPLE SPECIES	10"	F	R		1
1918	DEAD	12"	D	R		0 - Dead
1919	CARYA/HICKORY SPECIES	10"	P	R		1
1920	QUERCUS/OAK SPECIES	21"	F	R		1
1921	QUERCUS/OAK SPECIES	21"	F	R		1
1922	UMMULUM SPECIES	12", 8"	F	R	1	1
1923	UMMULUM SPECIES	12", 8"	F	R	1	1
1924	ACER/MAPLE SPECIES	12"	F	R		1
1925	ACER/MAPLE SPECIES	12"	F	R		1
1926	ACER/MAPLE SPECIES	10"	F	R		1
1927	ACER/MAPLE SPECIES	10"	F	R		1
1928	ACER/MAPLE SPECIES	10"	F	R		1
1929	ACER/MAPLE SPECIES	10"	F	R		1
1930	ACER/MAPLE SPECIES	18", 10", 12"	F	R	1	1
1931	QUERCUS/OAK SPECIES	24"	F	R		1
1932	ACER/MAPLE SPECIES	12"	F	R		1
1933	ACER/MAPLE SPECIES	10"	F	R		1
1934	ACER/MAPLE SPECIES	10"	F	R		1
1935	ACER/MAPLE SPECIES	10"	F	R		1
1936	ACER/MAPLE SPECIES	18", 8", 3	F	R	2	1
1937	ACER/MAPLE SPECIES	10"	F	R		1
1938	UMMULUM SPECIES	8"	P	R		1
1939	DEAD	15"	D	R		0 - Dead
1940	ACER/MAPLE SPECIES	12"	F	R		1
1941	DEAD	8"	D	R		0 - Dead
1942	UMMULUM SPECIES	10"	F	R		1
1943	ACER/MAPLE SPECIES	10"	F	R		1
1944	ACER/MAPLE SPECIES	10"	F	R		1
1945	CARYA/HICKORY SPECIES	12"	F	R		1
1946	CARYA/HICKORY SPECIES	8"	P	R		1
1947	QUERCUS/OAK SPECIES	10"	F	R		2
1948	UMMULUM SPECIES	8"	F	R		1
1949	QUERCUS/OAK SPECIES	8"	F	R		1
1950	QUERCUS/OAK SPECIES	15"	F	R		2
1951	QUERCUS/OAK SPECIES	40"	F	R	4	1
1952	ACER/MAPLE SPECIES	10"	F	R		1
1953	QUERCUS/OAK SPECIES	15"	F	R		2
1954	QUERCUS/OAK SPECIES	12"</				



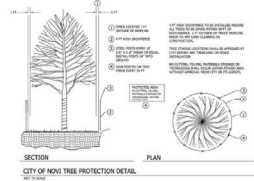
WOODLAND IMPACT PLAN
SCALE: 1" = 40'



TAX ID: #22-16-300-054
ZONED: RM-1
LOW DENSITY
MULTIPLE FAMILY
"CENTRAL PARK, LLC"

TAX ID: #22-16-300-008
ZONED: R-A
RESIDENTIAL, APARTAGE
"JASON RITCHE"

TAX ID: #22-16-300-054
RES
"AKS"
"SUMV"
"SHAMITT"
200
RESIDENT
TAX ID: #22-16-300-054
RESIDENT
"HAN"



- NOTES**
- 1 1" FT PROTECTIVE SNOW FENCE - METAL STAKES @ 6" MAXIMUM. PLACE NO CLOSER THAN 8" FROM TRUNK OF PRESERVED TREE.
 - 2 CRITICAL ROOT ZONE - 1 FT. RADIUS PER 1" OF DBH.
 - 3 REMOVE - TREES TO BE MARKED BY LANDSCAPE ARCHITECT FOR REMOVAL.

WOODLAND DATA

Total Trees Surveyed:	325 Trees
Total Trees Preserved:	118 Trees
WOODLAND IMPACT	
Trees Removed:	11 Trees
Dead Trees Removed:	0 Trees
Very Poor Cond. Trees Removed:	198 Trees
Trees Req. Repl. Removed:	28 Trees
Multi Stem Trees Req. Repl. Removed:	28 Trees

WOODLAND REPLACEMENT	
Replacement Trees:	83 Credits
Trees 8" to 10" DBH: 83 Trees x 1 Credit =	83 Credits
Trees 11" to 19" DBH: 84 Trees x 2 Credit =	168 Credits
Trees 20" to 29" DBH: 23 Trees x 3 Credit =	69 Credits
Trees 30" or Greater: 8 Trees x 4 Credit =	32 Credits

Trees Multi Stem Req. Credits: 105 Credits

TOTAL CREDITS REQUIRED: 467 Credits

PROPOSED REPL. CREDITS:	
Deciduous Trees:	169 Credits
169 Trees Proposed (2.5" cal. Tree = 1 Credit)	
Coniferous Trees:	14 Credits
14 Trees Proposed (8 Ft. H. Tree = 1 Credit)	
Native Seedlings:	13 Credits
(70 s.y. = 1 Credit - 960 s.y. provided) (5% of total max. = 19 cr. = 1,330 s.y.)	
Total Proposed Credits:	196 Credits
Balance of Credits: (Paid to City Tree Fund)	261 Credits

NOTE: Additional replacement trees to be planted in existing Central Park Conservation Easement as coordinated with city officials and credited toward balance at that time.

deakplanningdesign.com

CENTRAL PARK SOUTH
Novi, Michigan

seal:



project sponsor:
Nobe Property Group II, LLC
46100 Grand River Ave.
Novi, MI 48374

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revisions:
PRELIM. SPA APP. 07/17/23
RVSD PER CMNTS. 8/25/23

sheet title:
WOODLAND IMPACT PLAN

project no.
182302

sheet no.
WP.01



NOT TO BE USED AS CONSTRUCTION DRAWING

EXTERIOR MATERIAL & FINISH LEGEND					
ITEM	MATERIAL	MANUFACTURER	FINISH/DESCRIPTION/COLOR	USE	NOTES
1	Brick 1	Common Brick	Medium White Smooth Texture	Modular	See elevations for additional info.
2	Brick 2	Mirra Ceramic Brick	Charter Grey	Modular	See elevations for additional info.
3	Brick 3	Prodot Clay Products	Wangcheng Import Vector Texture	Modular	See elevations for additional info.
4	Stained EPS - Color A		Match Sherwin Williams #SW 7009 Pure White		3/16" Milano Texture or equal
5	Stained EPS - Color B		Match Sherwin Williams #SW 7009 Summit Grey		3/16" Milano Texture or equal
6	Stained EPS - Color C		Match Sherwin Williams #SW 7009 Iron Ore		3/16" Milano Texture or equal
7	Stained EPS - Color D		Match Sherwin Williams #SW 6003 Lily		3/16" Milano Texture or equal
8	Stained EPS - Color E		Match Sherwin Williams #SW 6206 Oyster Bay		3/16" Milano Texture or equal
9	Riser Cement Panel - Color A	Hardie or similar	Match Sherwin Williams #SW 7009 Pure White		Smooth Texture, 5/8" Thickness
10	Riser Cement Panel - Color B	Hardie or similar	Match Sherwin Williams #SW 7009 Summit Grey		Smooth Texture, 5/8" Thickness
11	Riser Cement Panel - Color C	Hardie or similar	Match Sherwin Williams #SW 7009 Iron Ore		Smooth Texture, 5/8" Thickness
12	Riser Cement Panel - Color D	Hardie or similar	Match Sherwin Williams #SW 6003 Lily		Smooth Texture, 5/8" Thickness
13	Riser Cement Panel - Color E	Hardie or similar	Match Sherwin Williams #SW 6206 Oyster Bay		Smooth Texture, 5/8" Thickness
14	Metal Coping		Match adjacent material color		
15	Enhanced Cornice	EPS or similar	Match Sherwin Williams #SW 7009 Pure White		
16	Soffits	Exterior Plaster	To Match Siding Above		
17	Door Frames		Black		
18	Door Panels		Black		
19	Windows		Black		
20	Balcony Railings		Match Sherwin Williams #SW 7009 Pure White		
21	Balcony Fascia & Underlaid		Match Sherwin Williams #SW 7009 Iron Ore		
22	Rooftop Screens/Metal Panels		Atlas Bone White 24 or similar		

Note: Materials, features and suppliers used for this project may vary based on pricing and availability. All construction materials and features shall be of compatible state, appearance, color and quality to the materials listed and shown on the accompanying material board, and shall be indicated on the construction plans that will be submitted to the City for construction. All Window Trim assumed to be integral.

BUILDING HEIGHT: +58' - 0 3/4"

MATERIAL CALCULATION TABLE			
SIDE ELEVATION - EAST ELEVATION			
MATERIAL	SQ. FT.	ACTUAL %	ALLOW %
BRICK	6,027 SF	54%	30% MIN
CORNICE	130 SF	1%	15% MAX
EPS	2,866 SF	23%	25% MAX
PANEL	2,493 SF	22%	25% MAX
TOTAL	11,515 SF	100%	

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: +58' - 0 3/4"

MATERIAL CALCULATION TABLE			
SIDE ELEVATION - SOUTH ELEVATION			
MATERIAL	SQ. FT.	ACTUAL %	ALLOW %
BRICK	6,014 SF	49%	30% MIN
CORNICE	138 SF	1%	15% MAX
EPS	3,054 SF	25%	25% MAX
PANEL	3,019 SF	25%	25% MAX
TOTAL	12,225 SF	100%	

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: +58' - 0 3/4"

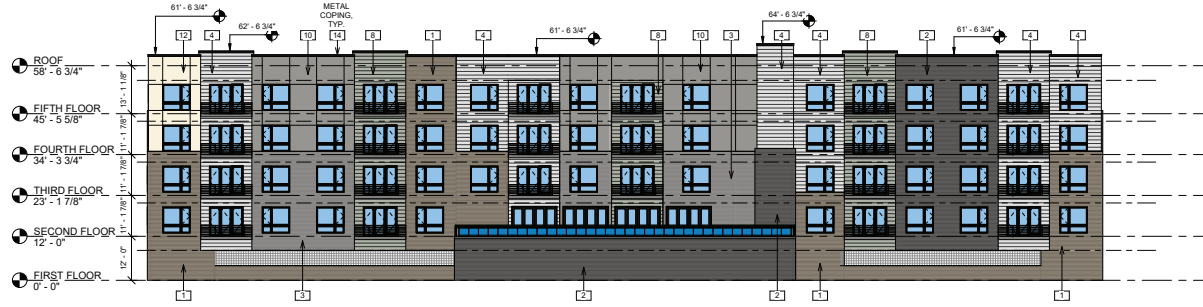
MATERIAL CALCULATION TABLE			
SIDE ELEVATION - WEST ELEVATION			
MATERIAL	SQ. FT.	ACTUAL %	ALLOW %
BRICK	6,729 SF	60%	30% MIN
CORNICE	158 SF	1%	15% MAX
EPS	1,416 SF	14%	25% MAX
PANEL	2,905 SF	26%	25% MAX
TOTAL	11,309 SF	100%	

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: +58' - 0 3/4"

MATERIAL CALCULATION TABLE			
SIDE ELEVATION - NORTH ELEVATION			
MATERIAL	SQ. FT.	ACTUAL %	ALLOW %
BRICK	6,014 SF	49%	30% MIN
CORNICE	138 SF	1%	15% MAX
EPS	3,054 SF	25%	25% MAX
PANEL	3,019 SF	25%	25% MAX
TOTAL	12,225 SF	100%	

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.



1 EAST EXT ELEVATION
1/16" = 1'-0"



3 SOUTH EXT ELEVATION
1/16" = 1'-0"



4 WEST EXT ELEVATION
1/16" = 1'-0"



2 NORTH EXT ELEVATION
1/16" = 1'-0"

NOTE TO BUILDING OFFICIAL:
THIS DRAWING IS NOT VALID
UNLESS THE SIGNATURE AND
SEAL ARE IN BLUE INK



Alexander V. Bogart & Associates, P.C.

Planning

Architecture

Interior Design

2445 Franklin Road

Bloomfield Hills, MI 48302

248-334-5000

DATE PLOTTED:

EXT ELEVATIONS

CLIENT/PROJECT:

BOYMAN
CENTRAL PARK SOUTH

DRAWN BY:

MM

FILE NAME:

C:\projects\1444444444\1444444444\1444444444.dwg

DESIGNED BY:

MM

DATE:

08/20/22

SHEET NUMBER:

A2

REVISIONS:

SQA Revision 2 - 08/20/22

PRELIMINARY:

SQA: 08/20/22

BIDS:

08/20/22

PERMITS:

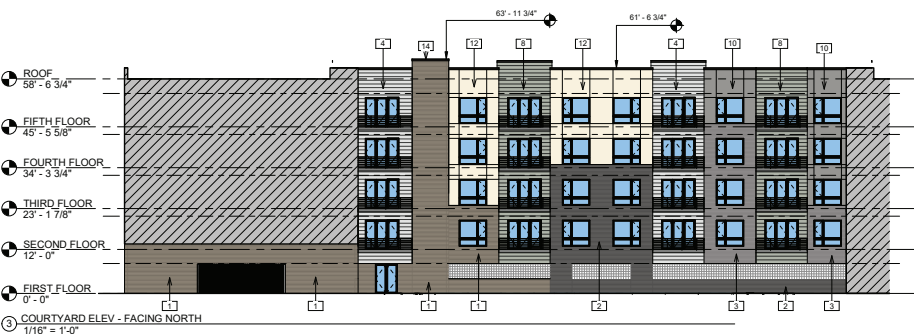
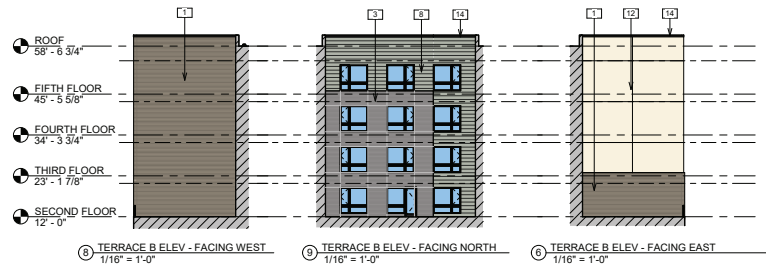
08/20/22

CONSTRUCTION:

08/20/22

EXTERIOR MATERIAL & FINISH LEGEND					
ITEM	MATERIAL	MANUFACTURER	FINISH/DESCRIPTION/COLOR	USE	NOTES
1	Brick 1	Common Brick	Medium White Smooth Texture	Modular	See elevations for additional info.
2	Brick 2	Woods Ceramic Brick	Charter Grey	Modular	See elevations for additional info.
3	Brick 3	Profound Clay Products	Wangenschnecht Venetian Texture	Modular	See elevations for additional info.
4	Insured EPS - Color A		Match Sherman Williams #10 7005 Pure White	310 Milano Texture or equal	
5	Insured EPS - Color B		Match Sherman Williams #10 7009 Summit Grey	310 Milano Texture or equal	
6	Insured EPS - Color C		Match Sherman Williams #10 7009 Iron Ore	310 Milano Texture or equal	
7	Insured EPS - Color D		Match Sherman Williams #10 6003 Lily	310 Milano Texture or equal	
8	Insured EPS - Color E		Match Sherman Williams #10 6206 Oyster Bay	310 Milano Texture or equal	
9	Riser Cement Panel - Color A	Hardie or similar	Match Sherman Williams #10 7005 Pure White	Smooth Texture, 5/8" Thickness	
10	Riser Cement Panel - Color B	Hardie or similar	Match Sherman Williams #10 7009 Summit Grey	Smooth Texture, 5/8" Thickness	
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13	Riser Cement Panel - Color E	Hardie or similar	Match Sherman Williams #10 6206 Oyster Bay	Smooth Texture, 5/8" Thickness	
14	Metal Cladding		Match Adjacent material color		
15	Enhanced Cornice	EPS or similar	Match Sherman Williams #10 7005 Pure White		
16	Soffits	Exterior Plaster	To Match Siding Above		
17	Door Frames	Black			
18	Door Panels	Black			
19	Windows	Black			
20	Balcony Railings		Match Sherman Williams #10 7005 Pure White		
21	Balcony Fascia & Under-side		Match Sherman Williams #10 7009 Iron Ore		
22	Rooftop Screens/Metal Panels		AT&T Bone White 24 or similar		

Note: Materials, features and suppliers used for this project may vary based on pricing and availability. All construction materials and features shall be of compatible state, appearance, color and quality to the materials listed and shown on the accompanying material board, and shall be indicated on the construction plans that will be submitted to the City for construction. All Window Trim assumed to be integral.



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 248-334-5000

BOGDARTS + ASSOC.
 CENTRAL PARK SOUTH
 NOV 1, 2024

DRAWN BY: MM
 FILE NAME: C:\PROJECTS\1510108585\1510108585.dwg
 CHECKED BY: MM
 DATE: 11/01/2024
 SHEET NUMBER: A2.1

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

September 22, 2023

Planning Review

Central Park Estates South

JSP 23-22

PETITIONER

Nobe Property Group II, LLC

REVIEW TYPE

2nd Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	16	
Site Location	South of Grand River Avenue and east of Beck Road,; 22-16-300-055	
Site School	Novi Community School District	
Site Zoning	RM-2: High-Density, Mid-Rise Multiple Family District	
Adjoining	North	RM-1: Low-Density Multiple Family
	East	RM-1: Low-Density Multiple Family
	West	R-3: One-Family Residential (with Planned Suburban Low Rise Overlay)
	South	RA: Residential Acreage
Current Site	Vacant	
Adjoining Uses	North	Multiple Family
	East	Multiple Family
	West	Senior Living Facility
	South	Single Family
Site Size	6.99 acres	
Plan Date	August 25, 2023	

PROJECT SUMMARY

The subject property is approximately 7 acres and is located east of Beck Road south of Grand River Avenue (Section 16). The applicant is proposing to develop the vacant parcel with 1 multiple family building containing 142 rental units. Parking would be provided on the ground floor of the building as well as surface parking on two sides of the building. A private street network is proposed with access from Beck Road, with a secondary connection to the existing Central Park Estates development to the north.

RECOMMENDATION

The Preliminary Site Plan is **recommended for conditional approval**, if the necessary approvals from City Council and Zoning Board of Appeals are granted.

A public hearing before the Planning Commission is scheduled. Planning Commission will be asked to approve or deny the Preliminary Site Plan, Wetland permit, Woodland permit and Storm Water Management Plan.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the

Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Density and Total Number of Rooms: In the RM-2 District, total number of rooms dictates the maximum density that can be attained for a specific site. The current ordinance provides clear guidelines if the development contains only one type of bedroom units, and uses a factor if a mix of different types of units are proposed. This development proposes a mix of studio, 1-bedroom, 2-bedroom, and 2-bedroom with den units. The maximum allowable rooms is calculated by taking the area of the parcel in square feet, divided by a factor of 700. For the subject parcel, the maximum number of rooms allowed for this property is 412 rooms (6.62 net acres = 288,367 sq. ft. / 700).

The applicant is proposing 370 rooms with a total density of 21 DUA (Dwelling Units per Acre). The Future Land Use map recommends a density of 20.7 dwelling units per acre.

2. Building Length (Section 3.8.2.C): The maximum horizontal length of a building is 180 feet. The proposed building is approximately 261 feet in each direction. Section 3.8.2.C states that buildings in excess of 180 feet can be approved by the Planning Commission under certain conditions, including if greater setbacks are provided from all property lines. The additional 81 feet of building length requires an additional 1 foot of setback for every 3 feet of excess building length, **or in this case 27 feet, for a total required setback of 102 feet from property lines. The building setback is about 84 feet on the east side, and 97 feet on the north side – therefore this project is not eligible for the Planning Commission to modify the building length. The Zoning Board of appeals would need to approve a request for a variance to permit the additional 81 feet of building length. Staff supports the request as the adjacent property is owned by the applicant and not immediately adjacent to structures, and also avoids further impacts to natural features.**
3. Parking Setback (Sections 3.1.8.D and 3.8.2.F): On the north side of the property, the required parking setback of 20 feet is not met. **The applicant will need to request a variance from the Zoning Board of Appeals for a setback of 11.5 feet (variance of 8.5 feet).** Staff supports the request as the adjacent property is owned by the applicant and not immediately adjacent to structures, and also avoids further impacts to natural features.
4. Parking Adjacent to Building (Section 5.10.1.B.iv): Minimum building setback from the end of a parking stall is 25 feet in residential zoning districts. **The proposed plan has 17-foot setback on the north, south and west. A ZBA variance will be required. Staff supports the request as there are no living spaces on the ground floor of the building, as it is used for interior parking.**
5. Usable Open Space (Section 3.1.8.D): The ordinance requires a minimum of 200 square feet of usable open space per dwelling unit proposed. **For a total of 142 units, 28,400 square feet of usable open space is required to be provided.** The definition provided in the ordinance lists the following as Usable Open Space:
 1. *Balconies with direct access to the dwelling unit.*
 2. *Courts and yards at grade level which are devoted exclusively to recreational use, and which A) are open and unobstructed from its lowest level to the sky; and B) Are directly accessible by means of a common passageway to residents of all dwelling units within the buildings; and C) Has no dimension less than 50 feet; and D) Are designed and intended for the private recreational use of residents of the building.*
 3. *The roof of a building, or portion thereof which is developed exclusively for recreational use and which: A) is directly accessible by means of a common passageway to all residents of all dwelling units within the building; or B) Is directly accessible to residents of all dwelling units served by a ramp (with a grade of less than 10 percent) from a yard, or court; and C) has no dimension less than 50 feet; and D) Is designed and intended for private recreational use of residents of the building.*

The applicant has included the following in their Open Space calculations: Unit balconies (13,400 sf), Terraces (6,326 sf), Amenities (3,968 sf), Path (5,600 sf) for a total of 29,294 square feet. It does not appear that the Terraces or the Path meet the definition as they have dimensions less than 50 feet (width). It appears that the “Amenities” are existing off-site facilities on the Central Park Estates property. The applicant has provided plans from the original Central Park project that indicates the amenities were to be shared with “Beck House,” a senior living facility that was proposed on the subject property at that time, and should therefore be permitted to count toward the open space requirement for the units proposed now. In case either property is sold in the future, the applicant should provide an agreement to run with the property to ensure that residents of the proposed project retain the right to use those amenities.

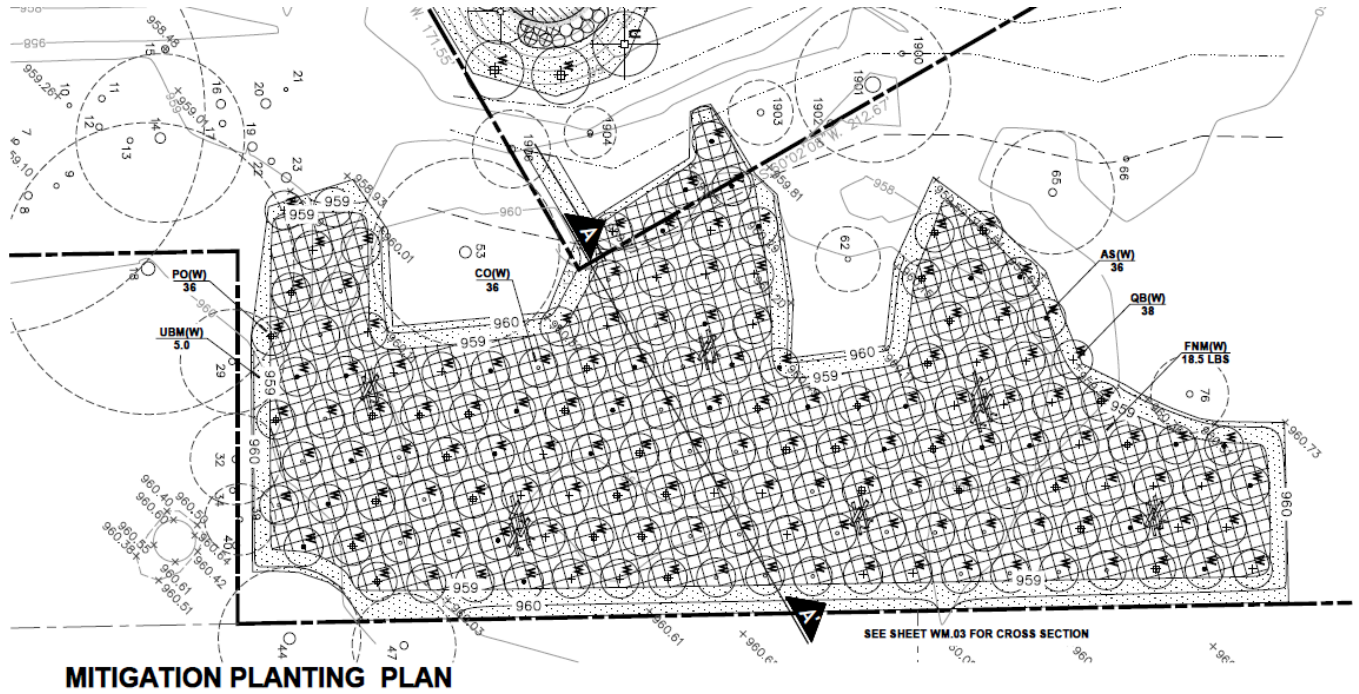
The applicant has also requested a variance from the ZBA to allow spaces less than the required 50-foot dimension to be counted (terraces and walking path). Greater detail of each space will be needed at the time of Final Site Plan submittal to verify the spaces are “designed and intended for private recreational use.”

6. Wetland Impacts: The plan proposes permanent wetland impacts totaling 0.33 acre. The Wetland and Watercourse Ordinance requires mitigation of all impacts over 0.25 acre. The applicant calculates the mitigation area required is 0.65 acre. In this submittal there is an area of the adjacent property (22-16-300-054) labeled “Potential Wetland Mitigation Area 0.97 acre.” The city’s Wetland consultant visited the site on August 22, 2023, for an initial assessment of its potential use as a location for wetland mitigation. They describe the area shown in the image below the M1-M28 dashed line as “an open area with grasses and forested area with lots of buckthorn.” They concluded “it could be an appropriate area for mitigation as it will not impact current wetlands and minimally impacts the forested area.” **However, this area is contained within an existing Woodland and Wetland Conservation Easement. The easement language states, “The subject areas shall be perpetually preserved and maintained, in their natural and undeveloped condition, unless authorized by permit from the City, and, if applicable, the Michigan Department of Environmental Equality (sic) and the appropriate federal agency.”** Planning Commission’s approval of the wetland and woodland permits on behalf of the City could count as authorization under the terms of the Easement.



A tree survey and more detailed wetland mitigation plans were received late in the day on Friday, September 15th, after many of the reviews had been completed for this submittal. The plans are being distributed for review by the City’s wetland and woodland consultants, but the reviews may not be completed before the Planning Commission packet is due. The plans propose a 0.60-acre area of forested wetland mitigation, with about 146 tree credits to be planted. The tree species to be planted within the mitigation area include Silver Maple, Hackberry, Sycamore, and Swamp White Oak. Within the mitigation area approximately 41 trees are proposed to be removed in order to

construct the new wetland. See image below of the mitigation area and planting plan. Based on previous calculations of required mitigation, the proposed wetland is deficient by 0.06 acre.



As an alternative to constructing wetland mitigation as noted above, the applicant, Blair Bowman, states in a Memorandum to Barb McBeth, dated 8-25-23, “we technically are still formally proposing a wetland banking approval, which we realize is not within city standards and will require city council approval. We truly do not believe this will be necessary given that we have this acceptable onsite mitigation area available.” Mr. Bowman is referring to the option of buying wetland bank credits from an EGLE-approved wetland bank outside of the City. **With the updated wetland information now provided for the adjacent property, it appears that mitigation on the adjacent site will be possible within an existing conservation easement if the area can be enlarged as described above. The applicant should also indicate the new 25-foot wetland buffer to ensure it does not encroach on the adjacent properties. As the area proposed for mitigation is upland area, and proposed tree removals would be subject to the requirements of the Woodland Protection Ordinance, Staff supports the mitigation plan proposed if requirements of Chapter 12 can be met, and recommends approval of the Wetland Permit.**

7. Conservation Easements: Wetland mitigation and woodland replacement credit planting areas are required to be permanently protected in Conservation Easements. Draft conservation easements are required along with Final Site Plan submittal.
8. Required Parking: The ordinance requires 284 parking spaces to accommodate the 142 units proposed. The site plan shows 279 parking spaces to be provided on-site, with an additional 8 parking spaces existing off-site to be shared with CP South for a total of 287 spaces. Review of the original site plan for Central Park Estates indicated that they were not required spaces at the time of their approval. **The applicant has provided a draft agreement to formalize this arrangement, which would need to be reviewed and approved by the City’s legal counsel at the time of Final Site Plan review. Planning Commission will make a determination on whether to permit these spaces to count toward the required parking spaces.**
9. Planning Review Chart: **Please refer to Planning Review chart for additional comments that need to be addressed in future submittals.**

10. Project & Street Name: The applicant will need to submit an [application](#) for the community name and street name to be approved by the Project & Street Naming committee. This committee is comprised of emergency response and building officials, and primarily is concerned with ensuring no duplicate or similar-sounding names conflict with existing places.

OTHER REVIEWS

- a. Engineering Review: Engineering is **recommending approval of the site plan, and the Stormwater Management Plan at this time**. Additional comments will need to be addressed in the Final Site Plan submittal.
- b. Landscape Review: Landscape **recommends conditional approval**, contingent on applicant working to eliminate the need for non-supported waivers. Refer to review letter for detailed comments.
- c. Wetlands Review: A Wetlands Permit is required for the proposed impacts to regulated wetland. The impacts exceed the 0.25 acre threshold for mitigation (0.33 acre proposed), which will require 0.66 acre of wetland mitigation. Additional comments to be addressed with Final Site Plan. **Wetlands does not recommend approval at this time because the mitigation area proposed is not sufficient size to meet requirements.**
- d. Woodlands Review: **Woodlands recommends approval contingent on minor comments being addressed.**
- e. Traffic Review: Additional comments to be addressed with revised Preliminary Site Plan. **Traffic recommends approval.**
- f. Facade Review: Façade **recommends approval**. The materials sample board shall be provided prior to the Planning Commission meeting.
- g. Fire Review: **Conditional approval** of the Preliminary Site Plan is recommended. Additional comments to be addressed with Final Site Plan.

NEXT STEP: PLANNING COMMISSION MEETING

At the request of the applicant, the Preliminary Site Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan has been scheduled for the public hearing on **September 27, 2023**. Please provide the following by September 21st:

1. Site Plan submittal in PDF format. **(This has been received)**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan, which is to be used for Planning Commission presentation.

ZONING BOARD OF APPEALS MEETING

The applicant should seek a Zoning Board of Appeals approval of Dimensional Variances noted. The application can be found at this [link](#). Please contact Sarah Fletcher at 248-347-0459 for meeting and deadline schedule. **The application deadline is generally the 1st of the month for the following month's scheduled meeting.**

FINAL SITE PLAN SUBMITTAL

If Planning Commission grants approval and variances are approved by ZBA, the applicant should submit the following for Final site plan review and approval

1. Seven copies of Final Site Plan addressing all comments from Preliminary review, plus one electronic copy
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected. Please refer to the last review letters from other reviewers.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Hazardous Materials Packet](#) (Non-residential developments)

9. [Non-Domestic User Survey](#) (Non-residential developments)
10. [Project & Street Naming Application](#) with street layout plan for final Street Name approval
11. Legal Documents - as required
12. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received approval of the Electronic Stamping Set from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

SITE ADDRESSING

A new address is required for this project. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

STREET AND PROJECT NAME

The project and the street name will need to receive Committee approval. Please contact Diana Shanahan (248-347-0483) in the Community Development Department for additional information. The address application can be found by clicking on this [link](#).

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.



Lindsay Bell, *AICP* – Senior Planner

Attachments:

1. Planning Review Chart




PLANNING REVIEW CHART: RM-2 High Density Multiple Family

Review Date: August 8, 2023
Review Type: Preliminary Site Plan Review
Project Name: **JSP23-22 CENTRAL PARK SOUTH**
 50-22-16-300-055; East of Beck Rd, South of Grand River Ave
Plan Date: June 21, 2023
Prepared by: Lindsay Bell, Senior Planner
E-mail: lbell@cityofnovi.org **Phone:** (248) 347-0484

Items in **Bold** need to be addressed by the applicant with next submittal. *Italicized* items should be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan	Multiple Family	Multiple-Family Residential – Land Use Narrative provided.	Yes	
Zoning	RM-2 High-Density Mid-Rise Multiple-Family District	RM-2, High-Density, Mid-Rise Multiple-Family Residential (142 units)	Yes	
Uses Permitted (Sec 3.1.11.B & C)	RM-2 Uses permitted listed in Section 3.1.8.B & C	Multiple-Family Residential (RM-2)	Yes	
Residential: Height, Bulk, Density, and Area Limitations (Sec. 3.1.8.D)				
Frontage on a Public Street (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Beck Road	Yes	
Access to a Major Throughfare (Sec. 5.13)	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive OR access driveway on other street type is not across street from existing or planned single-family uses	Complies	Yes	
Minimum Zoning Lot Size for each Unit: in Acres (Sec 3.8.1)	RM-2 Required Conditions <u>See below</u>	6.616 net acres (excluding ROW)		
Minimum Zoning Lot Size for each Unit: Width in Feet (Sec 3.8.1)				
Usable Open Space Area (Sec. 3.1.8.D)	200 sf Minimum usable open space per dwelling unit For a total of 142 dwelling units, <u>required Open Space: 28,400 SF</u>	Proposed calculation shows 29,294 square feet: <ul style="list-style-type: none"> • 3 Terraces – 6,326 sf • Balconies – 13,400 sf • Amenities – 3,968 ft • Path – 5,600 sf 	No	<u>Terraces and Path have a dimension less than 50 feet – applicant is requesting ZBA variance to count as usable open space.</u> Amenities that are enclosed by the building do not fit the definition of Usable Open Space. The conservation path is not

Item	Required Code	Proposed	Meets Code	Comments	
		Total actual on-site: 25,326		shown on the plans, please label it on the next submission. Please refer to definition in the ZO.	
Maximum % of Lot Area Covered (By All Buildings)	45%	17.3%	Yes	Please provide calculation in the next submittal to verify lot coverage	
Building Height (Sec. 3.1.8.D)	65 ft or 5 stories, whichever is less 	64'-4" feet to highest parapet	Yes		
Minimum Floor Area per Unit (Sec. 3.1.8.D)	Efficiency	400 sf	475sf min	Yes	
	1 bedroom	500 sf	763 sf min	Yes	
	2 bedroom	750 sf	881 sf min	Yes	(1bd + den)
	3 bedroom	900 sf	1312 sf min	Yes	(2bd + den)
	4 bedroom	1,000 sf		NA	
Maximum Dwelling Unit Density/Net Size Area (Sec. 3.1.8.D)	Efficiency	Max 10%	12 (8%)	Yes	
	1 bedroom	31.1 du/net ac. Max 33%	40 (28%)	Yes	
	2 bedroom	20.7 du/net ac.	82 (58%)	Yes	
	3+ bedroom	15.6 du/net ac.	8 units (6%)	Yes	
Residential Building Setbacks (Sec. 3.1.8.D, Sec. 3.6.2.B, and Sec. 3.8.2.C - if applicable)					
Front (West)	75 feet	164.9 ft	Yes		
Side (North)	75 feet	97.1 ft	Yes		
Side (South)	75 feet	117.3 ft	Yes		
Rear (East)	75 feet	84.1 ft	Yes		
Parking Setbacks (Sec. 3.1.8.D) Refer to applicable notes in Sec. 3.6.2					
Front (West)	75 feet (Street frontage)	~129 ft	Yes		
Side (North)	20 feet	11.5 ft	No	ZBA variance requested by applicant	
Side (South)	20 feet	~ 91.3 ft	Yes		
Rear (East)	20 feet	~45 ft	Yes		
RM-2: Note to District Standards (Sec. 3.6.2)					
Area Requirements (Sec. 3.6.2.A)	Pursuant to the definition contained in Section 2.2, lot width shall be measured between the two points where the front setback line intersects the side lot lines.	Parcel is existing	NA	No minimum lot width given in RM-2 district	

Item	Required Code	Proposed	Meets Code	Comments
	The purpose of this amendment is to protect against the creation within the city of irregularly-shaped flag lots.			
Setback Requirements (Sec. 3.6.2.B)	For all uses permitted other than single-family or two-family residential, the building or structure setback shall at least equal to: (1) the height of the main building; (2) seventy-five (75) feet; or (3) the setback required in the Development Standards of Section 3.1 of this Ordinance, whichever is greater. For all off-street parking lots serving any use other than single-family residential, the setback from any interior side or rear lot line shall be not less than twenty (20) feet, and the setback from the front and any exterior side lot line shall comply with the building setback required for such uses specified above.	75-foot building setback from all property lines is required and is met. Off-street parking on the north does not meet 20-foot minimum setback.		
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.		NA	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained	Shown	Yes	Authorization to Encroach into Wetland Buffer Area will be required. See Wetland review for detailed comments
RM-2 District Required Conditions (Sec. 3.8 & 3.10)				
Total number of rooms (Sec. 3.8.1.B)	Total No. of rooms < Net site area in SF/700 288,193 SF/700 = 411 (Estimated Net excludes ROW)	370 rooms	Yes	
Public Utilities (Sec. 3.8.1)	All public utilities should be available	Shown	Yes	See Engineering Review
Maximum Number of Units (Sec. 3.8.1.B.ii)	Efficiency < 10 percent of the units	3.5%	Yes	
	1 bedroom units < 33 percent of the units	17.6%	Yes	
	Balance should be at least 2 bedroom units		Yes	

Item	Required Code	Proposed	Meets Code	Comments	
Room Count per Dwelling Unit Size (Sec. 3.8.1.C) An extra room such as den, library or other extra room count as an additional bedroom	Dwelling Unit Size Efficiency	1	12 units – 12 rooms	Yes	Total of 370 rooms.
	1 bed	2	40 units – 80 rooms	Yes	
	2 bedroom	3	82 units – 246 rooms	Yes	
	3 or more bedrooms	4	8 units – 32 rooms	Yes	
For the purpose of determining lot area requirements and density in a multiple-family district, a room is a living room or bedroom, equal to at least eighty (80) square feet in area. A room shall not include the area in kitchen, dining, sanitary facilities, utility provisions, corridors, hallways, and storage. Plans presented showing one (1), two (2), or three (3) bedroom units and including a "den," "library," or other extra room shall count such extra room as a bedroom for the purpose of computing density.					
Setback along natural shoreline (Sec. 3.8.2.A)	A minimum of 150 feet along natural shoreline is required.	No shoreline	NA		
Structure frontage (Sec. 3.8.2.B)	Each structure in the dwelling group shall front either on a dedicated public street or approved private drive.	Drive will be private.	Yes		
Maximum length of the buildings (Sec. 3.8.2.C)	A single building or a group of attached buildings cannot exceed 180 ft.	280 feet	No	ZBA variance required because setbacks do not qualify for PC approval as described below	
Modification of maximum length (Sec. 3.8.2.C)	Planning Commission may modify the extra length up to 360 ft if common areas with a minimum capacity of 50 persons for recreation or social purposes. Additional setback of 1 ft. for every 3 ft. in excess of 180 ft. from all property lines.	101 ft excess requires 34 ft additional setback	NA	Not eligible for Planning Commission modification due to lack of extra setback	
Building Orientation (Sec. 3.8.2.D)	Where any multiple dwelling structure and/ or accessory structure is located along an outer perimeter property line adjacent to another residential or nonresidential district, said structure shall be oriented at a minimum angle of 45 degrees to property line.	Building is angled 45 degrees	Yes		
Yard setback restrictions (Sec. 3.8.2.E)	Within any front, side or rear yard, off-street parking, maneuvering lanes, service drives or loading areas cannot exceed 30% of yard area	19.38%	Yes		

Item	Required Code	Proposed	Meets Code	Comments
Off-Street Parking or related drives (Sec. 3.8.2.F) Off-street parking and related drives shall be...	No closer than 25 ft. to any wall of a dwelling structure that contains openings involving living areas	No living areas on ground level of structure	Yes	
	No closer than 8 ft for other walls	17 ft	Yes	
	No closer than 20 ft from ROW and property line	11.5 ft	No	Applicant has stated they will be seeking a variance.
Pedestrian Connectivity (Sec. 3.8.2.G)	5 feet sidewalks on both sides of the Private drive are required to permit safe and convenient pedestrian access.	5-foot-wide sidewalk connecting Beck Road on north and south side of driveway	Yes	
	Where feasible sidewalks shall be connected to other pedestrian features abutting the site.	Connected to main sidewalk system on Beck Road, 2 additional sidewalks connect to Central Park Estates development to the north	Yes	
	All sidewalks shall comply with barrier free design standards	Barrier free markings shown	TBD	See Traffic Review for detailed comments.
Minimum Distance between the buildings (Sec. 3.8.2.H)	(Total length of building A + total length of building B + 2(height of building + height of building B))/6		NA	<i>One building proposed.</i>
Minimum Distance between the buildings (Sec. 3.8.2.H)	In no instance shall this distance be less than thirty (30) feet unless there is a corner-to-corner relationship in which case the minimum distance shall be fifteen (15) feet.		NA	<i>One building proposed.</i>
Number of Parking Spaces Residential, Multiple-family (Sec. 5.2.12.A)	Two (2) for each dwelling unit having two (2) or less bedrooms and two and one-half (2 ½) for each dwelling unit having three (3) or more bedrooms 2 x (142 units) = 284 Spaces Required	287 spaces provided (includes 8 off-site spaces shared)	Yes	<i>Note Section 5.16.3 permits reduction bonus by providing additional bike parking</i>
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at	90° Parking with 9' x 19' shown 24ft two way drives shown 4" curb with 9' x 17' spaces	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	these locations and along landscaping			
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall 	End Islands provided	Yes	See Traffic Review and Landscape Review for comments
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Exceeds	Yes	
Barrier Free Spaces Barrier Free Code	With 284 spaces required, 5 standard BF and 2 van-accessible BF spaces required	8 accessible, inc. 2 van-accessible	Yes	
Barrier Free Space Dimensions Barrier Free Code	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	Van accessible: Meets code Regular accessible: Meets code	Yes	<p>There is a discrepancy between sheets SP-1 and A1.1. Please verify all accessible spaces dimensions.</p> <p>Sheet SP-1 shows 8' wide spaces and 8' wide aisles and A1.1 shows 11' wide spaces with 5' aisles for van accessible spaces.</p> <p>Sheet SP-1 shows all dimensions for regular accessible spaces. Sheet A1.1 only shows dimensions for regular accessible spaces on the south side. Please add dimensions for the remaining accessible spaces on sheet A1.1.</p>
Barrier Free Signs Barrier Free Code	One sign for each accessible parking space.	Shown	Yes	
Corner Clearance (Sec. 5.9)	No fence, wall plant material, sign or other	Shall comply	Yes	See Landscape Review.

Item	Required Code	Proposed	Meets Code	Comments
	obstruction shall be permitted within the clear view zone above a height of 2 feet from established street grade			
Minimum number of Bicycle Parking (Sec. 5.16.1) <u>Multiple-family residential</u>	One (1) space for each five (5) dwelling units Required: 28 Spaces	10 spaces available in courtyard. Applicant has indicated the remaining 22 can be stored in the individual storage units on the first floor.	Yes	
Bicycle Parking General requirements (Sec. 5.16)	No farther than 120 ft. from the entrance being served	~25 ft	Yes	
	When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations	Only one paved location	Yes	
	Spaces to be paved and the bike rack shall be inverted "U" design Shall be accessible via 6 ft. paved sidewalk	Accessible via 7ft paved sidewalk	TBD	Provide a detailed design of the bike parking layout and bike rack in Final Site Plan submittal
Covered Bicycle Parking requirements (Sec. 5.16.4)	When 20 or more bicycle parking spaces are required, 25% of the spaces shall be covered (7 spaces must be covered)	22 proposed via indoor storage facilities located on the first floor	Yes	Applicant has indicated indoor storage facilities -
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Appears to comply	TBD	Please show detail for each specific set of spaces to verify enough space
Additional Road Design, Building Setback, And Parking Setback Requirements, Multiple-Family Uses (Sec. 5.10)				
Road standards (Sec. 5.10)	A private drive network within a cluster, two -family, multiple-family, or non-residential uses and developments shall be built to City of Novi Design and Construction Standards for local street standards (28 feet back-to-back width)			
Major Drives	Width: 28 feet	Generally, 28 feet wide – Entrance from Beck Road is Major Drive	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Minor Drive	<ul style="list-style-type: none"> - Cannot exceed 600 feet - Width: 24 feet with no on-street parking - Width: 28 feet with parking on one side - Parking on two sides is not allowed - Needs turn-around if longer than 150 feet 	No minor drives present	NA	Parking lots around building are accessed from Major Drive
Parking on Major and Minor Drives	<ul style="list-style-type: none"> - Angled and perpendicular parking, permitted on minor drive, but not from a major drive; - minimum centerline radius: 100 feet - Adjacent parking and on-street parking shall be limited near curves with less than two-hundred thirty (230) feet of centerline radius - Minimum building setback from the end of a parking stall shall be 25 feet in residential districts. 	<p>Perpendicular parking proposed</p> <p>Building less than 25 feet from parking stall</p>	<p>Yes</p> <p>No</p>	<p><u>ZBA variance required for deficiency in setback from parking (17 feet proposed on north, south and west)</u></p>
Accessory and Rooftop Structures (Sec. 4.19)				
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Interior trash rooms/chutes. States that trash will be rolled out to NE corner of the building to be collected.	Yes	
Dumpster Enclosure (Sec. 21-145. (c) Chapter 21 of City Code of Ordinances)	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	<p>No dumpster shown</p> <p>Applicant has stated that there will be interior trash chutes and collection spaces.</p>	Yes	
Roof top equipment and wall mounted utility equipment	All roof top equipment, including mechanical and electrical equipment, shall not exceed the maximum	65' parapets shown, indicates RTUs will be placed min. of 20 feet	Yes	Please provide the location of rooftop equipment on the next submittal

Item	Required Code	Proposed	Meets Code	Comments
(Sec. 4.19.2.E.ii)	permitted building height limits, unless the following are met: For every 1 foot of excess height, it shall be set back 5 feet from any and all building faces. No roof top appurtenance shall exceed 5 feet above max height of district.	from building face		
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Screening parapets shown	Yes	
Sidewalks and Other Requirements				
Non-Motorized Plan	No additional pathways shown.	Sidewalk shown connecting to development to the north	NA	
Sidewalks (Subdivision Ordinance: Sec. 4.05)	Sidewalks are required on both sides of proposed drives	North and south sidewalks are shown	Yes	
Public Sidewalks (Chapter 11, Sec.11-276(b), Subdivision Ordinance: Sec. 4.05)	Connection to main sidewalk on Beck Road required.	8' pathway on Beck Road frontage shown	Yes	
Entryway lighting (Sec. 5.7.N)	One streetlight is required per entrance.		Yes	
Building Code and Other Requirements				
Woodlands (City Code Ch. 37)	Replacement of removed trees	Trees are to be removed. Listed on sheets C-1 and TL.01	TBD	See Woodland Review.
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	Mitigation plans required	TBD	See Planning and Wetland Review comments.
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Generally provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and	Generally provided		See reviews for missing information

Item	Required Code	Proposed	Meets Code	Comments
	parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).			
Economic Impact Information	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Not shown		Please provide listed information (i.e., estimated cost, jobs) with response letter before Planning Commission hearing
Building Exits	Building exits must be connected to sidewalk system or parking lot.	Complies	Yes	
Phasing	All projects must be completed within two years of the issuance of any starting permit or phasing plan should be provided	One phase	NA	
Other Permits and Approvals				
Development/ Business Sign <i>(City Code Sec 28.3)</i>	The leading edge of the sign structure shall be a minimum of 10 ft. behind the right-of-way. Entranceway shall be a maximum of 24 square feet, measured by completely enclosing all lettering within a geometric shape. Maximum height of the sign shall be 5 ft.	Proposed sign shown at entrance on Beck.	TBD	Contact Maureen Underhill at 248.735.5602, munderhill@cityofnovi.org for more information on sign permits.
Project & Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee	Street and project name will need approval	No	Contact Diana Shanahan at 248.347.0475 or via email dshanahan@cityofnovi.org
Parcel Split or Combination or Condominium Approval	Any parcel splits or combinations or condominium approvals must be completed before Stamping Set approval.	None proposed	NA	
Other Legal Requirements				
Master Deed/Covenants and Restrictions	Applicant is required to submit this information for review with the Final Site Plan submittal		NA	
Conservation easements	Conservation easements may be required for woodland impacts	Wetland and woodland easements may be required	TBD	<u>Draft documents would be required prior to stamping set approval.</u>
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent	A lighting and photometric plan is provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	properties & reduce unnecessary transmission of light into the night sky			
Lighting Plan (Sec. 5.7.2.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Mostly provided		
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Provided	Yes	
Lighting Specifications (Sec. 5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	Provide hours of operation.
	Photometric data	Provided	Yes	
	Fixture height	Provided	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Provided	Yes	
	Type & color rendition of lamps	LED Lamps	Yes	
	Hours of operation		No	
Max Height (Sec. 5.7.3.A)	Height not to exceed maximum height of 25 feet	20 ft	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation - 	Provided	Yes	Please include standard notes on the photometric plan.
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 		TBD	Show location of security doors on the photometric plan and any associated lighting.
Average Light Level (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Garage lighting is not subject to these conditions	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Lighting Type (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 fc min	.2 fc min	Yes	Applicant has stated that these areas cannot be broken up.
	Loading & unloading areas: 0.4 fc min	.4 fc min	TBD	
	Walkways: 0.2 fc min	Courtyard PED: 1.3 fc PED 1: 1.0 fc PED 2: .4 fc PED 3: .3 fc PED 4: .5 fc PED 5: .8 fc	Yes	
	Building entrances, frequent use: 1.0 fc min	3.7	Yes	
	Building entrances, infrequent use: 0.2 min		TBD	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Property line fc: Max .5 fc	Yes	
Cut off Angles (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle - No direct light source shall be visible at the property line (adjacent to residential) at ground level	.5 fc at property line.	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

9/15/2023

Engineering Review
Central Park Estates South
JSP23-0022

APPLICANT

Nobe Property Group II, LLC

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: East of Beck Road north of West 11 Mile Road.
- Site Size: 6.99 acres
- Plan Date: 8/25/2023
- Design Engineer: Environmental Engineers, Inc.

PROJECT SUMMARY

- Construction of a five-story residential building with 142 units, and associated parking. Site access would be provided via public roadways.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the east side of Beck Road. A 2-inch domestic lead and an 8-inch fire lead would be provided to serve the building, along with 6 additional hydrants.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer off-site.
- Storm water would be collected by a single storm sewer collection system and discharged to an on-site detention basin.

RECOMMENDATION

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

The following comments are to be addressed at Final Site Plan submittal:

General Comments:

1. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets) and Boardwalks/Pathways (1 sheet). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
2. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
3. Plans show multiple light poles located within the watermain easement, if light poles cannot be relocated outside of the easement, then a license agreement will be needed.
4. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
5. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
6. Show and label the master planned 60-foot half width right-of-way for Beck Road. The dedication of the master-planned half right-of-way up to sixty (60) feet in width is requested for the project. Label the additional right-of-way width to be dedicated along Beck Road as "proposed" right-of-way. Right-of-way dedication is needed for Beck Road both Central Park Estates and Central Park Estates South.
7. Right-of-way was not dedicated with the original Central Park Estates site plan, this will be requested with this site plan.
8. A right-of-way permit from the City of Novi will be required. Permit application is available on the city website, permit application should be submitted with the final site plan.
9. Declaration of Covenants will be needed for the parking lot connection and sidewalk connection to that adjacent parcel, this will be needed if property owner of the two parcels is the same. If the property owner for both parcels is not the same LLC then we will need a cross-access easement and a temporary construction easement.
10. Provide a traffic control plan for the proposed road work activity at time of final site plan submittal.

11. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas and illustrate and label on the profiles.
12. Add note that the trees shall maintain a minimum 5-foot horizontal separation distance from the watermain and at least a 10-foot separation from the sanitary sewer.
13. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.

Water Main

14. A tapping sleeve, valve and well is required at the connection to the existing water main.
15. Provide water main modeling calculations demonstrating that the required water supply of 2,000/4,000 GPM will be available.
16. Generally, the distribution system in all developments requiring more than eight hundred (800) feet of water main shall have a minimum of two (2) connections to a source of supply and shall be a looped system. Exceptions will be made in those instances when a second connection is not available, or it is not otherwise possible to provide a looped system, provided the system is designed to accommodate a second connection when made available. The ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per minute in apartment, cluster residential and similar complexes, institutional and school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. Water mains are required to be extended along all road frontages abutting the proposed development at the direction of the city in accordance with the City of Novi Master Plan current edition for water main construction.
17. Provide additional valves to limit pipe runs to a maximum of 800 feet between valves.
18. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
19. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length.
20. Provide a separate domestic lead and, if required by the Fire Marshal, a minimum 6-inch fire lead for each building with a unique shut-off valve for each.
21. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.

22. A sealed set of utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#) for water main construction, the Streamlined Water Main Permit Checklist, and electronic utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

Irrigation Comments

23. Irrigation plans must be provided with the final site plan submittal.
24. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

Sanitary Sewer

25. Provide a sanitary sewer basis of design for the development on the utility plan sheet.
26. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way.
27. If Monitoring Manhole is within a proposed sanitary sewer easement a separate monitoring manhole easement is not required.
28. Section 11-164 (g)-4 states the maximum length of a sanitary sewer lead shall not exceed 100-feet unless otherwise approved. Extend Sanitary Sewer so that leads are not more than 100-feet long.
29. Label length of sanitary lead proposed.
30. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
31. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
32. *For 8-inch and larger extensions* - Provide a testing bulkhead immediately upstream of the sanitary connection point.
33. Illustrate all pipes intersecting with manholes on the sanitary profiles.
34. Three (3) sealed sets of revised utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#), electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are

anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

Storm Sewer

35. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
36. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
37. Match the 0.80 diameter depth above invert for pipe size increases.
38. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
39. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge off- site/to the storm water basin.
40. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
41. Illustrate all pipes intersecting storm structures on the storm profiles.
42. An easement is required over the storm sewer accepting and conveying off-site drainage.
43. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
44. Provide storm sewer design calculations.

Storm Water Management Plan

1. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the [Engineering Design Manual](#).
2. Provide manufacturer's details and sizing calculations for the pretreatment structure(s) on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. Provide details for existing structures.
3. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of 1 square-inch in size, even though this may result in a flow rate above that calculated.
4. The flow restriction shall be accomplished by methods other than a pipe restriction in an oversized pipe due to the potential for clogging and restrictor removal. A perforated standpipe, weir design, baffle wall, etc. should be utilized instead.

5. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.
6. Add note that basin buffer strip shall be planted with native vegetation and no chemical lawn care or mowing will be done in the buffer.

Paving & Grading

7. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
8. Revise the pathway cross-section to indicate a maximum cross-slope of 2%.
9. Provide spot elevations at the intersection of the proposed pathway with the existing pathway.
10. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Division. Stamped concrete will not be acceptable.
11. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
12. Provide a note on the Grading Plan stating that the proposed pathway within the road right-of-way shall match existing grades at both ends.
13. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms.
14. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
15. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
16. Revise the on-site road cross-section to 1.5 inches of MDOT 5E1 on 2.5 inches of MDOT 3C on 8 inches of 21AA [limestone only if within 100 feet of a watercourse] aggregate base.
17. Provide end island dimensions and label parking stall dimensions on plans.
18. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
19. Dimensions of parking stalls abutting a curb or sidewalk are to the face of curb or walk. All other dimensions are to back of curb unless otherwise indicated.
20. Where needed - Provide a line designation representing the effective 19-foot stall length for 17-foot perimeter stalls.
21. Label the actual usable length of the proposed angled parking stalls. This is done by measuring between parallel lines representing the position at the

front and rear of the car, without the rear of the car conflicting with the maneuvering aisle.

Soil Erosion and Sediment Control

22. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a [SESC permit application](#) under separate cover.

Off-Site Easements

23. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.
24. Declaration of Covenants shall be needed for the connection to the Central Park Estates parking lot and the sidewalk connection, this is needed if the property owner for both parcels is the same. If there is a different property owner, then a cross access easement will be needed.

The following must be submitted with the Final Site Plan:

25. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
26. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number do detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a [legal review transmittal form](#). Partial submittals will not be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#))

27. A draft copy of the [Storm Drainage Facility Maintenance Easement Agreement \(SDFMEA\)](#), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department.

Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.

28. A draft copy of the [Cross-Access Easement](#) for the connection to the existing parking lot to the adjacent Central Park Estates parcel must be submitted to the Community Development Department. (only needed if property owner is not the same for both parcels)
29. A draft copy of the 20-foot-wide [Watermain System Easement](#) onsite must be submitted to the Community Development Department.
30. A draft copy of the 20-foot-wide [Sanitary Sewer Easement](#) onsite must be submitted to the Community Development Department.
31. A draft copy of the 20-foot-wide [Sanitary Sewer Monitoring Manhole Access Easement](#) onsite must be submitted to the Community Development Department.
32. A draft copy of the warranty deed for the additional proposed 60-foot-wide right-of-way along Beck Road must be submitted for review and acceptance by the City. For Right-of-way on Beck Road in front of Central Park Estates and Central Park Estates South.
33. A 20-foot-wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
34. Executed copies of approved off-site utility easements must be submitted.

The following must be addressed prior to construction:

35. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
36. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
37. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Heather Gendron at 248-844-5400 for more information.
38. Construction inspection fees in the amount of **\$TBD** must be paid to the Community Development Department. ****fees are subject to change.**
39. Legal escrow fees in the amount of **\$TBD** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. ****fees are subject to change.**

40. Legal fees for off-site easements should be paid as soon as possible so that documents can be approved.
41. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Treasury Department at 248-347-0498 to determine the amount of these fees.
42. A street sign financial guarantee in the amount of **\$TBD** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
43. A traffic control inspection fee of **\$TBD** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
44. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
45. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the city website ([Right-of-Way Permit Application](#)) and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.
46. An [Act 399 Permit for Community Water Supply Systems](#) for water main construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the water main plans have been approved. Please submit the cover sheet, overall utility sheet, standard details, and plan/profile sheets applicable to the permit.
47. A [Part 41 Permit For Wastewater Systems](#) for sanitary sewer construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the sanitary sewer plans have been approved. Please submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit. **Be aware that approval by both (1) Oakland County Water Resources Commissioner (OCWRC) and (2) Wayne County Department of Public Services (WCDPS) are required prior to submittal to EGLE.**
48. An NPDES permit must be obtained from EGLE since the site is over 5 acres in size. EGLE may require an approved SESC plan to be submitted with the Notice of Coverage.
49. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resources Commissioner (OCWRC).

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:


50. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
51. All easements and agreements referenced above, with the exception of the warranty deed for the street(s) to be dedicated as public, must be executed, notarized and approved by the City Attorney and Engineering Division.
52. A [Bill of Sale for the Utilities](#) conveying the improvements to the City of Novi must be submitted to the Community Development Department.
53. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
54. Submit to the Community Development Department Waivers of Lien from any parties involved with the installation of each street as well as a Sworn Statement listing those parties. The Waivers of Lien shall state that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
55. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
56. Submit a Maintenance Bond to the Community Development Department in the amount of **\$TBD** (Equal to 25 percent of the cost of the construction of the utilities to be accepted). This bond must be for a period of two years from the date that the Utility Acceptance Permit is issued by the City of Novi Engineering Division. This document is available on the City's website under [Forms and Permits](#).
57. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

58. Provide a warranty deed for the additional proposed road right-of-way along Beck Rod for acceptance by the City.

Prior to preparing stamping sets, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval send revised sheets directly to Engineering for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Humna Anjum at (248)735-5632 or email at hanjum@cityofnov.org with any questions.



Humna Anjum,
Project Engineer

cc: Lindsay Bell, Community Development
Kevin Roby, Water & Sewer
Linda Slepetski, Water & Sewer
Adam Yako, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

August 3, 2023
Central Park Estates South
Preliminary Site Plan - Landscaping

Review Type

Preliminary Site Plan Landscape Review

Job #

JSP23-0022

Property Characteristics

- Site Location: Beck Road south of Central Park Estates
- Site Acreage: 6.99 ac.
- Site Zoning: RM-2/RM-3
- Adjacent Zoning: North, East: RM-1, South: RM-2/R-A, West: RM-3
- Plan Date: 7/17/2023

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Recommendations:

This project **is recommended for approval for Preliminary Site Plan**, contingent on the applicant working to eliminate the need for the non-supported waivers.

LANDSCAPE DEVIATIONS REQUIRED FOR PROPOSED LAYOUT:

- No landscaped berm is provided to screen the residences to the south – not supported by staff without evidence that the preserved woods and proposed landscaping will provide sufficient screening.
- No greenbelt berm is proposed – *supported by staff*
- Less than 50% of the non-woodland replacement species used are native to Michigan – *not supported by staff*

Please add the City Project Number, JSP23-0022, to the bottom right corner of the overall cover sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. **Tree survey is provided.**
2. **Please plant more replacements on the site or adjacent site to enhance the preserved woodlands on the adjacent parcels.**
3. **Please use predominantly oaks, then American elms or maples to replace what is being removed.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to R-A zoned property on the south.

2. The required berm with landscaping is not proposed, so a landscape waiver is required.
3. **Please provide evidence that the preserved woodland will provide sufficient visual and audible buffering.**
4. Additional screening to enhance the preserved woods may be necessary to provide sufficient buffering for the residences to the south.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required greenbelt width and landscaping are provided.
2. **The required berm is not provided. This requires a landscape waiver.** *While the berm would be preferred, the waiver is supported because significant landscaping is provided in the greenbelt and detention pond to screen the parking from the road.*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Only parking lot perimeter trees are required around the outside edge of the exterior parking lot and the required trees are provided, with multifamily unit trees, which is allowed.
2. **Please provide calculations for the courtyard parking lot to show that the required landscape area and trees are provided.**
3. **Please show the SF of all islands with trees in them.**

Building foundation Landscaping (Zoning Sec 5.5.3.D)

The building foundation landscaping requirements are exceeded by what is proposed.

Plant List (LDM 4, 10)

1. **The tree diversity requirements are met.**
2. Only 11 of 29 species used (38%) are native to Michigan. **This deficiency would require a landscape waiver.** *It would not be supported by staff as there are many readily available native species available in the trade to meet or exceed the 50% requirement. Please increase the percentage of non-woodland replacement species used on the site to at least 50% to meet the requirement.* A document listing native species available in local wholesale nurseries is provided with this review to assist in making the additions.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

Provided

Irrigation (LDM 10)

1. Not provided.
2. If an irrigation system will be added, the plans for it need to be included in the Final Site Plans.
3. If a different method will be used to provide the required water for the plants' establishment and long-term survival, that information needs to be included in the Final Site Plan.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Preliminary Site Plan

Review Date: August 3, 2023
Project Name: JSP23 – 0032: CENTRAL PARK ESTATES SOUTH
Plan Date: July 17, 2023
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE DEVIATIONS REQUIRED FOR PROPOSED LAYOUT:

- No landscaped berm is provided to screen the residences to the south – *not supported by staff without evidence that the preserved woods and proposed landscaping will provide sufficient screening.*
- No greenbelt berm is proposed – *supported by staff*
- Less than 50% of the non-woodland replacement species used are native to Michigan – *not supported by staff*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements – Basic Information (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 10)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"-20' minimum with proper North. Variations from this scale can be approved by LA 	<ul style="list-style-type: none"> • Overall scale: 1" = 30' • Foundation plantings scale: 1"=20' 	Yes	
Owner/Developer Contact Information <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Project Information <i>(LDM 10)</i>	Name and Address	Vicinity map on Cover Sheet	Yes	Please copy the location plan to Sheet LP.01 (it could be smaller)
Survey information <i>(LDM 10)</i>	Legal description or boundary line survey	Survey and description on Sheet C-1	Yes	
Landscape Architect contact information <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Steve Deak	Yes	
Sealed by LA. <i>(LDM 10)</i>	Requires original signature	No		<u>Final stamping sets must be sealed by LA and</u>

Item	Required	Proposed	Meets Code	Comments
				<u>have live LA signature</u>
Miss Dig Note (800) 482-7171 (LDM 10)	Show on all plan sheets	Yes	Yes	
EXISTING CONDITIONS				
Existing plant material Existing woodlands or wetlands (LDM 10.h)	<ul style="list-style-type: none"> • Show location type and size. • Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Tree Survey on Sheets TS-1, TS-2 and TL-1 • Removals and replacement calculations are provided on Sheet WP.01 • Wetlands on site are delineated and shown on Sheet C-1. • Per calculations on WP.01, 377 woodland replacement credits are required and 43 credits are proposed to be planted on the site or on the adjacent property which is also owned by the developer. 	<ul style="list-style-type: none"> • Yes • Yes • Yes • Yes 	<ol style="list-style-type: none"> 1. It appears that Tree #1841 should also be shown as being removed. Please add an additional replacement credit required. 2. The applicant is encouraged to plant more of the required replacements in the adjacent conservation easement's open area(s) to enhance the buffer and increase the woodland habitat of the conservation easement. 3. See the Mannik & Smith & DRG letters for complete reviews of woodlands and wetlands 4. Woodland replacement trees should not be counted in the tree diversity calculation and do not need to follow any diversity requirements. Use more oaks, maples and elms as replacements to more closely mimic what was removed. 5. All woodland replacement trees need to be protected by a conservation easement, either new or already existing.

Item	Required	Proposed	Meets Code	Comments
				6. The tree fence location should be drawn per the actual dripline, not the outline of the CAD tree symbol, to avoid grading problems in the field.
Soil type (LDM 10)	As determined by Soils survey of Oakland County	Sheet TS-1	Yes	
Zoning (LDM 10)	<ul style="list-style-type: none"> • Site: RM-2 • Proposed: PSLR • North, East, South: RA/RM-1, West: R-3 	Sheet LP-01	Yes	
PROPOSED IMPROVEMENTS (LDM 10)				
Existing and proposed improvements	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes – dimensions on Sheet SP-1	Yes	
Existing and proposed utilities	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts 	<ul style="list-style-type: none"> • Proposed utilities are shown on the Landscape Plan • Proposed lights are shown 	<ul style="list-style-type: none"> • Yes • Yes 	
Proposed topography - 2' contour minimum	Provide proposed contours at 2' interval	Sheet C-2	Yes	
Clear Zones	25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	Yes, but it's placed at the road instead of the right-of-way	No	<ol style="list-style-type: none"> 1. Please move the clear vision zones back to the Beck Road right-of-way per the diagram below. 2. Move all trees out of the clear vision zone.
LANDSCAPING REQUIREMENTS				
Berms and ROW Planting				
<ul style="list-style-type: none"> • All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours • Berm should be located on lot line except in conflict with utilities. • Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.3.A)	<u>Multiple family adjacent to single family residential requires:</u> <ul style="list-style-type: none"> • 6-8 foot tall landscaped berm with 6 foot wide crest. • Opacity 80% winter, 90% summer. 	<ul style="list-style-type: none"> • No screening berm between the site and the SF homes to the south is proposed. • The developer also owns the property that 	TBD	<ol style="list-style-type: none"> 1. A landscape waiver may be required along the south side of the site for the proposed configuration, which may not provide sufficient screening

Item	Required	Proposed	Meets Code	Comments
		wraps around the property which has a conservation easement placed on it. <ul style="list-style-type: none"> • Portions of that property appear to be wooded, others are fairly clear 		for the single family residential property to the south. 2. Additional plantings or an alternate means of screening that provides the same or better opacity and audible blockage as the required berm may be required. 3. Please indicate, from an aerial view of the site, the edges of woodland on the adjacent property south of the site on the landscape plan to highlight what areas need additional screening. Woodland replacement trees could be used to provide additional screening.
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b) (RM-2)				
Greenbelt width	<ul style="list-style-type: none"> • Adj to parking: 20 ft • Not adj to pkg: 34 ft 	The nearest point of the parking lot is 95 feet from the Beck Road easement	Yes	
Min. berm crest width	2 ft	0 ft	No	1. A landscape waiver is required for the missing berm. 2. <i>It would be preferable to have the berm south of the entry, but as the building is behind the detention pond and significant landscaping, this waiver would be supported by staff.</i>
Min. berm height	3 ft	0 ft	No	See above
3' wall	(4)(7)	No wall is proposed		
Canopy deciduous or large evergreen trees (7)(10)(11)	<ul style="list-style-type: none"> • 1 tree per 35 lf • $218.6/35 = 6$ trees 	8 trees	Yes	Only trees on the property can be counted toward the requirement.

Item	Required	Proposed	Meets Code	Comments
Sub-canopy deciduous trees Notes (5)(6)(10)(11)	<ul style="list-style-type: none"> • 1 tree per 25 lf • 218.6/25 = 9 trees 	10 trees	Yes	Only trees on the property can be counted toward the requirement.
Canopy deciduous trees in area between sidewalk and curb (10)	<ul style="list-style-type: none"> • 1 tree per 35 lf • 218.6/35 = 6 trees 	6 trees	Yes	
Multi-Family Residential (Sec 5.5.3.F.iii)				
Multi-family Unit Landscaping (Zoning Sec 5.5.3.F.iii.b)	<ul style="list-style-type: none"> • 3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor with units. • 34 units * 3 = 102 trees • Up to 25% of requirement can be subcanopy trees 	<ul style="list-style-type: none"> • 102 trees • 0 (0%) are subcanopy trees 	Yes	
Interior Street Landscaping (Zoning Sec 5.5.3.F.iii.b)	<ul style="list-style-type: none"> • 1 deciduous canopy tree along interior roads for every 35 lf (both sides), excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives. • There are no interior drives not bounded by parking 	0 trees	Yes	
Foundation Landscaping (Zoning Sec 5.5.3.F.iii.b)	35% of building façades facing road must be landscaped	504/550lf = 91.6%	Yes	
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C & LDM 5)				
General requirements	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	Clear vision is provided in parking lots		
Name, type and number of ground cover	As proposed on planting islands	Lawn seed proposed where other landscaping is not specified		
Parking lot Islands (Zoning Sec 5.5.3.c.ii, iii)	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • 200sf landscape space per tree planted in island. • 6" curbs • Islands minimum width 10' BOC to BOC 	Islands appear to be sufficiently large but square footage is not provided	TBD	Please label the SF of every island, including those in the building "courtyard" to verify that they meet the 200sf requirement.
Curbs and Parking stall reduction (Zoning)	Parking stall can be reduced to 17' with 4"	<ul style="list-style-type: none"> • Exterior spaces are 17 ft long 	Yes	

Item	Required	Proposed	Meets Code	Comments
Sec 5.5.3.c.ii)	curb adjacent to a sidewalk of minimum 7 ft.	<ul style="list-style-type: none"> Spaces under the building are 19 ft long 		
Contiguous space limit (Zoning Sec 5.5.3.c.ii.o))	Maximum of 15 contiguous spaces	Longest continuous bay is 15 spaces except underneath the building where three bays are 20 feet or longer	Yes	As a landscaped island doesn't make sense under the building, no waiver is required for the longer bays under the building.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$	<ul style="list-style-type: none"> Interior trees are proposed for some interior islands. Multifamily unit trees are used to meet the requirements 	TBD	Please show the calculation for the area within the building courtyard to verify islands provided are sufficient.
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	$A + B = C \text{ SF}$	<ul style="list-style-type: none"> Islands are proposed where necessary to break up long bays and cover ends of bays Islands for parking in building interior appear to be sufficient but haven't been quantified 	<ul style="list-style-type: none"> Yes TBD 	Please show the calculation for the area within the building courtyard
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> $D = C/200$ Minimum 200sf/tree 	Courtyard parking lot trees are the only interior parking lot trees required – 4 are provided	TBD	Please show the calculation for the courtyard area within the building
Parking Lot Perimeter Trees (Zoning Sec 5.5.3.c.iv)	<ul style="list-style-type: none"> 1 Canopy tree per 35 lf Sub-canopy trees can be used under overhead utility lines. $1714/35 = 49 \text{ trees}$ 	49 trees (using multifamily unit trees)	Yes	1. There needs to be 4 feet spacing for the trees between the curb and sidewalk along the north side of the entry. It appears that at least 4 trees are squeezed into areas too

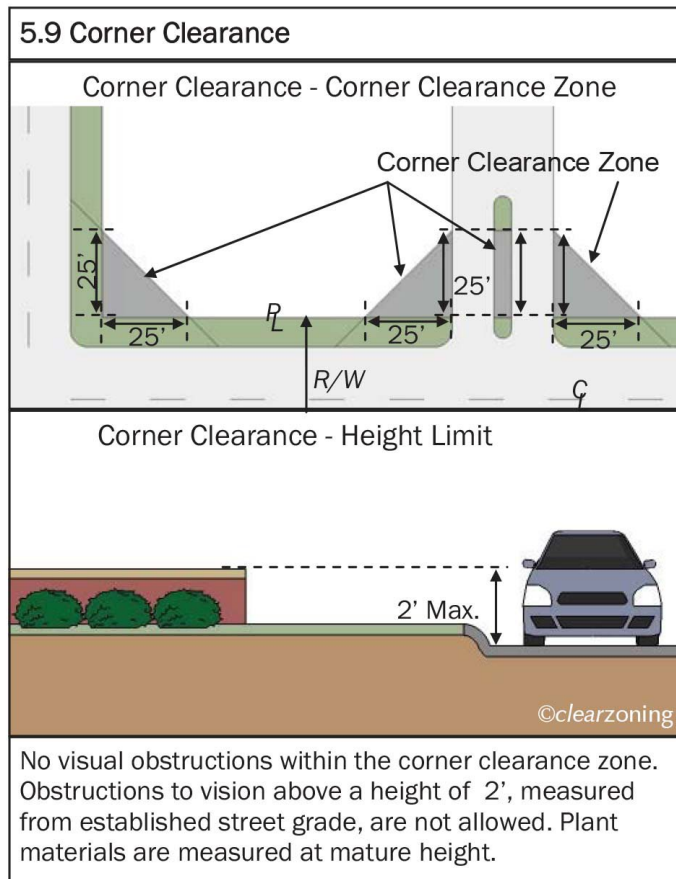
Item	Required	Proposed	Meets Code	Comments
				narrow. 2. Try shifting the sidewalk back to provide more room for those trees.
Accessway Perimeter Trees (Zoning Sec 5.5.3.c.iv.j)	1 Canopy tree per 35 lf	Included in parking lot perimeter calculation	Yes	The trees can't be provided along the north edge of the entryway due to an existing easement.
Parking land banked	NA	None		
Miscellaneous Landscaping Requirements				
Plantings around Fire Hydrant (Zoning Sec 5.5.3.c.ii.j)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants, manholes, catch basins or other utility structures. Trees should not be planted within 5 feet of underground lines. 	There are no conflicts, but as noted above, some islands may need to be enlarged to accommodate a hydrant and the required tree.	No	<ol style="list-style-type: none"> Please lay out the utility lines and structures such that the required trees can be planted with the required spacing. If the building will have a Fire Department Connection (FDC), please show it on the Sheet LP-04 and don't plant anything with a mature height taller than 12" in front of it.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes		
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	Lawn seed is proposed	Yes	
Snow deposit (LDM 10)	Show leave snow deposit areas on plan in locations where landscaping won't be damaged	Yes	Yes	
Transformers/Utility boxes (LDM 6)	<ul style="list-style-type: none"> A minimum of 2 ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	No	TBD	<ol style="list-style-type: none"> Please show <u>transformers and other utility boxes when their locations are determined.</u> If box locations are <u>not determined by final site plans, add a note to plan stating that all utility boxes</u>

Item	Required	Proposed	Meets Code	Comments
				<p>are to be landscaped per the detail.</p> <p>3. Please add the city transformer screening detail to Sheet LP-05</p> <p>4. Please add an allowance of 10 shrubs per box on the plant list and label as such</p>
<p>Detention/Retention Basin Planting requirements (Sec. 5.5.3.e, LDM 3)</p>	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 ft away from the permanent water line. Canopy trees must be located at 1 per 35lf of the pond rim 10 feet away from the permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix Include seed mix details on landscape plan 	<ul style="list-style-type: none"> Seed mixes are proposed for the detention pond Required shrubs are proposed. Canopy trees are proposed along the east, south and west sides of the pond Seed mix is indicated and details are provided 	<ul style="list-style-type: none"> Yes Yes Yes 	<p>Please add a note stating that "The contractor shall send proof of the native mix to be used in the form of a photo of the seed bag or copy of the invoice to meader@cityofnovi.org for approval prior to planting."</p>
<p>Landscape Notes and Details– Utilize City of Novi Standard Notes</p>				
<p>Plant List (LDM 4,11) – Include all cost estimates</p>				
<p>Quantities and sizes</p>		<p>Yes</p>	<p>Yes</p>	
<p>Root type</p>		<p>Yes</p>	<p>Yes</p>	
<p>Botanical and common names</p>	<ul style="list-style-type: none"> At least 50% of plant species used, not including seed mixes or woodland replacement trees, must be species native to Michigan. The non-woodland replacement tree diversity must meet the standards of the Landscape Design Manual section 4. 	<ul style="list-style-type: none"> 11 of 29 non-woodland replacement species used (38%) are native to Michigan. (Woodland replacement trees can't be included in the native species percentage calculation) The tree diversity is satisfactory 	<ul style="list-style-type: none"> No Yes 	<ol style="list-style-type: none"> A landscape waiver would be required to use less than 50% native species. <i>It would not be supported by staff.</i> Please add more native species or substitute natives for some of the non-natives used to reach at least 50%. <i>Viburnum trilobum</i> is an acceptable species. However, it is quite susceptible to

Item	Required	Proposed	Meets Code	Comments
				significant predation by the viburnum leaf beetle so you may want to consider using a different native species as a substitute.
Type and amount of lawn		All seed mixes and their quantities are provided	Yes	
Cost estimate (LDM 10.h.(11))	For all new plantings, mulch and sod as listed on the plan	Provided	Yes	<u>Please use \$375.00 as the unit costs for evergreens and subcanopy trees</u>
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Multi-stem tree		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys	Wood stakes, fabric guys.	Yes	Yes	
Cross-Section of Berms (LDM 1.a.(1))				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% slope • Constructed of loam • 6" top layer of topsoil 	No berms are proposed	No	
Type of Ground Cover		Lawn seed is indicated in the greenbelt and right-of-way	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole, 10 feet from structures, hydrants	It appears there are no overhead utilities on the site	TBD	<ol style="list-style-type: none"> 1. Please add a note stating whether there any overhead utility lines on the site. 2. If there are, please show them very clearly on the landscape plan so conflicts can be avoided.
Walls (LDM 10 & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed		

Item	Required	Proposed	Meets Code	Comments
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		NA		
Notes (LDM 10) – Utilize City of Novi Standard Details				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> Provide intended date Between Mar 15 – Nov 15 	Yes	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	<u>The General Planting Req. Note J indicates that replacements shall be guaranteed for one year. Depending on when a plant is replaced, more than one year may be required to extend to the two year maintenance period expiration date.</u>
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
General Landscape Requirements (LDM)				
General Conditions (LDM 11)	Plant materials shall not be planted within 4 ft. of property line	Note is provided	TBD	
Irrigation (LDM 10.i.)	A fully automatic irrigation system and a method of draining is required with Final Site Plan	No plan is provided		<ol style="list-style-type: none"> <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</u> <u>The plan should meet the requirements listed at the end of this chart.</u> <u>If xeriscaping is used,</u>

Item	Required	Proposed	Meets Code	Comments
				<u>please provide information about plantings included.</u>
Other information (LDM 10.n)	Required by Planning Commission	NA		
Landscape tree credit (LDM 11.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No credits are taken		
Plant Sizes for ROW, Woodland replacement and others (LDM 11.b)	Refer to LDM section 11.b for size requirements	Yes		The woodland replacement calculations indicate that there will be 11 1" cal understory trees planted, but they don't appear on any plant list. Please add them.
Plant size credit (LDM 11.b)	NA	No credits are taken		
Prohibited Plants (LDM 11.b)	Do not use any plants on the Prohibited Species List	No prohibited plants are proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	TBD	TBD	<ol style="list-style-type: none"> Clearly show any overhead lines on landscape plan. Use plants of appropriate size in proximity of those lines. If there are no overhead lines on the site, please add a note stating that.
Collected or Transplanted trees (LDM 11.b.(2)(c))		None		
Nonliving Durable Material: Mulch (LDM 12)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	On planting details		



Irrigation System Requirements

1. Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
2. The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
3. The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
4. The RPZ must be installed a minimum of 12-inches above FINISHED grade.
5. Attached is a handout that addresses winterization installation requirements to assist with this.
6. A plumbing permit is required.
7. The assembly must be tested after installation with results recorded on the City of Novi test report form.

WOODLAND REVIEW



Corporate Headquarters
295 South Water Street, Suite 300
Kent, OH 44240
800-828-8312

Local Office
3381 Lapeer Rd. West
Auburn Hills, MI 48326

To: Lindsay Bell, City of Novi Senior Planner
Community Development Department, City of Novi

From: Kerry Gray, Principal Consultant
Davey Resource Group

CC: Barbara McBeth, City Planner
Rick Meader, City of Novi Landscape Architect
Ian Hogg, City of Novi Planner
Heather Zeigler, City of Novi Planner
James Hill, City of Novi Planner
Douglas Repen, Mannik and Smith Group

Date: August 8, 2023

RE: Central Park Estates South - Multi-Family Residential Development
Woodland Review #1 –JSP23-22

Davey Resource Group, Inc. (DRG) has performed a review of the preliminary site plan for the Central Park Estates South development prepared by Environmental Engineers Inc. (dated: 06/21/2023). The Plan proposes construction of multi-family townhomes, associated utilities, and stormwater infrastructure. It was reviewed for conformance with the City of Novi’s Woodland Protection Ordinance, Chapter 37. The proposed development site contains City-regulated woodlands and trees.

Recommendation: DRG **recommends approval** of the Central Park Estates South Preliminary Site Plan contingent on addressing minor Woodland Review Comments.

The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8)	YES
Tree Protection (Fence) (Chapter 37, Section 37-9)	YES
Woodland Conservation Easement (Chapter 37-30 (e))	YES

Woodland Impacts

The site contains 278 regulated woodland trees.

- 83 trees are proposed to be preserved.
- 11 trees are dead.
- 184 regulated trees will be removed and require woodland tree replacements.

The following woodland tree replacements are required:

Tree Size (DBH)	Number of Trees	Ratio Replacement/ Removed Tree	Total Replacements Required
8-11"	70	1	70
12-20"	67	2	134
21-29"	19	3	57
30+"	6	4	24
Multi-Stem	22	Add Stems/8	81
Total			366
Credits for Preserved Non-Regulated Trees Outside of Regulated Woodland			0
Total Replacements (Required Replacements less Credits)			366 Trees

The applicant proposes to plant 50 woodland replacements on site and pay into the City of Novi Tree Fund the remaining 316 woodland replacement credits. The following will be planted on-site – **please see woodland review comments for required revisions:**

- 9 white oak (*Quercus alba*) - 2.5" caliper (B&B)
- 4 sugar maple (*Acer saccharum*) - 2.5" caliper (B&B)
- 5 sour (black) gum (*Nyssa sylvatica*) – 2.5" caliper (B&B)
- 5 bur oak (*Quercus macrocarpa*) 2.5" caliper (B&B)
- 3 white pine (*Pinus strobus*) – 6-feet tall (B&B)
- 11 serviceberry (*Amelanchier laevis*) – 8-feet tall (B&B)
- 13 native seed woodland mix

Woodland Review Comments

1. A **Woodland Use Permit is required** to perform construction on any site containing regulated woodlands. The permit for this site requires Planning Commission approval because there are more than 3 trees proposed to be removed.
2. **Tree Inventory (Sheets TS-2 and TL-01)**. There continues to be two sheets with tree inventory data. Remove sheet TS-2 from plan set.
3. **Woodland Replacements. (Sheets LP.03 and WP.01)**. The credits for the 3 white pine trees planted is incorrectly calculated. One white pine = 0.67 woodland replacement credits. Planting 3 white pine trees provides 2 woodland replacements. Please revise calculations and the number of credits that will be paid into the Tree Fund, if additional trees are not planted on site.

4. **Financial Guarantees.** The following Financial Guarantees and/or City of Novi Tree Fund payments are required prior to issuance of the City of Novi Woodland Use Permit:

- a) A **woodland fence guarantee of \$6,000** (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 - 1. To calculate the woodland fence inspection fees – provide on Sheet L-3 the cost to stake, install and remove the tree protection fencing.
- b) A **Woodland Replacement Financial Guarantee** of \$400 per woodland replacement credit is required as part of the Woodland Use Permit fees to ensure planting of on-site Woodland Replacement tree credits. **This fee will be calculated when tree inventory discrepancies are addressed (see Comment #3).**

Based on inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Financial Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection. Following acceptance of the planted woodland replacement trees, a 2-year performance bond must be paid to ensure the continued health and survival of the replacement trees.

- c) The applicant will be required to pay into the **City of Novi Tree Fund at a rate of \$400/woodland replacement credit for woodland replacements not planted on site.** This payment is non-refundable.
- d) **The applicant shall guarantee trees for two (2) growing seasons after installation and the City's acceptance,** per The City's Performance Guarantees Ordinance. A two-year maintenance bond in the amount of twenty-five (25) percent of the value of the trees, but in no case less than one thousand dollars (\$1,000.00), shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37). Based on a successful inspection two (2) years after installation of the on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection. **This amount will be determined after comment #3 is addressed.**

WETLAND REVIEW



September 22, 2023

Ms. Lindsay Bell
City Planner
Department of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

RE: Central Park South; JSP23-22
Wetland Review of Second Revised Preliminary Site Plan
MSG Project No. N1030135

Dear Ms. Bell:

The Mannik & Smith Group, Inc. (MSG) reviewed the second revised preliminary site plan pages WM.01, WM.02, WM.03, and WP.01 dated September 15, 2023 (rrPSP). The project site is located south of Grand River Avenue and east of Beck Road, Tax Parcel IDs 50-22-16-300-055, in Section 16 (Site). The rrPSP depicts the construction of a five-story residential building and other associated improvements at the Site.

Published Data

Upon review of published resources, the Site appears to contain or immediately borders:

- City-regulated wetlands, as identified on the City of Novi Wetlands interactive map website. Note that both wetland and property limits depicted on the City's map are considered approximations (Figure 1).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE). See Comments section below.
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (Figure 2). NWI and MIRIS wetlands are identified through interpretation of topographic data and aerial photographs by the associated governmental bodies.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (Figure 2).

Permits and Regulatory Status

Four wetlands have been identified on the Site, identified as Wetland A, Wetland B, Wetland C, and Wetland D. Wetlands A, C, and D extend beyond the Site limits. The City of Novi Code of Ordinances, Chapter 12, Article V defines an essential wetland as meeting one or more of the criteria listed in subsections 12-174(b)(1) through (10). It is MSG's opinion that Wetlands A, B, C, and D provide the functional characteristics of storm water storage capacity and/or wildlife habitat, and accordingly they meet the criteria for an essential wetland as noted above and each are considered City-regulated wetlands. Of note, Wetlands A, C, and D are included in the Site areas previously mapped as City-regulated wetland areas (Figure 1).

The total areas of wetland impact and wetland setback have been quantified on previous versions of Site plans as 0.33 acre and 1.16 acres respectively. **However, the areas of impact for each wetland and wetland buffer, as**

well as wetland type, should be individually identified for the City of Novi's permit process. In addition, wetland fill/cut volumes must be identified on Site plans.

The rrPSP provides a detailed plan for an offsite forested wetland mitigation area of 0.60 acres near the south side of the Site in parcel 50-22-16-300-054. The forested wetland mitigation ratio is 1:2. In the absence of quantification of the impacts to different wetland types (if any), MSG assumes all 0.33 acres of wetland impact is to forested wetland. Accordingly, **the wetland mitigation should accommodate 0.66 acres and not 0.60 acres.**

Based on available information, the following wetland-related items appear to be required for this project:

Item	Required / Not Required
Wetland Permit (specify Non-Minor or Minor)	Required, likely non-minor, proposed fill volume is not identified
Wetland Mitigation	Required, greater than 0.25 acre of wetland impact proposed
Environmental Enhancement Plan	May be required
Wetland Buffer Authorization	Required
EGL E Wetland Permit	Likely required
Wetland Conservation Easement	May be required

Comments

1. EGLE typically regulates wetlands within 500 feet of an inland lake, pond, stream, or river or isolated wetlands of 5-acres area or more. Therefore, EGLE jurisdiction may apply to Wetlands A, B, C, and/or D. Based on aerial images Wetland A appears to include a pond and Wetlands A, C, and D appear to be associated with the Novi Lyon Drain (Figure 1). Wetland B may be within 500 feet of the Novi Lyon Drain. The City requires compensatory wetland mitigation for regulated total impacts of 0.25-acre and greater; however, EGLE may require it for lesser impacts and typically does for commercial projects. EGLE is the final authority of the location and regulatory status of wetlands in Michigan. MSG recommends the client request a pre-application meeting with EGLE to determine the state jurisdictional status and mitigation requirements for each of the Site wetlands.
2. A City Wetland permit cannot be issued for EGLE-regulated wetlands until EGLE has issued a wetland use permit. The applicant is advised both City and EGLE requirements would apply to a mitigation plan, if applicable.
3. **The rrPSP depicts a 0.60-acre forested wetland mitigation, which is inadequate for the 1:2 forested wetland mitigation ratio. It is also noted the forested wetland mitigation is within an existing conservation easement, which may require additional authorization by the City of Novi for construction of a mitigation wetland.**
4. **Areas of impact for each wetland and wetland buffer should be individually identified for the City of Novi's permit process. In addition, wetland fill/cut volumes and wetland type must be identified on Site plans.**
5. In addition to wetlands, the City of Novi regulates wetland and watercourse buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffers/setback limit is 25 feet horizontal feet, regardless of grade change. It should be noted that construction of a mitigation wetland within the mitigation area could result in the creation of wetland buffer on adjacent, off-Site property.
6. City of Novi requires the boundary lines of any watercourses or wetlands on the Site to be clearly flagged or staked and such flagging/staking shall remain in place throughout the conduct of permit activity. MSG previously noted wetland flagging was missing at a portion of Wetland B. Missing flagging was not checked

if replaced for review of the rrPSP. Select site photos from July 31, 2023 site boundary verification are included for reference.

MSG does not recommend approval of the Site rrPSP for Wetlands. The wetland type, proposed wetland and wetland setback impact areas/volumes, and a plan for mitigation of all wetland impacts must be provided on Site plan sets.

MSG offers the following suggestions to the applicant:

- The total area of wetland mitigation may be adjusted down from 0.66 acre if the applicant demonstrates that portions of the affected wetlands are not the forested type. The mitigation ratios for emergent and scrub-shrub wetlands are 1:1.5.
- The applicant's design team could evaluate if it is feasible to use portion(s) of the on-Site detention basin for wetland mitigation area. Such areas would have to be included in the proposed wetland conservation easement.

Please contact the undersigned if you have any questions regarding the matters addressed in this letter.

Sincerely,

The Mannik & Smith Group, Inc.


Keegan Mackin
Environmental Scientist


Douglas Repen, CDT
Project Manager
Certified Storm Water Management Operator

CC: Sarah Marchioni, City of Novi Project Coordinator
James Hill, City of Novi Planner
Barbara McBeth, City of Novi Planner
Ian Hogg, City of Novi Planner
Diana Shanahan, City of Novi Planning Assistant
Rick Meader, City of Novi Landscape Architect

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FIGURES

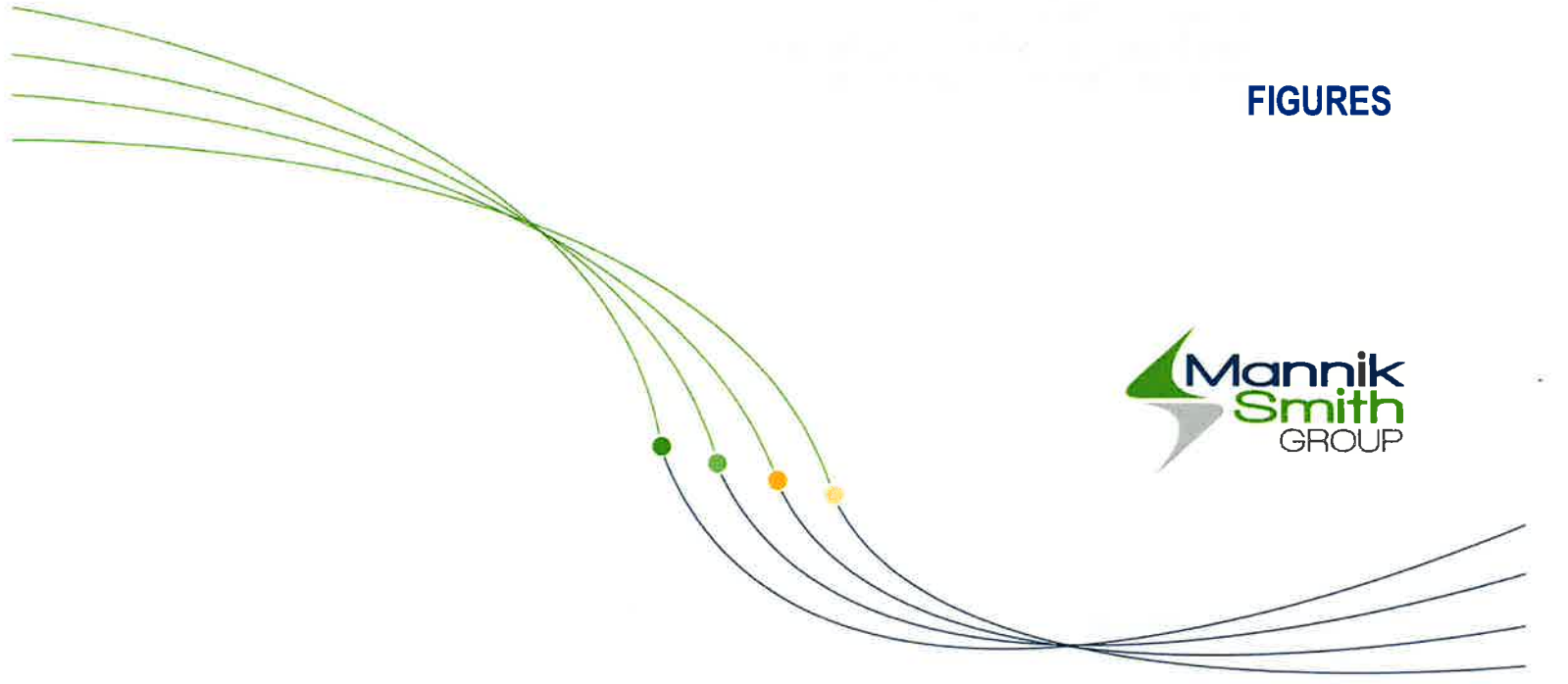


Figure 1

City of Novi Regulated Wetland. Approximate Site boundary is shown in red. Regulated Wetland areas are shown in blue.



Figure 2 EGLE Wetlands Viewer Map. Approximate Site boundary is shown in red.

Wetlands Map Viewer



December 20, 2022

Part 303 Final Wetlands Inventory

- Wetlands as identified on NWI and MIRIS maps
- Soil areas which include wetland soils
- Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils

1:4,788

0 0.04 0.08 0.16 mi

0 0.05 0.1 0.2 km

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Esri Korea, Esri (Thailand), NISCC, [a] OpenStreetMap contributors, and the GIS User Community. Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Disclaimer: This map is not intended to be used to determine the specific



2365 Haggerty Road South, Canton, Michigan 48188
Tel: 734.397.3100 Fax: 734.397.3131

Central Park South; JSP23-22
Wetland Review of Second Revised Preliminary Site Plan
MSG Project No. N1030135

PHOTOGRAPHS





Photo 1: View of Wetland A with typical delineation flagging (pink ribbon), facing north.



Photo 2: View of Wetland B, facing southwest showing 2 of the 3 remaining pin flags.



Photo 3: View of Wetland C with typical delineation flagging (pink ribbon), facing southwest.



Photo 4: View of Wetland D with typical delineation flagging (pink ribbon), facing southwest.

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP23-22 – Central Park Estates South
 Preliminary Plan Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 August 8, 2023

CC:
 Lindsay Bell, Humna Anjum, Ben Peacock, Diana
 Shanahan, James Hill

Memo

Subject: JSP23-22 – Central Park Estates South Preliminary Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as the comments below are addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Nobe Property Group II, LLC, is proposing a 142 unit, five-story residential building.
2. The development is located on the east side of Beck Road, south of Central Park Boulevard. Beck Road is under the jurisdiction of the City of Novi.
3. The site is zoned RM-2 (High Density Multiple).
4. There are no traffic related deviations required at this time.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 221 – Multifamily Housing (Mid-Rise)
 Development-specific Quantity: 142 Dwelling Units
 Zoning Change: No change

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	51	41	100	No
PM Peak-Hour Trips	55	34	100	No
Daily (One-Directional) Trips	645	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation

Type of Study:	Justification
-	None

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	30'	Met	Within range.
2	Driveway Width O Figure IX.3	28' b/c to b/c	Met	Could increase width at crosswalk to standard 30'. Standards are measured from edge of pavement to edge of pavement.
3	Driveway Taper O Figure IX.11			
3a	Taper length	75' and 50'	Met	Within range, could increase to 100' and 75' respectively, per standard.
3b	Tangent	25'	Met	
4	Emergency Access O 11-194.a.19	2 nd access off Manhattan Circle	Met	
5	Driveway sight distance O Figure VIII-E	>510'	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	654' and 433'	Met	
6b	Opposite side O 11.216.d.1.e	Located directly across from Heritage Road	Met	
7	External coordination (Road agency)	-	N/A	
8	External Sidewalk Master Plan & EDM	8'	Met	
9	Sidewalk Ramps EDM 7.4 & R-28-J	Indicated	Met	

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
10	Any Other Comments:	5 existing parking spaces for Central Park Estates North are being removed for secondary access. The applicant should indicate if this causes non-compliance with parking requirements for the north development.		

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	-	N/A	
12	Trash receptacle ZO 5.4.4	2 proposed in podium area	Met	
13	Emergency Vehicle Access	Not provided	Inconclusive	Provide turning movements in future submittals.
14	Maneuvering Lane ZO 5.3.2	24'	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Not dimensioned, painted islands in podium parking	Inconclusive	Provide dimensions in future submittals. End islands should be 3' shorter than adjacent parking space.
15b	Internal to parking bays	Not dimensioned	Inconclusive	Provide dimensions in future submittals. Not required in podium parking bays.
16	Parking spaces ZO 5.2.12	284 spaces		See Planning review letter.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<15 spaces in all external parking bays	Met	
18	Parking space length ZO 5.3.2	17' and 17.5' external, 17' courtyard, 19' podium	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	6", 4" in front of 17' spaces	Met	
21	Accessible parking – number ADA	8	Met	
22	Accessible parking – size ADA	Indicated	Met	
23	Number of Van-accessible space ADA	2	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	28 required, 5 exterior spaces	Met	Applicant indicated 24 minimum bike parking spaces provided in individual interior storage units.
24b	Location ZO 5.16.1	Indicated	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24c	Clear path from Street ZO 5.16.1	6' required, 5' provided	Not Met	7' path from street with the 2' overhang at the 17' spaces results in 5' clear path. Detail on sheet C-6 shows 4'.
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1	Layout provided for exterior spaces	Met	
25	Sidewalk – min 5' wide Master Plan	5' and 7' in front of 17' parking spaces	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated	Met	
27	Sidewalk – distance back of curb EDM 7.4	Offset provided when not abutting parking	Met	Could provide offset of sidewalk adjacent to the 3 parking space bay on the northwest corner of the site.
28	Cul-De-Sac O Figure VIII-F	N/A	-	
29	EyeBrow O Figure VIII-G	N/A	-	
30	Turnaround ZO 5.10	Indicated	Met	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Indicated	Met	
33	Signing table: quantities and sizes	Indicated	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Indicated for accessible parking signs	Partially Met	Provide in future submittals.
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Not indicated	Not Met	Provide in future submittals.
36	Sign bottom height of 7' from final grade MMUTCD	Indicated for accessible parking signs	Partially Met	Provide for all proposed signs.
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Not indicated	Not Met	Provide in future submittals.
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Not indicated	Not Met	Provide in future submittals.
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Not indicated	Not Met	Provide in future submittals.
40	Parking space striping notes	Not indicated	Not Met	Provide in future submittals.

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
41	The international symbol for accessibility pavement markings ADA	Indicated	Met	
42	Crosswalk pavement marking detail	Not indicated	Not Met	Provide in future submittals. Could provide crosswalk markings for crossing at Beck Road entrance/exit.
43	Any Other Comments:	The applicant could provide pedestrian warning signs for the crossing on Central Park Drive South, north of boulevard.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



September 12, 2023

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Façade Review Status Summary:
Approved, Full Compliance.
Contingent on approval of sample board.

Re: **FACADE ORDINANCE – Central Park Estates South, JSP23-22**
 Façade Region: 1, Zoning District: RM-2

Dear Ms. McBeth;


This review is based on the drawings prepared by Alexander Bogaerts & Associates Architects, revision dated 8/25/23. The proposed and allowable percentages of facade materials are indicated in the chart below. The sample board required by Section 5.15.4.D was not provided at the time of this review (photographic samples were included in the prior submittal but was omitted from this submittal).

	West (Front)	North (Left)	South (Right)	East (Rear)	Ordinance Maximum (Minimum)
Brick (3 colors)	60%	49%	49%	54%	100% (30% Min.)
Cement Fiber Panels	25%	25%	25%	22%	50%
EIFS	14%	25%	25%	23%	25%
Cornice	1%	1%	1%	1%	10%

As shown above, the applicant has revised the elevations to achieve apparent full compliance with the Façade Ordinance. The precise type of Cement Fiber Panels has not been indicated on the drawings. The applicant has stated in his cover letter that all roof top equipment will be set back a minimum of 20' from the buildings edge and that the screening material will comply with the Façade Ordinance. The sample board required by Section 5.15.4.D should be submitted at least 5 days prior to the Planning Commission meeting to clarify the proposed types of material types and colors, including RTU screens. It should be noted that Cement Fiber Lap Siding is considered Wood Siding with respect to the Façade Ordinance (Footnote 13) and would not be considered compliant.

Inspections – The Façade Ordinance requires inspection(s) for all façade materials. It is the applicant's responsibility to request the inspection at the appropriate time, prior to installation. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
 DRN & Architects PC

 Douglas R. Necci, AIA

FIRE REVIEW



July 27, 2023

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
James Hill – Plan Review Center
Ian Hogg – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Interim Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief

RE: Central Park Estates South

PSP# 23-0036

PSP# 23-0021

Project Description:

Construct a 5-story residential structure off Beck Rd south of Grand River.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 7/27/23 KSP**-Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. **(D.C.S. Sec 11-239(b)(5))**
- Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all “fire lane – no parking” signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. **(D.C.S Sec. 158-99(a).)**
- Water mains greater than 25', shall be at least 8" in diameter. Shall be put on plans for review. **(D.S.C. Sec.11-68(C)(1)(c))**
- Fire hydrant spacing shall be measured as “hose laying distance” from fire apparatus. Hose laying distance is the distance the fire apparatus travels along improved access routes between hydrants or from a hydrant to a structure.

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

- **Corrected 7/27/23 KSP**-Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**
- **Corrected 7/27/23 KSP**-A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
- Prior to construction above the foundation of all multi-residential buildings and single-family dwellings, all roads are to be paved. Note this on all plans.
- The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200

Recommendation:

Approved with Conditions

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal stroke extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER

Central Park Management Company
46100 Grand River Ave.
Novi, MI 48374
248.348.5600



July 18, 2023 (UPDATED: September 21, 2023)

Ms. Barb McBeth AICP, City Planner
Planning Commission Members
City Consultants and Staff
47175 Ten Mile Rd.
Novi, MI 48375

RE: Site Plan Submission – Central Park South

Dear Ms. Barb McBeth, Planning Commission Members, City Consultants and Staff,

Please accept this communication as further response in addition to our professionals and consultant's responses contained within our Site Plan Application Package. Overall, I believe one of the most important aspects to consider is the historical context for the development of this property. This property has been a part of a comprehensive development plan including the previous and existing Central Park Estates luxury townhouse community. As you will see from the included site plan, previously approved in 2001, there were two distinct components for the development. The Multi-Family Townhouse Project (Central Park Estates) and the RM2 Multi-Family Development identified as the "Beck House". The development intent at that time, and at this time, was to preserve the vast majority of the natural features on the overall site with the modest amount of both woodlands and wetlands contained within the RM2 portion of the site. There was also a MDEQ wetlands permit issued for the subject property and we included a copy of that permit as well. The building envelope and the unique configured site remains identical to the previously approved RM2 site area. However, we are proposing a different style of multi-family buildings, one which will compliment the existing Central Park development and coordinate well with the future City West style development. We are very excited about this development opportunity and are confident that the decision makers will see and agree that we are maintaining our commitment to an extremely environmentally friendly and neighbor friendly approach to development with very large buffer and conservation areas separating surrounding properties particularly to the south and east.

UPDATE: In our latest submission, you will see that several additional modifications were made to continue to further reduce impact to any sensitive areas including a major reduction in overall building size, accomplishing a small amount of required parking by virtue of an agreement for use of adjacent parking spaces that are excess spaces on the existing Central Park Estates site, and shifting of buildings and surfaced areas to the north and east to the greatest extent possible.

In specific response, our consultants and professionals have provided updated plans and response communications. We thank the city staff and consultants for a very positive and productive Pre-Application meeting. As the applicant, I would like to provide further specific responses including the following:

As it relates to wetlands and wetlands mitigation: First, after our Pre-Application Meeting we were able to reduce wetland impact significantly and are now down to only .39 acres. As suggested during the Pre-Application Meeting, we have walked the site and surrounding conservation area and believe that there are in fact some open areas that present the opportunity for more direct/onsite mitigation. Per discussions with city staff, we would propose having our consultant, Woody Held, walk the site and place flags around those areas that he feels would be reasonable candidates for mitigation. We would then have the city staff/consultants review and concur. The intent of this process would be to perform the greatest amount of onsite/adjacent mitigation as possible and only then any remaining amount (if any amount in fact remains) would be proposed for off-site or in a wetland bank.

UPDATE: I am pleased to report and as you will see from the recent submittals, we were able to identify areas for onsite mitigation and have submitted plans accordingly. We understand that we need to go before City Council to obtain their approval to modify the conservation easement to allow for this, which we are confident will receive favorable review. I also note that we are technically currently .05 acres deficient in the required amount and I have instructed our professionals to work to identify appropriate additional areas to make up this deficiency and before proceeding to council we will have a plan that meets the requirement. We will now be able to present to City Council both alternatives and they will be able to make the determination that they feel is the most acceptable from an environmental perspective.

As it relates to technical setbacks and buffer requirements: We realize and understand that many technical variances may be required relating to property line setbacks and other waivers might be required relating to buffers etc. As indicated above, this is a common ownership site with Central Park Estates. It was always intended to be developed in conjunction with Central Park Estates and while these property lines are technically in existence from a practical stand point we feel strongly that we meet the intent of the city ordinances. We are confident that we will be able to make successful arguments for either necessary variances or waivers, whichever may apply. As previously requested, we would only ask that we work closely with staff to identify specifically, as soon as possible, the exact variance requirements that we would need to request so that we may make application as soon as possible.

UPDATE: These issues are further addressed in our professional's response letters. We have submitted for and are scheduled for the Zoning Board of Appeals and would expect that any favorable Planning Commission action would be subject to our receiving the appropriate variances from the ZBA.

UPDATE: I apologize, I was under the impression that because we were under the size threshold that an Impact Statement was not required, however I understand that there is some basic economic impact information missing. Please consider the following:

- **Total Construction and Site Development Cost Estimate: \$28,500,000.00**
- **Total Construction Jobs: It is estimated that between 45 and 55 contractors and trades will be utilized for the project and that over 500 individuals will be employed to work on the project. It is currently estimated that 5/6 individuals will be employed after the building is completed.**

In conclusion, we are very excited about this long contemplated and final component of development for this property and would be pleased to provide any additional information or answer any questions the city officials, staff or consultants may have.

Respectfully,



Blair Bowman
Central Park Estates, Manager

Cc: Steve Deak, Mark Abanatha, Paul Lewlsey, Woody Held



ALEXANDER V. BOGAERTS & ASSOCIATES, P.C.

*Architecture
Planning
Interior Design*

2445 Franklin Rd.
Bloomfield Hills, MI 48302
248/ 334-5000
fax: 248/ 334-0092

September 21, 2023

City of Novi
Planning Department
45125 Ten Mile Rd
Novi, MI 48375

Re: Central Park South preliminary SPA

AVB list of Architectural revisions per staff & consultant 9-18-23 review letters

Façade

Material board

We submitted an electronic material board with our 8-25-23 submission.

We are submitting an actual material board on 9-21-23

ZBA application was submitted/filed 8-25-23

We clarified specific variance dimensional requests for public noticing purposes with Charles Boulard on 9-7-23 so that we would be on the 10-10-23 ZBA meeting

Building Length (Section 3.8.2.C)

We will be seeking a variance from the ZBA for the **additional 81'** of building length **(Adjacent property is owned by applicant) – Central Park South was always intended to be a future phase of the overall Central Park multi-family campus; it was not intended to be a separate stand-alone project).**

Our proposed building is setback significantly from the existing Central Park multi-family buildings. The building location was established so as to minimize any impacts to the existing natural features. (Staff supports this variance request)

Parking setback (Sections 3.1.8.D & 3.8.2.F)

We will be seeking a variance **of 8.5'** from the ZBA for the additional parking setback requirements adjacent to property lines.

(Adjacent property is owned by applicant)

The building and parking locations were established so as to minimize any impacts to the existing natural features. There will be large landscape areas between the majority of our proposed parking and any existing Central Park drives, parking or buildings. (Staff supports this variance request).

Parking adjacent to the building (Sections 5.10.1.B.iv)

We will be seeking a variance **of 8'** from the ZBA for the additional parking setback requirements adjacent to the building.

**There are no living units on the ground floor of the building.
(Staff supports this variance request).**

Usable open space (Section 3.1.8.D)

We will be seeking a variance **of 22.15'** from the ZBA to allow our proposed roof top terraces to be less than 50 ft wide. Our proposed roof top terraces are specifically broken up into (2) terraces on the north and south sides of the building so they can efficiently serve the residents in the building. The terrace sizes were designed to fit the program of the building and allow for state-of-the-art roof top amenities to be incorporated, ***allowing enough space for these amenities in an intimate human scale environment.***

*Large 50' x 50' roof top terraces (which the ordinance would require) do not fit today's state of the art roof top terrace design formats, **they would not provide the intimate human scale and spatial relationships that residents are looking for.***

The existing Central Park and Beck House property were approved with the ability to share amenities and useable open space.

We provided useable open space plans that show the approved existing Central Park & Beck House plan and the conservation path on 9-15-23.

Existing Central Park approved site plan indicates:

Required 1.18 ac of useable open space and **provided 15.86 ac** of useable open space.

Based on the fact that the existing Central Park and Beck House property were approved with the ability to: *share amenities and open space, and the fact that there is a large excess of useable open space on the existing Central Park portion of the site...*

We will be asking the ZBA to allow us to use a portion of the existing Central Park excess useable open space, **(3968 sq ft)** along with the shared amenities. **(per the intention of the approved Central Park and Beck House plans)**

We also will be asking the ZBA **to allow us to use a portion of the natural feature path (5600 sq ft)** to meet our useable open space requirement. **(per the intention of the approved Central Park and Beck House plans)**

In addition to the useable open space provided for the project, the existing Central Park has a 2 story clubhouse and our Central Park South has an amenities area that are seasonal recreation areas. These additional seasonal recreation areas will allow the residents to enjoy indoor gathering and recreation spaces during the winter months.

Project Street name

We will submit an application for the community's name and the street name to be approved by the Project & Street Naming committee prior to final SPA.

Barrier Free Space dimensions

We will coordinate the barrier free space dimensions on AVB architectural sheets A1.1 with civil engineering sheet SP-1. in our final SPA submission package

Bicycle parking

We will provide a detailed design of the bike parking layout and bike rack in our final SPA submittal package.

Economic Impact Information

See separate Economic Impact Information letter from the developer

Lighting specifications

(Hours of operation)

All building and site lighting will be on a photo cell system that will automatically turn the lights on as it begins to get dark and then turn the lights off as it begins to get light (via daylight); so as to provide the proper amount of lighting for the project from a safety and security standpoint.

Security Lighting

All of the entry man doors to the building (stairs, elevator lobbies, pool eqpt) in the courtyard and the perimeter of the building have lights shown by them on the lighting plan. The interior of the first level parking area is completely lit with ceiling surface mounted fixtures as indicated on the lighting plans, which provides lighting to all of the elevator lobbies, stairs and overhead garage doors. All of this lighting on the interior and exterior of the building will act as security lighting for the project.

Sincerely

Mark Abanatha

Mark Abanatha
Architect



Environmental engineers, Inc.

18620 West Ten Mile Road, Southfield, Michigan 48075 Phone: (248) 424-9510 Fax: (248) 424-2954

September 21, 2023

Ms. Humna Anjum
City of Novi Engineering Division
45175 Ten Mile Road
Novi, Michigan 48375

Re: Central Park South JSP 23-0022

Dear Ms. Anjum:

This letter has been prepared to address the comments offered in your Preliminary Site Plan Review dated September 15, 2023 of our Preliminary Site Engineering Plans for the above referenced project. Our responses utilize the same numbering system provided in your letter.

COMMENTS CONCERNING REVISED PRELIMINARY SITE PLANS SUBMITTAL

The recommendation of Approval of the Revised Preliminary Site Plans and Preliminary Storm Water Management Plan is hereby acknowledged and greatly appreciated.

COMMENTS CONCERNING THE FINAL SITE PLANS SUBMITTAL

The General, Water Main, Irrigation, Sanitary Sewer and Storm Sewer comments numbered 1 through 44 are hereby acknowledged and will be fully addressed by the time of the project's Final Site Plans submittal. The Storm Water Management Plan, Paving & Grading, Soil Erosion & Sediment Control, Off-Site Easements and other miscellaneous comments numbered 1 through 58 are also hereby acknowledged and will be fully addressed at the times specified in the review.

Central Park South JSP 23-0022
September 21, 2023
Page 2

Very truly yours,

ENVIRONMENTAL ENGINEERS, INC.

A handwritten signature in blue ink, appearing to read "Paul J. Lewsley". The signature is stylized and cursive.

Paul J. Lewsley, P.E., LEED AP
President

EE #2235

August 28, 2023

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Department
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: **JSP 23-22 Central Park South – Landscape & Woodlands**

Dear Ms. Bell:

We have revised the Landscape and Woodland Plans per the Preliminary Site Plan Review for Central Park South Estates from the review packet dated August 10, 2023. Our responses or revisions to the Landscape Plan and Woodland Replacement Plan review comments are listed below:

LANDSCAPE ITEMS:

A. Landscape Deviations

1. South Buffer - Project is adjacent to RM-1 Multi Family. See comments below.
2. No Greenbelt berm - Noted.

B. Landscape Requirements

1. Location Map added to sheet LP.01.
2. Woodland Impacts - Revised.
 - a. Woodland removals revised per plan changes.
 - b. Tree #1841 is dead per survey inventory.
 - c. Additional replacements will be provided on conservation easement with coordination from staff - see note on sheet WP-01.
 - d. See below for further Woodland Review letter responses.
 - e. Tree species adjusted as requested.
 - f. Conservation Easement - Noted.
3. Zoning - South adjacent zoning is RM-1 Not RA.
4. Clear Zones - Adjusted.
5. Berms for adjacent zoning:
 - a. South adjacent zoning is RM-1.
 - b. Aerial overlay added to sheet LP-01.
 - c. Will work with staff if any additional plantings will be needed. See notes about additional woodland replacement trees to be provided in existing conservation easement.
6. Greenbelt Berm - Waiver need, see above.
7. All interior parking lot island areas labeled on revised plans. All meet 200 s.f. min.
8. Courtyard Parking Calculations - Added to sheet LP-01
 - a. All proposed trees meet min. separation requirements and noted on plans per requirements.

9. Hydrant separation - See response above.
 - a. FDC is clear of plantings. See SW corner of building.
10. Transformer is shown on plans.
 - a. Added 10 shrub allowance to plant list as requested.
 - b. Added City detail as requested.
11. Basin Plantings - Seed note added to plans.
12. Plants - 50% native plants in revised plant lists.
13. Tree cost revised.
14. No overhead power lines - see note on plans.
15. Irrigation Plan to be provided at Final Site Plan as required.
16. Understory - 11 Serviceberry (8 Ft. Ht.) shown on sheet LP-02.
17. Overhead utilities - none. See note on plans as submitted.

C. Woodland Replacement

1. Sheet TL-01 is the complete and revised list as resubmitted.
2. Tree removals have been revised for corrections and site plan changes.
3. Tree measurements have been adjust/ corrected.
4. Woodland replacement calculations have been revised.
5. Replacement credits have been revised.
6. Tree protection fencing:
 - a. City detail added to sheet WP-01
 - b. Fence shown on WP-01 per grading changes
 - c. Drip line/ critical root zone added to WP-01 for saved trees near disturbance.
4. Financial Guarantees - Noted.

If you have any questions, please feel free to contact me at your convenience. Thank you for your assistance with the Central Park South Preliminary Site Plan approval.

Sincerely,



Steve Deak, RLA, LEED AP
Deak Planning + Design, LLC

DRAFT SHARED PARKING AGREEMENT

PARKING USE AGREEMENT

THIS PARKING USE AGREEMENT ("Agreement") is made effective as of August 25th, 2023 ("Effective Date"), by and between **Nobe Property Group II, LLC**, a Michigan limited liability company, whose address is 46100 Grand River Avenue, Novi, MI 48374 and **Central Park, LLC**, a Michigan limited liability company, whose address is 46100 Grand River Avenue, Novi MI 48374.

WHERE AS, the specific purpose of this Agreement is to allow and provide access and use of nine parking spaces on Central Park property (The "Central Park Property") to and for the benefit of Nobe Property Group II, LLC. It is intended that these spaces will be utilized in conjunction with Nobe Property Group II's development of the adjacent properties to Central Park for its proposed Central Park South development (The "Central Park South Development").

NOWHEREFORE, for good and valuable consideration, the value of which is hereby acknowledged and agreed to, Central Park LLC hereby grants a non-exclusive easement and right to use the 9 parking spaces depicted on Exhibit "A" attached to this Agreement.

This represents the entire Agreement between the parties and the Agreement shall not be modified unless done so in writing and executed by both parties.

CENTRAL PARK LLC.

By: _____
Blair Bowman
Manager

NOBE PROPERTY GROUP LLC.

By: _____
Blair Bowman
Manager

