



VARSITY LINCOLN INVENTORY LOT JSP19-15

VARSITY LINCOLN INVENTORY LOT JSP 19-15

Consideration of the request of CityScape Architects for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is 6.1 acres and is located in Section 17, on the east side of Wixom Road and south of Grand River Avenue. The property is zoned B-3 General Business. The applicant is proposing to repurpose a portion of the existing parking lot on the west side of the site to accommodate additional vehicle inventory parking for the existing vehicle dealership.

Required Action

Approve/Deny the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	4-10-19	<ul style="list-style-type: none"> • Waiver for painted end islands in lieu of Raised End Islands in the new inventory lot (staff supported) • Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval recommended	3-18-19	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	Approval recommended all waivers supported	4-11-19	<ul style="list-style-type: none"> • Waiver for Right of Way berm along Wixom • Waiver for deficiency in greenbelt sub-canopy trees • Waiver for deficiency in street trees within the Right-of-Way • Waiver for deficiency in interior landscape space • Waiver for deficiency in interior parking canopy trees • Waiver for deficiency in parking lot perimeter canopy trees • Waiver for deficiency in building foundation landscaping • Items to be addressed by the applicant prior to Final Site Plan approval
Façade	NA		<ul style="list-style-type: none"> • No changes to existing building proposed
Fire	Approval recommended	3-6-19	<ul style="list-style-type: none"> • Meets Fire Dept standards

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Varsity Lincoln Inventory Lot JSP19-15, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Landscape waiver from Section 5.5.3.B.ii for a Right of Way berm, which is hereby granted. Continuous hedge will be planted to provide alternate screening to be maintained at three feet;
- b. Landscape waiver from Section 5.5.3.B.ii. for absence of greenbelt sub-canopy trees along Wixom because this is an existing condition and the parking lot is not significantly changed, which is hereby granted;
- c. Landscape waiver from Section 5.5.3.B.ii. for absence of street trees along Wixom Road because of conflicts with existing underground utilities, which is hereby granted;
- d. Landscape waiver from Section 5.5.3.C. for deficiency in the required parking lot interior landscape space, because the single existing island will be maintained, which is hereby granted;
- e. Landscape waiver from Section 5.5.3.C. for deficiency in interior parking lot trees, because the existing trees will be maintained, which is hereby granted;
- f. Landscape waiver from Section 5.5.3.C.(3) for deficiency in parking lot perimeter trees because the existing parking lot perimeter is not changing, which is hereby granted;
- g. Landscape waiver from Section 5.5.3.D. for deficiency in the building foundation landscaping because no changes are proposed to the building or the base of the building, which is hereby granted;
- h. Waiver from Section 5.3.12 for painted end islands at the ends of the central parking bay with the reasoning that this area is gated from public traffic, which is hereby granted;
- i. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- j. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Varsity Lincoln Inventory Lot JSP19-15, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Preliminary Site Plan

In the matter of Varsity Lincoln Inventory Lot JSP19-15, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

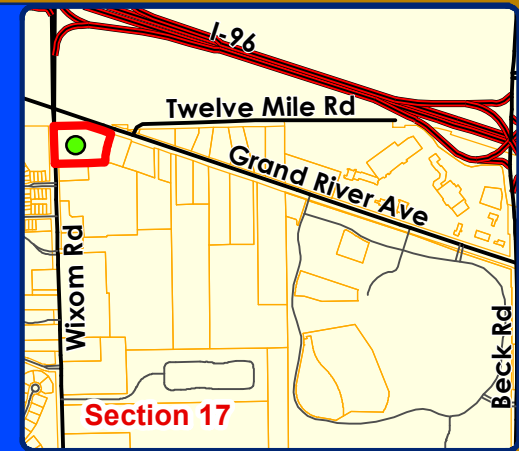
Denial – Stormwater Management Plan

In the matter of Varsity Lincoln Inventory Lot JSP19-15, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*


MAPS
Location
Zoning
Future Land Use
Natural Features

VARSITY LINCOLN INVENTORY LOT: JSP 19-15

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 4/11/19
Project: VARSITY LINCOLN JSP19-15
Version #: 1



1 inch = 125 feet

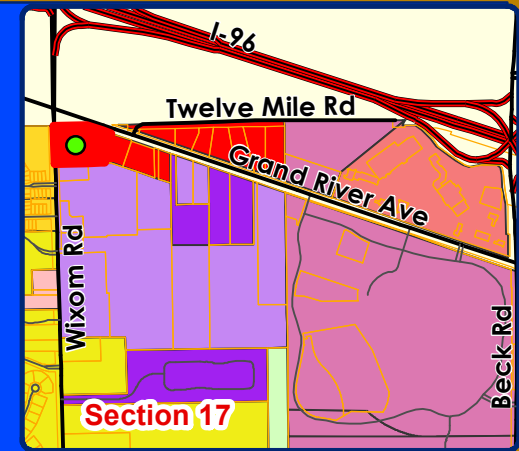
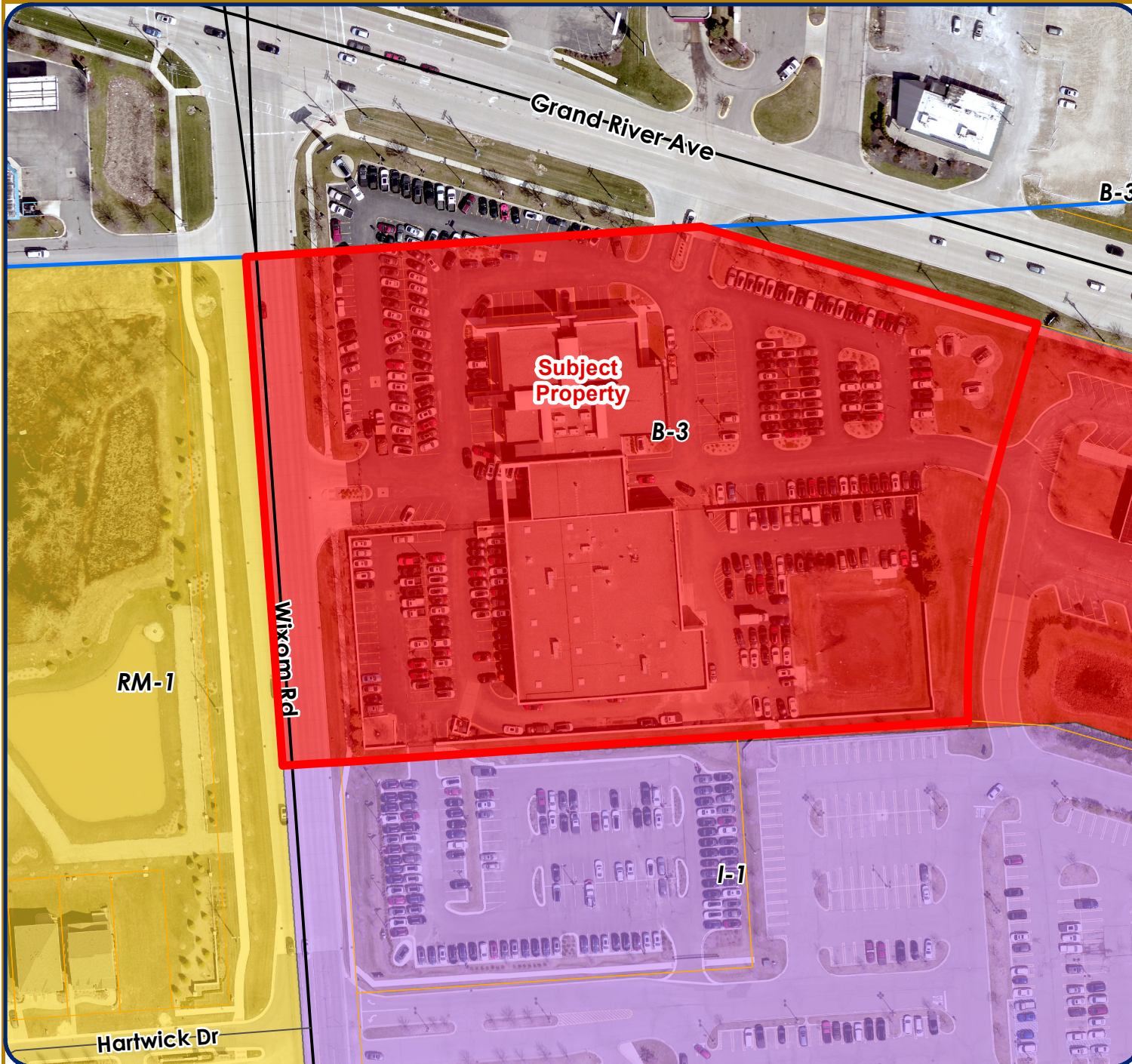


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

VARSITY LINCOLN INVENTORY LOT: JSP 19-15

ZONING



LEGEND

- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-3: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-2: Community Business District
- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- Subject Property



City of Novi

Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

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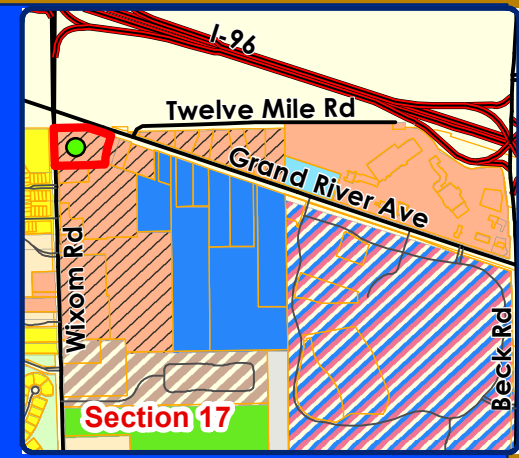
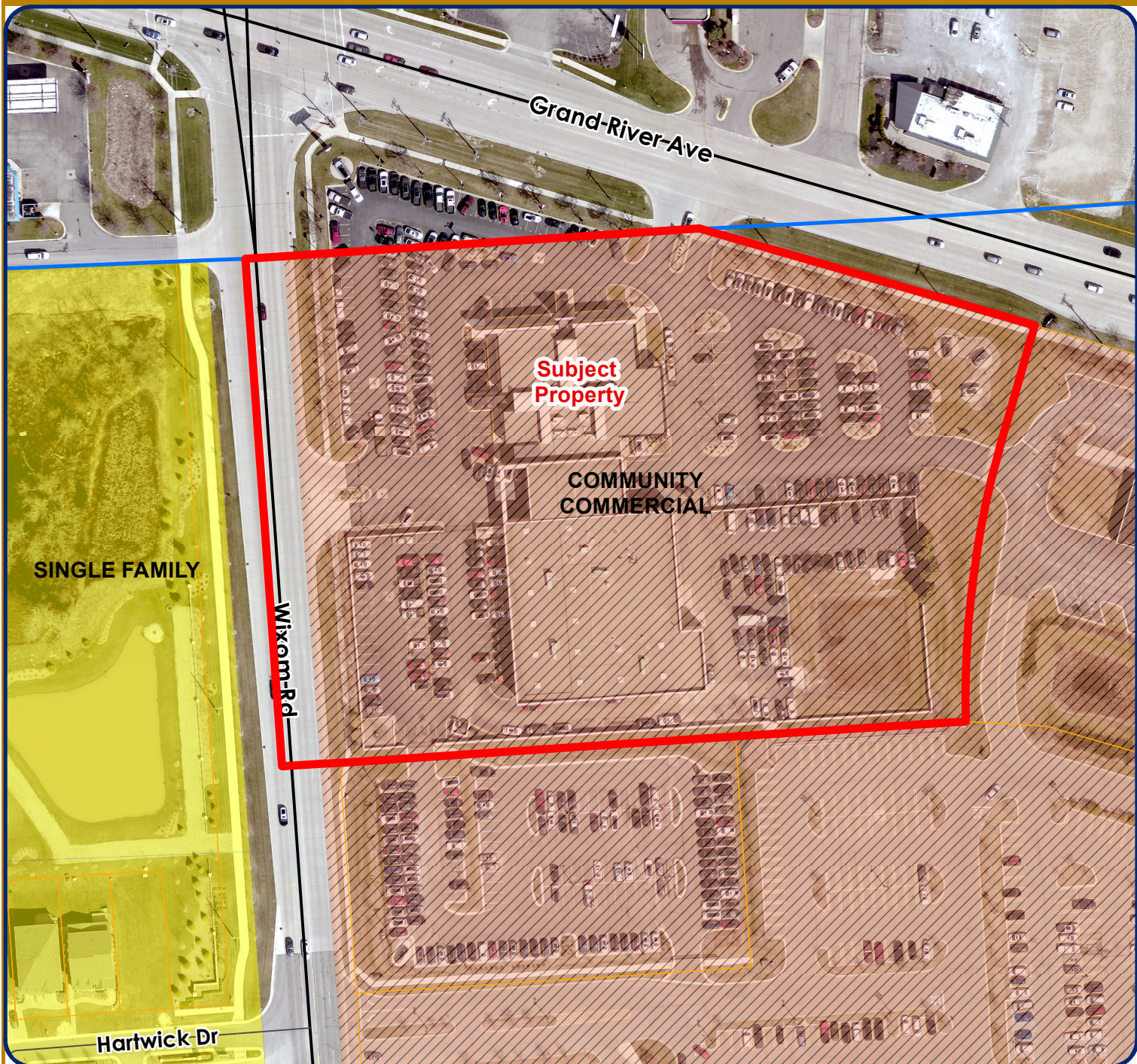


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VARSITY LINCOLN INVENTORY LOT: JSP 19-15

FUTURE LAND USE



LEGEND

- Single Family
- Multiple Family
- Suburban Low-Rise
- Office Research Development Technology
- Office Commercial
- Local Commercial
- Community Commercial
- Educational Facility
- Public
- Public Park
- Private Park
- Utility
- Subject Property

CITY OF

NOVI
 cityofnovi.org

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org

Map Author: Lindsay Bell
 Date: 4/11/19
 Project: VARSITY LINCOLN JSP19-15
 Version #: 1

0 25 50 100 150 Feet

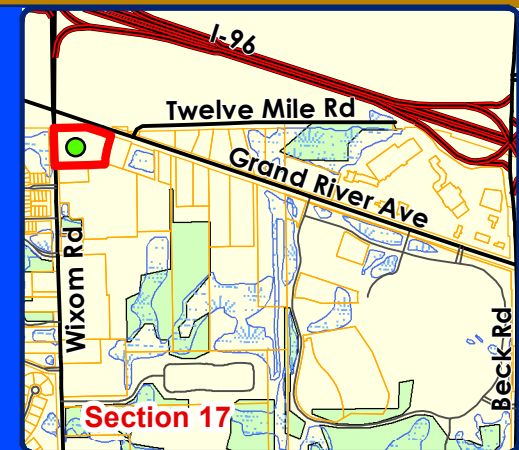
 1 inch = 125 feet

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VARSITY LINCOLN INVENTORY LOT: JSP 19-15

NATURAL FEATURES



- LEGEND**
- WETLANDS
 - WOODLANDS
 - Subject Property



City of Novi
Dept. of Community Development
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Novi, MI 48375
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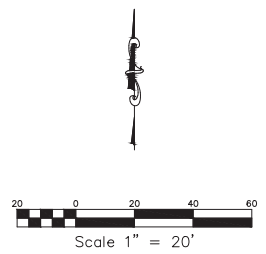
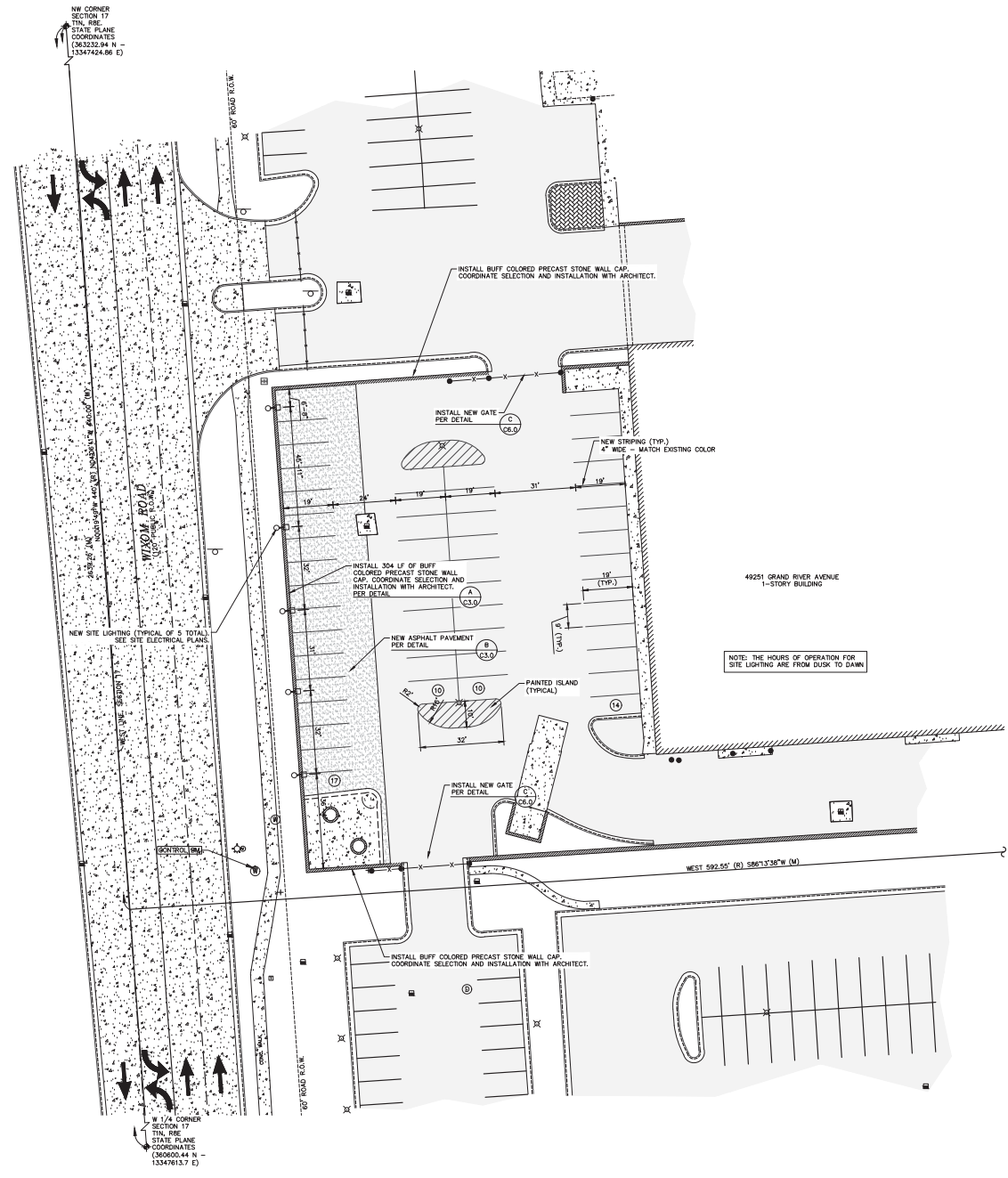
SITE PLAN

(Full plan set available for viewing at the Community Development Department.)

FILE: L:\2020 (VARSITY PRE-OWNED LOT)\V.P. PLANS\C3-0.DWG - PLOT DATE: 4/9/2019 10:35 AM BY: Gregory Lumick SCALE: 1:1



WALL CAP DETAIL (A)
NOT TO SCALE



NOTES

1. BENCHMARKS
CONTROL BM
 CITY OF LYON BM 1711 - "X" ON NORTH RM OF GATEWELL LOCATED 200 FEET NORTH OF ENTRANCE TO SAM'S CLUB GAS STATION, 36 FEET EAST OF CENTERLINE OF WYOM ROAD AND 3 FEET WEST OF SIDEWALK. ELEVATION: 974.22
BM 3
 EAST FLANGE BOLT OF FIRE HYDRANT UNDER "E" IN EAST LOCATED 9' EAST OF EAST CURB ON WYOM ROAD AND 200' SOUTH OF GRAND RIVER AVENUE. ELEVATION: 973.29
2. THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 OR 1-800-482-7171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
3. LSG ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVIVOR WHERE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSG ENGINEERS & SURVEYORS.
4. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE FACE OF CURB OR WALL.

NOTE: THE HOURS OF OPERATION FOR SITE LIGHTING ARE FROM DUSK TO DAWN

DATE	BY	REVISIONS/SUBMITTALS
4/9/19	PREPARED BY: GUY HENNER	01
2/19/19	PREPARED BY: GUY HENNER	02
		03
		04
		05
		06
		07
		08
		09
		10
		11
		12

LSG
Engineers
& Surveyors

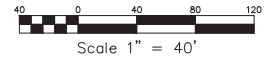
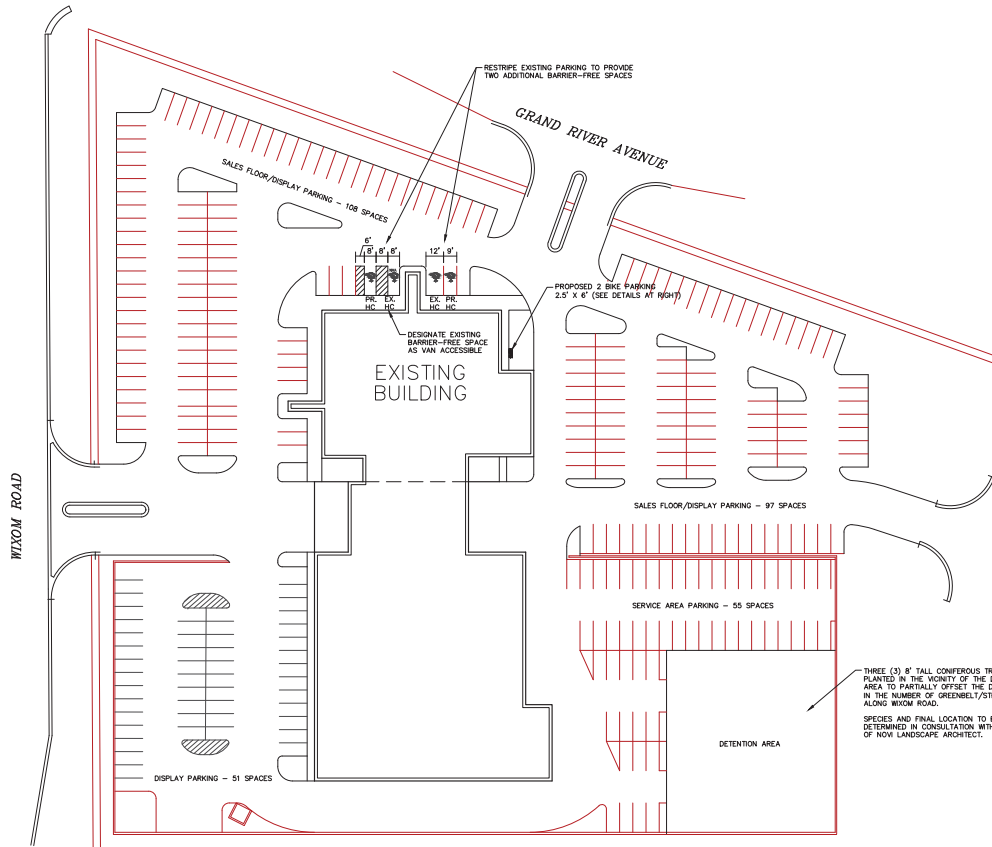
3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

FOR
VARSITY LINCOLN PROPERTIES, LLC
P.O. BOX 633
NOV, MICHIGAN 48376

FOR
SITE LAYOUT AND DIMENSION PLAN
FOR
VARSITY LINCOLN PRE-OWNED INVENTORY LOT
49251 GRAND RIVER AVENUE
NOV, MICHIGAN 48374

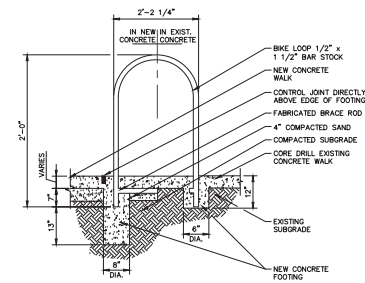
MISS DIG
811
Know what's below.
Call before you dig.

FILE	C3-0.DWG
DESIGNED BY	GH
DRAWN BY	GH
CHECKED BY	ADR
DATE	FEBRUARY 19, 2019
SCALE	
HOR.	1" = 20'
VERT.	N/A
PROJECT NO.	2240
SHEET NO.	C3.0

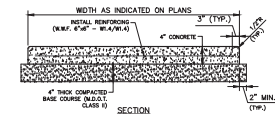


NOTES

1. BENCHMARKS
CONTROL BM
CITY OF NOW BM 1711 - "C" ON NORTH RIM OF GATEWELL LOCATED 200 FEET NORTH OF ENTRANCE TO SAM'S CLUB GAS STATION, 36 FEET EAST OF CENTERLINE OF WIXOM ROAD AND 3 FEET WEST OF SIDEWALK. ELEVATION: 974.22
BM 1
EAST FLANGE BOLT OF FIRE HYDRANT UNDER "E" IN EAST LOCATED 9' EAST OF EAST CURB ON WIXOM ROAD AND 200' SOUTH OF GRAND RIVER AVENUE. ELEVATION: 973.29
2. THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 OR 1-800-482-2171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
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4. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE FACE OF CURB OR WALL.



NOTE:
WHEN INSTALLING BIKE LOOPS IN EXISTING PAVEMENT,
REMOVE FABRICATED BRACE ROD PER SPECIFICATIONS.



DATE	1/17
DESCRIPTION	REVISIONS/SUBMITTALS
DATE	4/9/2019
DESCRIPTION	PRELIMINARY SITE PLAN APPROVAL

LSG
Engineers & Surveyors

3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

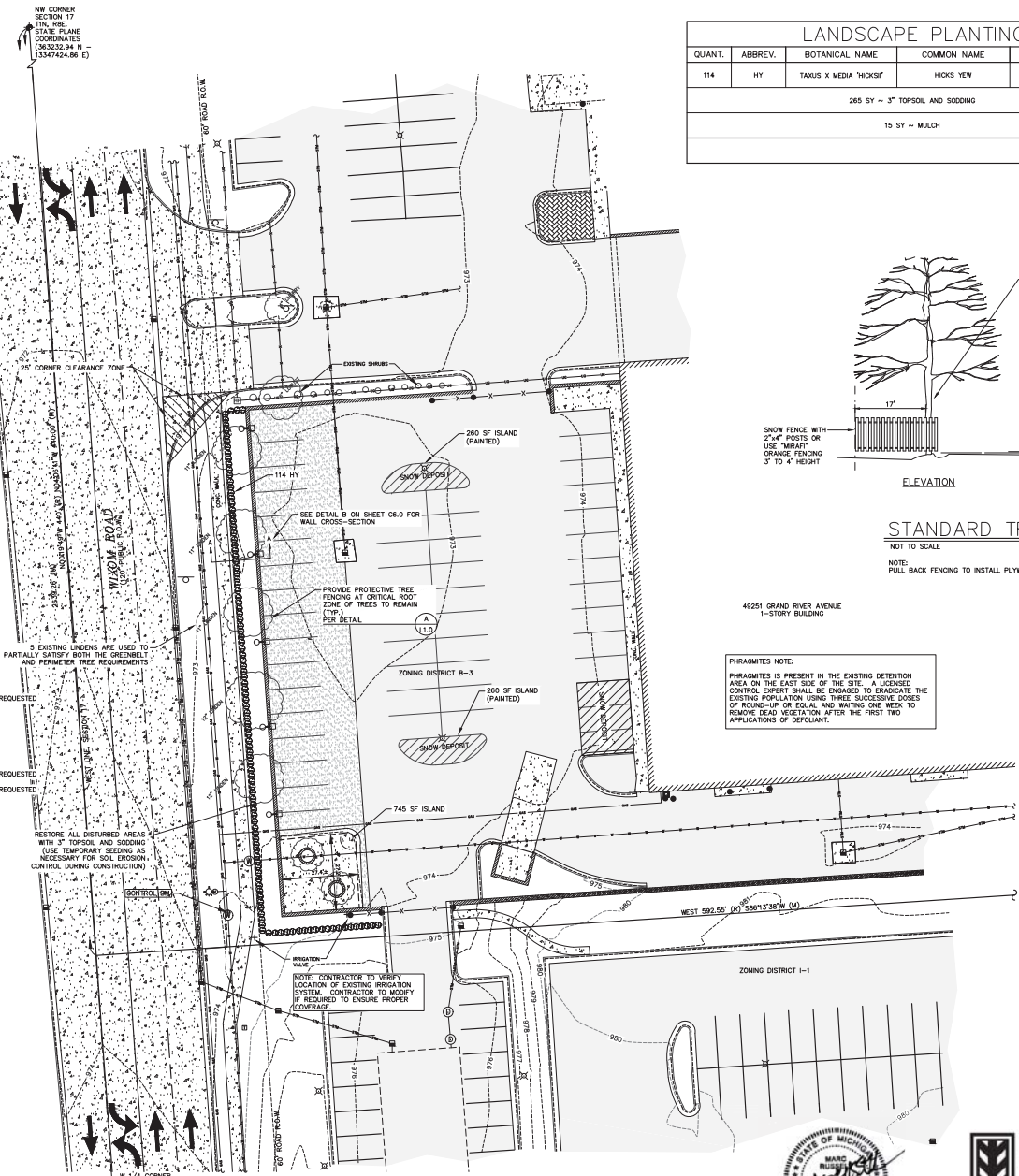
FOR
VARSITY LINCOLN PROPERTIES, LLC
P.O. BOX 633
NOV, MICHIGAN 48376

FOR
OVERALL PARKING SCHEMATIC PLAN
VARSITY LINCOLN PRE-OWNED INVENTORY LOT
49251 GRAND RIVER AVENUE
NOV, MICHIGAN 48374

MISS DIG
811
Know what's below.
Call before you dig.

FILE	C3-0.DWG
DESIGNED BY	ADG
DRAWN BY	ADG
CHECKED BY	ADR
DATE	FEBRUARY 19, 2019
SCALE	1" = 40'
HP	N/A
PROJECT NO.	2240
SHEET NO.	C3.0

FILE: L:\2020 (VARSITY PRE-OWNED LOT)\VARSITY PRE-OWNED LOT.dwg - PLOT DATE: 4/9/2019 10:38 AM BY: Gregory Lumbin SCALE: 1:1



RIGHT-OF-WAY LANDSCAPE SCREENING
 GREENBELT WIDTH = 10 FT
 BERM = 3' TALL HEDGE TO BE PROVIDED IN LIEU OF BERM TO PROTECT EXISTING LINDEN TREES — WAIVER REQUESTED
 WALL = EXISTING WALL TO BE REDUCED TO LESS THAN 3' HEIGHT

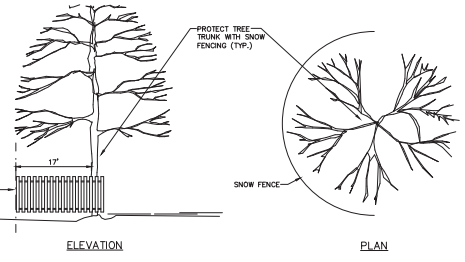
TREES ADJACENT TO PARKING:
 DECIDUOUS CANOPY TREES = 185 / 35 = 5 TREES REQUIRED. 5 EXISTING TREES ARE PROVIDED.
 DECIDUOUS SUB-CANOPY TREES = 185 / 20 = 9 TREES REQUIRED. 0 NEW TREES ARE PROVIDED. — WAIVER REQUESTED
 IN AREA BETWEEN SIDEWALK AND CURB = 185 / 35 = 5 TREES ARE REQUIRED. NO TREES ARE PROVIDED DUE TO PRESENCE OF WATERMAIN IN THIS AREA. — WAIVER REQUESTED

INTERIOR PARKING AREA LANDSCAPING
 CATEGORY A = 57 SPACES X 9 X 19 = 9,747 SF X 7.05 = 731 SF
 CATEGORY B = 13,135 SF X 1% = 131 SF
 CATEGORY C = A + B = 862 SF LANDSCAPE SPACE REQUIRED — WAIVER REQUESTED
 745 SF LANDSCAPE SPACE PROVIDED (ADDITIONAL 520 SF AS PAINTED ISLANDS)
 CATEGORY D = 862 / 200 = 5
 CATEGORY E = 295 LF / 35 = 9 — WAIVER REQUESTED

SUMMARY:
 5 INTERIOR DECIDUOUS CANOPY TREES REQUIRED — WAIVER REQUESTED
 2 EXISTING DECIDUOUS CANOPY TREES PROVIDED — WAIVER REQUESTED
 9 PERIMETER DECIDUOUS CANOPY TREES REQUIRED — WAIVER REQUESTED
 5 EXISTING DECIDUOUS CANOPY TREES PROVIDED

BUILDING FOUNDATION LANDSCAPING
 LENGTH OF BUILDING WITHIN SUBJECT AREA = 150 LF (PARALLEL TO WYOM ROAD)
 LANDSCAPE AREA REQUIRED = 150 LF X 8 FT = 1,200 SF
 LANDSCAPE AREA PROVIDED = NONE — WAIVER REQUESTED

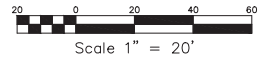
LANDSCAPE PLANTING SCHEDULE							
QUANT.	ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	\$/UNIT	ESTIMATED COST
114	HY	TAXUS MEDIA 'HICKSI'	HICKS YEW	36" HT.	2' O.C.	\$50	\$ 5,700
265 SY ~ 3" TOPSOIL AND SODDING						\$10	\$ 2,650
15 SY ~ MULCH						\$35	\$ 525
TOTAL							\$ 8,875



STANDARD TREE PROTECTION A
 NOT TO SCALE
 L1.0

NOTE:
 FULL BACK FENCING TO INSTALL PLYWOOD WHEN ACCESS TO ROOT ZONE IS NECESSARY

PHRAGMITES NOTE:
 PHRAGMITES IS PRESENT IN THE EXISTING DETENTION AREA ON THE EAST SIDE OF THE SITE. A LICENSED CONTROLS EXPERT SHALL BE ENGAGED TO EVACUATE THE EXISTING POPULATION USING THREE SUCCESSIVE DOSES OF ROUND-UP OR EQUAL AND WAITING ONE WEEK TO REMOVE DEAD VEGETATION AFTER THE FIRST TWO APPLICATIONS OF DETOLANT.



NOTES

- BENCHMARKS**
 CONTROL B.M.
 CITY OF NOVI (M 1711 - "X" ON NORTH RIM OF GATEWELL LOCATED 200 FEET NORTH OF ENTRANCE TO SANIT CLUB GAS STATION, 36 FEET EAST OF CENTERLINE OF WYOM ROAD AND 3 FEET WEST OF SIDEWALK. ELEVATION: 974.22
 B.M. 8
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- LSC ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR WHOSE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSC ENGINEERS & SURVEYORS.
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RUSSELL DESIGN
 LANDSCAPE ARCHITECTURE
 DESIGN ■■■ PLANNING
 114 Rayson Street Suite 2A Northville, MI 48167 P. 248.374.3222

MISS DIG 811
 Know what's below. Call before you dig.

DATE	BY	REVISIONS/SUBMITALS
4/9/2019	PRELIMINARY SITE PLAN APPROVAL	01
4/9/2019	PRELIMINARY SITE PLAN REVIEW	02
		03
		04
		05

LSC
 Engineers & Surveyors
 3135 PINE TREE ROAD
 SUITE D
 LANSING, MI 48911
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 FAX (517) 393-2608
 www.lsg-es.com

VARSITY LINCOLN PROPERTIES, LLC
 P.O. BOX 633
 NOVI, MICHIGAN 48376

LANDSCAPE PLAN FOR VARSITY LINCOLN PRE-OWNED INVENTORY LOT
 49251 GRAND RIVER AVENUE
 NOVI, MICHIGAN 48374

FILE	L1-0.DWG
DESIGNED BY	GL
DRAWN BY	GL
CHECKED BY	AGB
DATE	FEBRUARY 19, 2019
SCALE	1" = 20'
HR.	N/A
PROJECT NO.	2240
SHEET NO.	L1.0

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

March 28, 2019 (Updated 4/10/19)

Planning Review

Varsity Lincoln Inventory Parking
JSP 19-15

PETITIONER

Varsity Lincoln

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	17	
Site Location	Southeast corner of Grand River Avenue and Wixom Road; 49251 Grand River	
Site School District	Novi Community School District	
Site Zoning	B-3 General Business	
Adjoining Zoning	North	City of Wixom (Freeway Service)
	East	B-3 General Business
	West	RM-1 Low-Density, Low-Rise Multiple Family Residential
	South	B-3 General Business (by Consent Judgement)
Current Site Use	Auto Dealership	
Adjoining Uses	North	Fueling station
	East	Bank
	West	Fueling Station, Single Family neighborhood
	South	Inventory Vehicle parking (owned by applicant)
Site Size	6.1 acres	
Plan Date	February 19, 2019	

PROJECT SUMMARY

The applicant is proposing to repurpose a parking lot associated with the existing automotive dealership. The service area parking would become pre-owned vehicle inventory parking for the dealership. A portion of the masonry screening wall would be removed, leaving a 1 ½ foot low wall to increase visibility of the vehicle inventory. Changes to landscaping and lighting are also proposed. Only the parking area proposed to be converted, as well as landscaping and lighting changes, are included in this review. The subject property is zoned B-3 General Business and planned for Community Commercial uses.

RECOMMENDATION

Approval of the Preliminary Site Plan *is recommended*. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. All reviewers are now recommending approval of the Preliminary Site Plan. Please see the Review letters for further details. **Planning Commission's approval of the Preliminary Site Plan is required due to waivers required.**

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the next submittal.

1. Administrative Approval (Sec. 6.1.C): A site plan may be reviewed for approval administratively without formal review by the approving body under the following circumstances: "when the plan only proposes improvements to or expansion of an existing off-street parking area." *This plan qualifies for administrative approval if all requirements of the Zoning Ordinance are met. However, several deviations to the requirements have been identified, which would require waivers from the Planning Commission to be granted. Update 4/10/19: The plans have been revised, but several Planning Commission waivers are needed and requested by the applicant.*
2. Parking (Sec. 5.2): The number of required parking spaces to accommodate the existing sales floor and service uses is 77 non-inventory spaces, based on a 2012 floor plan of the existing building. The proposed plan will convert 57 spaces previously designated for Service use to Pre-Owned Inventory use. **The applicant shall provide updated parking calculations for the whole site and show on the plans where the required parking areas are located to verify that adequate parking is provided for customer, employee and service uses. Update 4/10/19: The applicant has provided 257 spaces of "Customer and Display Parking Mix" and 55 spaces for Service.**
3. Drive Aisles and Parking Space Dimensions (Sec. 5.3.2): Maneuvering Lanes in off-street parking lots are to be at minimum 24 feet width adjacent to 90 degree parking. Parking spaces should be a minimum of 19 feet in length, unless adjacent to a 4 inch curb with allowance for 2 feet of vehicle overhang beyond the curb. **Show measurements on the plan and verify conformance with these standards. A Zoning Board of Appeals variance would be required for not meeting the requirements. The two parking spaces along the north wall should also be removed due to a conflict with the gate post and need for additional drive aisle space. Update 4/10/19: The parking spaces and drive aisles are now in conformance with the dimensional standards of the ordinance.**
4. End Islands (Section 5.3.12): End Islands are required at the end of all parking bays that abut traffic circulation aisles in off-street parking lots. If internal traffic circulation is forecast to be low, the Planning Commission may waive the requirement for raised end islands and may allow for painted islands only. **Provide raised end islands as required, or seek a waiver from the Planning Commission for painted islands that meet the dimensional requirements. Update 4/10/19: The applicant has revised the plans to include painted end islands and requests a waiver from the Planning Commission for the absence of raised end islands. The painted end islands should both be dimensioned in the final site plan submittal to verify radii, width, and show them to be 3 feet shorter than the adjacent parking stall.**
5. Lighting Plan (Section 5.7.3): The average to minimum light level of the surface being lit to the lowest light of the surface being lit is not to exceed 4:1 ratio. **Provide an overall calculation for the parking area and adjust lighting as necessary to meet the requirements. Address other minor comments regarding lighting from the Planning Chart. Update 4/10/19: The lighting plan has been updated to include more data and the lighting levels now seem to conform to ordinance standards, but this cannot be confirmed. Currently the chart has rows for "front row" and "middle area" however overall numbers for the subject area are needed to verify**

conformance with Ordinance requirements. In the Final Site Plan submittal, the Statistics Chart should be updated to include an overall calculation for the subject area being converted.

6. **Update 4/10/19: Bicycle Parking (Section 5.16):** Two bicycle parking spaces are indicated. Provide dimension of adjacent sidewalk to verify the spaces are accessible via a 6 foot walkway. A bicycle layout detail shall be included in the Final Site Plan submittal.

Other Reviews:

- a. Engineering Review: Engineering recommends approval of the Preliminary Site Plan. See review letter for additional details.
- b. Landscape Review: Additional Comments to be addressed with revised Preliminary Site Plan. **Landscape does not recommend approval at this time.**
- c. Fire Review: Fire recommends approval.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan is scheduled to go before Planning Commission for approval on **April 17, 2019 at 7:00 pm**. All items have been submitted.

FINAL SITE PLAN SUBMITTAL

After receiving administrative or Planning Commission's approval of the Preliminary Site Plan, and the Zoning Board of Appeals' action on your variance request (if needed), please follow the [Final Site Plan Checklist](#) and submit for approval:

1. Four copies of Final Site Plan sets addressing all comments from Preliminary review,
2. Response letter addressing ALL comments from ALL the review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Planning Commission's approval, as well as staff and consultant approval of the Final Site Plan, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets.

1. Revised plans addressing the comments in all of the staff and consultant review letters in PDF format
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **7 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.



Lindsay Bell – Planner



PLANNING REVIEW CHART: B-3 General Business District

Review Date: March 21, 2019
Review Type: Preliminary Site Plan
Project Name: Varsity Lincoln Inventory Lot
Location: 49251 Grand River Ave; Parcel 22-17-101-017
Plan Date: 2/19/19
Prepared by: Lindsay Bell, Planner
Contact: E-mail: lbell@cityofnovi.org Phone: 248.347.0484

Items in **Bold** need to be addressed by the applicant prior to the approval of the Preliminary Site Plan. Items underlined need to be addressed prior to the approval of the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Community Commercial	Repurpose parking area for existing auto dealership	Yes	
Area Study	Grand River Corridor – Corridor Landscape Enhancement	NA	Yes	See recommended street tree species in ROW
Zoning <i>(Effective Jan. 8, 2015)</i>	I-1: Light Industrial	B-3: General Business District	Yes	Per consent judgement, property reviewed as B-3
Uses Permitted <i>(Sec 3.1.12.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12.C Special Land Uses	Outdoor space for exclusive sale of new or used automobiles - expansion		Special Land Use Approval previously granted by Planning Commission
Outdoor Space For Exclusive Sale of New Or Used Automobiles (Sec. 4.36)				
Paving and draining of lot <i>(Sec 4.36.1)</i>	Lot or area paved and graded/drained to dispose of all surface water accumulated	Area is paved; existing detention basin	Yes	
Access to Outdoor Sales Area <i>(Sec 4.36.2)</i>	Access at least 60 feet from the intersection of any 2 streets	No changes proposed	Yes	
Greenbelt Planting Strip <i>(Sec 4.36.3)</i>	10 ft wide greenbelt between ROW and parking/vehicle display		Yes	See Landscape review
Repair/Refinishing <i>(Sec 4.36.4)</i>	No major repair or major refinishing to be done on the lot		Yes	Provide note verifying conformance on plan

Item	Required Code	Proposed	Meets Code	Comments
Lighting (Sec 4.36.5)	Lighting to be shielded from adjacent residential districts	Residential district to west of Wixom Rd. – Proposed lighting does not spill over property line	Yes	
Noise Impact Statement (Sec 4.36.6)	Noise impact statement is required subject to the standards of Section 5.14.10.B.	No additional noise impacts proposed from inventory parking	Yes	
Height, bulk, density and area limitations (Sec 3.1.12)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Grand River and Wixom	Yes	
Minimum Zoning Lot Size (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	6.10 acres	Yes	
Open Space Area	---	---	---	---
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)		NA	
Building Height (Sec. 3.1.23.D)	30 ft.	No changes to building proposed	NA	
Building Setbacks (Sec 3.1.12.D)				
Front (south)	30 ft.		NA	<i>Existing building – no changes proposed</i>
Exterior Side (east)	30 ft. (Sec. 3.6.2.C)		NA	
Interior Side (west)	15 ft.		NA	
Rear (north)	20 ft.		NA	
Parking Setback (Sec 3.1.12.D)				
Front (north)	20 ft.		NA	Proposed changes only in SW corner of larger lot
Exterior Side (West)	20 ft.	10 ft	Yes	
Interior Side (east)	10 ft.		NA	
Rear (south)	10 ft.	10 ft.	Yes	
Note To District Standards (Sec 3.6.2)				

Item	Required Code	Proposed	Meets Code	Comments
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Parking setback 20+ feet on exterior side yard	Yes	
Minimum Lot Area (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Shown	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3		Yes	
Parking Setback from Residential District (Sec 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum parking setback shall be 20 ft.	NA	NA	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.		NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.		No	See landscape letter for additional details
Modification of parking setback requirements (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	None proposed	NA	
Parking, Loading, and Dumpster Requirements				
Number of Parking Spaces Motor vehicle sales and service (Sec.5.2.12.E)	1 space per 200 sq. ft. of usable floor area of sales room and 1 per auto service stall From 2012 Site Plan: 8,959 sf sales room = 45 32 service stall = 32 spaces 77 spaces required	Parking calculations not provided. 57 spaces previously designated for Service will be converted to "Pre-Owned Inventory"	No	Provide updated parking calculations for the whole site and show on plans where required parking areas are located

Item	Required Code	Proposed	Meets Code	Comments
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	<ul style="list-style-type: none"> - 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping 	<p>Some drive areas 24' as required</p> <p>Non-standard parking space lengths proposed for inventory parking areas</p>	<p>No</p> <p>Yes</p>	<p>24' drive aisles should be provided. Parking spaces could be shortened to accommodate additional aisle width</p>
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer		Yes	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	End islands not proposed at end of the interior parking bays within the inventory parking area	No	<p>Waivers would be needed for lack of end islands</p> <p>Show dimensions of all end islands proposed</p>
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 4 barrier free parking spaces required for 77-99 parking required - Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible 	2 barrier free spaces existing;	No	Verify whether 4 Barrier-free spaces are provided on site
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	Existing spaces	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Existing signage	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	2 spaces required for motor vehicle sales	Not shown	No	Verify whether 2 Bike parking spaces are provided on site

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking General requirements <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 			
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not Shown	No	Verify if bike parking is provided, if not should be proposed
Loading Spaces <i>(Sec. 5.4.2)</i>	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Existing loading zone on East side of building	Yes	
Dumpster <i>(Sec 4.19.2.F)</i>	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft from property line. - Away from Barrier free Spaces 	Existing Dumpster on southwest side of building	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Existing	Yes	
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Provided	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	<ul style="list-style-type: none"> - All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building 	No changes to building proposed	Yes	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	No changes to building proposed	Yes	
B-3 District Required Conditions (Sec 3.10.3)				
Outdoor Storage of above ground storage tanks (Sec 3.10.3)	<ul style="list-style-type: none"> - No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. - Pedestrian exits or emergency doors are permitted on such building facades. 	<p>No proposed service doors</p> <p>No changes to building proposed</p>	<p>NA</p> <p>Yes</p>	
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	<ul style="list-style-type: none"> - A 6 ft. – 8 ft. wide sidewalk or roadside pathway shall be constructed along all arterial and collector roads except in industrial districts 	Existing 5' sidewalk shown in ROW.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	No changes proposed	Yes	
Building Code and Other Design Standard Requirements				
Building Code	Building exits must be connected to sidewalk system or parking lot.	No changes proposed	Yes	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Provided	Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	Not provided	NA	
Development/ Business Sign	<ul style="list-style-type: none"> - Signage, if proposed, requires a permit. - Exterior Signage is not regulated by the Planning Division or Planning Commission. 	No new signs proposed	NA	<u>For sign permit information contact Maureen Underhill 248-735-5602.</u>
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce	Provided		

Item	Required Code	Proposed	Meets Code	Comments
	spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky			
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Only new lighting data shown on plan	No	Show all existing light fixtures and photometric data in subject area of site
Lighting Plan (Sec.5.7.A.2)	Specifications for all proposed & existing lighting fixtures: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type & color rendition of lamps ▪ Hours of operation Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Provided No hours of operation given	Yes No	Provide hours of operation for the lighting
Required Conditions (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	20 ft. maximum proposed	Yes	
Required Conditions (Sec. 5.7.3.B)	<ul style="list-style-type: none"> ▪ Electrical service to light fixtures shall be placed underground ▪ Flashing light shall not be permitted ▪ Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Provide notes on the plan	No	
Required Conditions (Sec.5.7.3.E)	Average to minimum light level of the surface being lit to the lowest light of the surface being lit not to exceed 4:1	Proposed 1.9:1 and 16.7:1	No	Include overall calculation for parking area in order to verify conformance with 4:1 ratio requirement

Item	Required Code	Proposed	Meets Code	Comments
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LEDs proposed	Yes	
Min. Illumination (Sec. 5.7.3.k)	<ul style="list-style-type: none"> ▪ Parking areas: 0.2 min ▪ Loading & unloading areas: 0.4 min ▪ Walkways: 0.2 min ▪ Building entrances, frequent use: 1.0 min ▪ Building entrances, infrequent use: 0.2 min 	Complies	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	0.0 proposed	Yes	<u>Applicant owns parcel to the south</u>
Cut off Angles (Sec. 5.7.3.L)	<ul style="list-style-type: none"> ▪ Cut off angles of fixtures must be 90° adjacent to residential districts ▪ Max illumination at the property line shall not exceed 0.5 foot candle 	Proposed	Yes	
<p>NOTES:</p> <ol style="list-style-type: none"> 1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details. 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Division with future submittals. 				

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

March 18, 2019

Engineering Review
Varsity Lincoln Inventory Lot
JSP19-0015

Applicant

Varsity Lincoln Properties, LLC

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: South of Grand River Avenue, East of Wixom Road
- Site Size: 6.10 acres
- Plan Date: 02/19/2019
- Design Engineer: LSG Engineers & Surveyors

Project Summary

- Aesthetic improvements will be made to the existing parking lot. Site access will be available via Grand River Avenue and Wixom Road.
- No changes will be made to the water main, sanitary sewer, or storm sewer networks.
- Storm water will continue being collected by a single storm sewer collection system and discharged to an onsite detention basin and underground detention.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Final Site Plan submittal:

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Provide the City's standard detail sheets for paving (2 sheets-rev. 03/05/2018) at the time of the Stamping Set submittal. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
3. Provide a traffic control sign table if any new signage is proposed.
4. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.
5. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
6. Indicate the typical foundation depth for the light poles to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.

Utilities

7. Provide a cross-section of the retaining wall showing the distance between the wall foundation and the surrounding utilities.

Paving & Grading

8. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Revise details accordingly.
9. Remove pavement details on sheet C3.0 that conflict with City Standard Details.
10. Provide a line of designation representing the effective 19-foot stall length for 17-foot perimeter stalls.
11. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high (rather than the standard 6-inch height to be provided adjacent to 19-foot stalls). Provide additional details as necessary.
12. Label the actual usable length of the proposed angled parking stalls. This is done by measuring between parallel lines representing the position at the front and rear of the car, without the rear of the car conflicting with the maneuvering aisle.

Soil Erosion and Sediment Control

13. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

Agreements

14. A license Agreement will be required for the retaining wall proposed within the existing water main easement. The agreement shall state that the wall and all site facilities within the influence of the wall that may be removed or damaged in the event the utility requires maintenance will be **the responsibility of the property owner** to repair or replace. Additionally, a cross-section shall be included with the agreement showing the distance between the wall foundation and the utility. A template agreement is available from the Engineering Division.

The following must be submitted with the Final Site Plan:

15. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
16. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

The following must be addressed prior to construction:

17. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
18. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
19. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
20. Construction inspection fees in an amount that is to be determined must be paid to the Community Development Department.

21. Legal escrow fees in an amount that is to be determined must be deposited with the Community Development Department. All unused escrow will be returned to the payee at the end of the project. This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
22. A street sign financial guarantee of \$400 per traffic control sign proposed must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
23. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
24. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).

The following must be addressed prior to occupancy of the parking lot:

25. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
26. The agreement referenced above must be executed, notarized and approved by the City Attorney and Engineering Division.
27. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

Engineering Review of Preliminary Site Plan

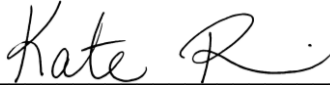
Varsity Lincoln Inventory Lot
JSP19-0015

03/18/2019

Page 5 of 5

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.

A handwritten signature in cursive script that reads "Kate R." followed by a horizontal line.

Kate Richardson, EIT
Plan Review Engineer

cc: Lindsay Bell, Community Development
George Melistas, Engineering
Darcy Rechten, PE, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

April 11, 2019

Revised Preliminary Site Plan - Landscaping

Varsity Lincoln Display Lot

Review Type

Preliminary Landscape Review

Job

JSP19-0015

Property Characteristics

- Site Location: 49251 Grand River Ave
- Site Acreage: 6.1 acres
- Site Zoning: B-3
- Adjacent Zoning: North: Wixom Commercial, East: B-3, South: I-1, West: Wixom Rd/RM-1
- Plan Date: 4/9/2019

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed in Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan**. A number of landscape waivers are required, all of which are supported by staff.

LANDSCAPE WAIVERS REQUIRED FOR PROPOSAL:

1. Deficiency in required landscape area. The lot is already deficient and the applicant is proposing to increase that deficiency by removing the one landscape island within the display lot. ~~The waiver request is not supported by staff.~~ **This waiver is now supported by staff as the single island and its trees will now be maintained.**
2. Lack of greenbelt berm – 3 foot tall berm is not provided but a 36" continuous hedge is proposed. ~~The waiver request is not supported by staff.~~ **This waiver is now supported by staff as a continuous 36" hedge to screen the parking lot is now provided.**
3. Deficiency in greenbelt subcanopy trees – Waiver is supported by staff as there are no significant changes to the lot itself and the required number of trees is provided. **This waiver is still supported by staff.**
4. Deficiency in street trees. 5 are required but none are provided. ~~The existing deficiency would be supported by staff as the parking lot itself is not changing and the lack of street trees appears to be caused by the existence of a 12" water main along the east edge of Wixom Road.~~ **This waiver is still supported by staff.**
5. Deficiency in interior landscape space. ~~The existing deficiency would be increased with the removal of the single corner island. A waiver request for the existing condition would be supported by staff, but a waiver that included the removal of the island would not be supported by staff.~~ **This waiver is now supported by staff as the single island and its trees will now be maintained.**

6. ~~Deficiency in interior parking lot trees. The existing deficiency would be increased with the removal of the single corner island (2 crabapples would be removed). A waiver request for the existing condition would be supported by staff, but a waiver that included the removal of the trees would not be supported by staff. This waiver is now supported by staff as the single existing island and its trees will now be maintained.~~
7. Deficiency in parking lot perimeter trees. The existing deficiency would be supported by staff as the parking lot itself outline is not changing. **This waiver is still supported by staff.**
8. Deficiency in building foundation landscaping. None is provided but as the building is not changing, the waiver is supported by staff. **This waiver is still supported by staff.**

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. There are no overhead wires in the vicinity of the project.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Only site landscaping (no regulated) trees exist on the site.
2. Two existing trees at the southwest corner of the parking lot (crabapples) are remaining removed and 3 evergreen trees in the greenbelt are being removed.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required greenbelt width (10 feet) is provided.
2. A 36" continuous hedge providing 80-90% opacity is now provided along the sidewalk and southern the wall. **The proposed berm has been removed and a continuous 36" hedge is proposed to screen the parking lot. A waiver for this configuration is now supported by staff.**
3. 5 deciduous canopy trees are required based on the 185lf of frontage and 5 existing deciduous canopy trees will remain.
4. Only 3 of 9 required subcanopy trees are provided. **A landscape waiver is required for that deficiency. As the parking lot is not changing significantly, it would be supported by staff. This waiver is still supported by staff.**
5. 5 street trees are required but none are provided. **This requires a landscape waiver. As street trees have never been placed on the site, probably due to the 12" water main along Wixom Road, and the parking lot is not changing significantly, the waiver would be supported by staff. This waiver is still supported by staff.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. No calculations for the interior landscape space or trees are provided.
- ~~2. The only 2 existing interior trees are proposed to be removed.~~
3. **Please revise the calculations for area and trees required, based on the current rules, for just the display lot involved in the project.**
4. Landscape waivers would be required for deficiencies in landscape area and interior trees provided. ~~If the existing corner island and trees were preserved, that waiver request would be supported by staff as it is a continuation of the existing condition. If the applicant continues with the plan to remove the island, the waiver request would not be supported by staff.~~ **As the existing corner island and its trees will now be maintained, this waiver is supported by staff.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Calculations for the perimeter parking lot trees are provided. 8 trees are required but only the 5 existing greenbelt trees are provided as perimeter trees.
2. **A landscape waiver will be required. This waiver is still supported by staff as the perimeter is not changing.**

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

No loading zone screening is required as no loading zone is located in the project area.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. No foundation calculations are provided and no foundation landscaping exists or is proposed.
2. **A landscape waiver is required for deficient landscaping. This waiver is supported by staff as the building and the area at the base of the building are not changing (the area of paving is not increasing). This waiver is still supported by staff.**

Plant List (LDM 2.h. and t.)

1. Provided
2. As only one species is used and is appropriate for the hedge, even though it is not native to Michigan it is acceptable.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. No changes to the basin are proposed so no new landscaping is required.
2. **Please add to the Phragmites note a statement that treatments in subsequent years may be required to fully eradicate the Phragmites.**

Irrigation (LDM 1.a.(1)(e) and 2.s)

A note indicates that the existing irrigation system will be modified, if necessary, to water the new hedge.

Snow Deposit (LDM.2.q.)

Provided

Corner Clearance (Zoning Sec 5.9)

Not applicable as the entry is not changing.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: April 11, 2019
Project Name: JSP19 – 0015: Varsity Lincoln Display Lot
Plan Date: February 19, 2019
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED FOR PROPOSAL:

1. Deficiency in required landscape area. The lot is already deficient ~~and the applicant is proposing to increase that deficiency by removing the one landscape island within the display lot. The waiver request is not supported by staff.~~ ***This waiver is now supported by staff as the single island and its trees will now be maintained.***
2. Lack of greenbelt berm – 3 foot tall berm is not provided ~~and remaining wall/berm/shrubs do not provide the required 3 feet of height. The waiver request is not supported by staff.~~ ***This waiver is now supported by staff as a continuous 36" hedge to screen the parking lot is now provided.***
1. Deficiency in greenbelt subcanopy trees – Waiver is supported by staff as there are no significant changes to the lot itself. ***This waiver is still supported by staff.***
2. Deficiency in street trees. 5 are required but none are provided. The existing deficiency would be supported by staff as the parking lot itself is not changing and the lack of street trees appears to be caused by the existence of a 12" water main along the east edge of Wixom Road. ***This waiver is still supported by staff.***
3. Deficiency in interior landscape space. ~~The existing deficiency would be increased with the removal of the single corner island. A waiver request for the existing condition would be supported by staff, but a waiver that included the removal of the island would not be supported by staff.~~ ***This waiver is now supported by staff as the single island and its trees will now be maintained.***
4. ~~Deficiency in interior parking lot trees. The existing deficiency would be increased with the removal of the single corner island (2 crabapples would be removed). A waiver request for the existing condition would be supported by staff, but a waiver that included the removal of the trees would not be supported by staff.~~ ***This waiver is now supported by staff as the single island and its trees will now be maintained.***
5. Deficiency in parking lot perimeter trees. The existing deficiency would be supported by staff as the parking lot itself outline is not changing. ***This waiver is still supported by staff.***
6. Deficiency in building foundation landscaping. None is provided but as the building is not changing, the waiver is supported by staff. ***This waiver is still supported by staff.***

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1" =20' minimum with proper North. 	Scale 1" =20'	Yes	

Item	Required	Proposed	Meets Code	Comments
	Variations from this scale can be approved by LA <ul style="list-style-type: none"> Consistent with plans throughout set 			
Project Information (LDM 2.d.)	Name and Address	Yes	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of PLA	The plan has been revised by a professional landscape architect	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	No	No	<u>Need for Final Site Plans</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
Zoning (LDM 2.f.)	Include all adjacent zoning	<u>Parcel:</u> B-3 <u>North:</u> City of Wixom Commercial <u>East:</u> B-3 <u>South:</u> I-1 <u>West:</u> Wixom Rd/RM-1	No	Please show zoning of adjacent parcels in plan set
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Sheet C1.0	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	<ul style="list-style-type: none"> Sheet C1.0 Only site landscaping is in the vicinity of the project 	Yes	
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Sheet C5.0	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> Sheet C3.0 <i>The existing landscaped corner is now being maintained.</i> 	No Yes	1. Layout indicates the only interior landscaped area will be removed. This is not allowed. 2. Do not remove the corner landscaping area.
Existing and	Overhead and	<ul style="list-style-type: none"> Sheet C1.0 	Yes	

Item	Required	Proposed	Meets Code	Comments
proposed utilities <i>(LDM 2.e.(4))</i>	underground utilities, including hydrants	<ul style="list-style-type: none"> No overhead lines are shown in the project area. 		
Proposed grading. 2' contour minimum <i>(LDM 2.e.(1))</i>	Provide proposed contours at 2' interval	Proposed berm up to wall shown on Sheets C5.0, C6.0	Yes	<ol style="list-style-type: none"> Please do not add berm as it will damage existing trees and it does not provide any additional screening. <i>The proposed berm has been removed from the plan.</i>
Snow deposit <i>(LDM.2.q.)</i>	Show snow deposit areas on plan	No Yes	No Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements <i>(LDM 1.c)</i>	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	NA – there are no interior landscape islands that block views.		
Name, type and number of ground cover <i>(LDM 1.c.(5))</i>	As proposed on planting islands	NA		
General <i>(Zoning Sec 5.5.3.C.ii)</i>				
Parking lot Islands <i>(a, b. i)</i>	<ul style="list-style-type: none"> A minimum of 200 SF to qualify A minimum of 200sf unpaved area per tree planted in an island 6" curbs Islands minimum width 10' BOC to BOC 	<ul style="list-style-type: none"> Existing corner island is proposed to be removed. The island is now being maintained. 	No	<ol style="list-style-type: none"> Please dimension the existing island and show its area in SF. That island should not be removed as it is the only landscaping within the entire display lot within the project area. <i>Removing it would require a landscape waiver that would not be supported by staff.</i>
Curbs and Parking stall reduction <i>(c)</i>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	No – parking lot outer dimensions are not being changed.	Yes	
Contiguous space limit <i>(i)</i>	Maximum of 25 contiguous spaces is allowed for vehicular storage/display	20 spaces is maximum bay length	Yes	
Plantings around Fire Hydrant <i>(d)</i>	No plantings with matured height greater than 12' within 10 ft. of	None are shown	Yes	

Item	Required	Proposed	Meets Code	Comments
	fire hydrants			
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	NA – the project does not include any changes to the entry.		
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> • $A = x \text{ sf} * 7.5 \% = A \text{ sf}$ • $(9747+13135) * 7.5\% = 1716 \text{ sf}$ 		No	Please use current calculation method (all paved area is treated the same).
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> • $B = x \text{ sf} * 1\% = B \text{ sf}$ • $(xxx - 50000) * 1\% = xx \text{ sf}$ 			
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	$1716 + 0 = 1716 \text{ SF}$	745 sf (existing)	No	<ol style="list-style-type: none"> 1. Please revise calculations. 2. A landscape waiver is required for the deficiency in landscape area provided in lot. <i>The deficiency for the existing condition would be supported by staff, but not for the increase caused by removing the only landscape island.</i> 3. As the existing island is being maintained, the waiver for existing deficiencies

Item	Required	Proposed	Meets Code	Comments
				<i>is supported by staff.</i>
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> 1716/200 = 9 Trees 	2 trees	No	<ol style="list-style-type: none"> Please revise calculations. A landscape waiver is required for the deficiency in landscape trees provided in lot. <i>The deficiency for the existing condition would be supported by staff, but not for the increase caused by removing the only landscape island and trees.</i> <i>As the existing island is being maintained, the waiver for existing deficiencies is supported by staff.</i>
Perimeter Lot Trees	<ul style="list-style-type: none"> 1 Canopy tree per 35 lf 295 lf/35 = 8 trees 	5 canopy trees provided in greenbelt	No	<ol style="list-style-type: none"> Greenbelt canopy trees within 15 feet of curb can be double-counted as perimeter canopy trees. A landscape waiver is required for the deficiency. <i>As the perimeter is not changing this waiver will still be supported by staff.</i>
Access way perimeter	<ul style="list-style-type: none"> 1 canopy tree per 35 lf on each side of road, less widths of access drives. (xx lf)/35 = xx trees 	NA		No access way trees are necessary.
Parking land banked	<ul style="list-style-type: none"> NA 	None		
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed with 6" of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	None, as project is not adjacent to residentially-zoned	None	Yes	

Item	Required	Proposed	Meets Code	Comments
	property			
Planting requirements <i>(LDM 1.a.)</i>	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements <i>(Zoning Sec 5.5.3.A.(5))</i>	An undulating berm a minimum of 3 feet high with a 3 foot wide crest is required along Wixom Road.	<ul style="list-style-type: none"> ▪ Berm/wall are approximately 18" tall <i>The berm has been removed from the plan.</i> ▪ The proposed shrubs would not provide the required height/buffering. ▪ <i>A continuous hedge is now provided along the front and south side of the parking lot.</i> 	No	<i>A landscape waiver for the proposed hedge in lieu of a berm or 36" high wall is supported by staff in order to preserve the existing greenbelt canopy trees.</i>
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% ▪ Min. 3 feet flat horizontal area ▪ Minimum 3 feet high ▪ Constructed of loam with 6' top layer of topsoil. 	<ul style="list-style-type: none"> ▪ No ▪ A cross section of the proposed berm is provided on Sheet C6.0 		No cross section is necessary.
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	No overhead utilities exist on the east side of Wixom Road at the project site.		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> ▪ Existing walls are to be shortened to approximately 18" and a new cap is proposed. ▪ Cross sections with grades are provided on Sheet C6.0 	Yes	
Walls greater than 3 ½ ft. should be designed and sealed		No details provided		

Item	Required	Proposed	Meets Code	Comments
by an Engineer				
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> ▪ Adjacent to Parking: 20 ft. ▪ Section 4.36 allows 10 foot greenbelt for automobile sales 	10 ft	Yes	
Min. berm crest width	3 feet		No	
Minimum berm height (9)	3 feet	In place of the required berm, a continuous 36" hedge is now proposed.	Yes	<i>The landscape waiver for the hedge is supported by staff.</i>
3' wall	(4)(7)	18-24" high wall		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> ▪ Adj to Parking: 1 tree per 35 lf ▪ 185/35 = 5 trees 	5 existing deciduous canopy trees	Yes	Please provide calculations
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> ▪ Adj to Parking: 1 tree per 20 lf ▪ 185/20 = 9 trees 	3 trees	No	<ol style="list-style-type: none"> 1. Please provide calculations 2. A landscape waiver for the deficiency is required. <i>As the lot itself is not changing, the waiver would be supported by staff. The waiver is still supported by staff.</i>
Canopy deciduous trees in area between sidewalk and curb <i>(Novi Street Tree List)</i>	<ul style="list-style-type: none"> ▪ Parking & No Parking: 1 tree per 35 lf ▪ 185/35 = 5 trees 	0 trees	No	<ol style="list-style-type: none"> 1. Please provide calculations 2. A landscape waiver is required to not provide the required trees. <i>As the overall lot is not changing, and there appears to be a 12" water main running along the east edge of Wixom, this waiver is supported by staff. The waiver is still supported by staff.</i>
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2)				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Interior Street to Industrial subdivision <i>(LDM 1.d.(2))</i>	<ul style="list-style-type: none"> ▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW ▪ No evergreen trees 	NA		

Item	Required	Proposed	Meets Code	Comments
	closer than 20 ft. ▪ 3 sub canopy trees per 40 l.f. of total linear frontage ▪ Plant massing for 25% of ROW			
Screening of outdoor storage, loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		▪ The area of the site is only used for storage of automotive vehicles for sale. ▪ A 36" hedge is now proposed.	Yes	
Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i>	▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors	NA - No transformers are located in the site area	Yes	
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ A: 150 lf x 8ft = 1200 SF	No building foundation landscaping exists or is proposed.	No	<i>A landscape waiver is required for this deficiency but it would be supported by staff as the building is not changing. The waiver is still supported by staff.</i>
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	See above	Yes	See above
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements <i>(Sec. 5.5.3.E.iv)</i>	▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix	No new landscaping is proposed for the detention basin.	Yes	As the site's impervious area is not changing, and the pond is not changing, no new landscaping is required.
Phragmites Control <i>(Sec 5.5.6.C)</i>	▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey. ▪ Treat populations per MDEQ guidelines and	A note is providing stating the Phragmites exists in detention pond, and steps for its treatment	TBD	Please add a statement to the note that follow-up treatments in succeeding years may be necessary for complete eradication of the Phragmites.

Item	Required	Proposed	Meets Code	Comments
	requirements to eradicate the weed from the site.			
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 2.i. & Zoning Sec 5.5.5.B)</i>	Provide intended date	Between Mar 15 and Nov 15.	Yes	
Maintenance & Statement of intent <i>(LDM 2.m & Zoning Sec 5.5.6)</i>	<ul style="list-style-type: none"> ▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source <i>(LDM 2.n & LDM 3.a.(2))</i>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan <i>(LDM 2.s.)</i>	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	A note indicates that the existing irrigation system will be modified to include the new landscaping (the hedge) if required.	Yes	
Other information <i>(LDM 2.u)</i>	Required by Planning Commission	NA		Please change Landscape Note #7 to read that unhealthy material shall be replaced within 3 months, not 1 year.
Establishment period <i>(Zoning Sec 5.5.6.B)</i>	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. <i>(Zoning Sec 5.5.5.E)</i>	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Only 1 species is proposed, Hick's Yews.	Yes	
Type and amount of lawn		265 SY Sod	Yes	
Cost estimate <i>(LDM 2.t)</i>		For all new plantings, mulch and sod as listed on the plan	Yes	Yes

Item	Required	Proposed	Meets Code	Comments
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	Not needed.
Evergreen Tree		Yes	Yes	Not needed.
Multi-stem Tree		Yes	Yes	Not needed.
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	Not needed.
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	Not needed.
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Tree fencing is proposed.	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions <i>(LDM 3.a)</i>	Plant materials shall not be planted within 4 ft. of property line	No	Yes	
Plant Materials & Existing Plant Material <i>(LDM 3.b)</i>	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit <i>(LDM3.b.(d))</i>	Substitutions to landscape standards for preserved canopy trees outside woodlands/wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	None taken		
Plant Sizes for ROW, Woodland replacement and others <i>(LDM 3.c)</i>	2.5" canopy trees 6' evergreen trees	On plant list	Yes	
Plant size credit <i>(LDM3.c.(2))</i>	NA	No		
Prohibited Plants <i>(LDM 3.d)</i>	No plants on City Invasive Species List	None used	Yes	
Recommended trees for planting under overhead utilities <i>(LDM 3.e)</i>	Label the distance from the overhead utilities	There are no overhead lines in the vicinity of the project.		
Collected or Transplanted trees <i>(LDM 3.f)</i>		None		1.
Nonliving Durable Material: Mulch <i>(LDM 4)</i>	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Refer to section for additional information 			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

FIRE REVIEW



March 6, 2019

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Hannah Smith-Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

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Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

RE: Varsity Lincoln Inventory Lot

PSP# 19-0041

Project Description:

Parking lot renovation.

Comments:

Meets Fire Department Standards

Recommendation:

APPROVED

Sincerely,

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

RECEIVED

April 9, 2019

APR 09 2019

Ms. Barbara McBeth, City Planner
City of Novi Community Development Department
45175 W. Ten Mile Road
Novi, MI 48375

CITY OF NOVI
COMMUNITY DEVELOPMENT

RE: Revised Plans for Preliminary Planning Commission Approval
Varsity Lincoln Pre-Owned Inventory Lot
JSP 19-0015
LSG Project ID #2240

Dear Barb:

Per the review comments pertaining to our initial submittal for Administrative Approval for minor alterations to an existing site, we revised the following items (see further below for waiver requests) in anticipation of Preliminary Approval from the Planning Commission:

Planning

1. Parking calculations are shown on Sheet C encompassing the entire site. Sheet C3.1 shows the schematic parking layout for the site based on the 1992 site plan. No modifications have been made to the parking layout since that time.
2. All existing striping in the subject area will be obliterated and the area will be restriped to provide minimum 24' drive aisles and standard 19' long parking spaces. Please note that the angled parking shown in the vicinity of the Wixom Road entrance will be obliterated to provide unobstructed drive access.
3. Interior end islands are provided and shown as painted (see waiver requests below).
4. Two additional barrier-free spaces are proposed, bringing the total count provided to four—one of which shall be designated as van accessible. Please see Sheet C3.1.
5. Two bike parking spaces are proposed. This area will be paved and will include one inverted "U" loop. Please see Sheet C3.1.
6. Lighting:
 - a. Existing and proposed fixtures in the subject area of the site were both shown in the site and photometric plans originally submitted.
 - b. Hours of lighting operation (dusk to dawn) are noted on Sheet C3.0.
 - c. Light fixtures in the subject area of the site have been modified to comply with the "not to exceed" requirement (4:1 ratio for average and minimum light levels to lowest light of surface being lit). The power plan was revised to reflect the changes in the light fixtures.

Landscaping

1. A registered landscape architect (Mr. Marc Russell—his contact information and stamp are found on sheet L1.0) was engaged to supervise modifications to the landscape plan.
2. Zoning of the adjacent parcel to the south is shown on Sheet L1.0.
3. The corner island, interior to the parking area, and its two trees will NOT be removed. Dimensions and area in SF for this island are also included.
4. A continuous hedge is proposed in lieu of the berm previously depicted in order to safeguard the existing linden trees along the wall perimeter (see waiver requests below).
5. Snow deposit areas are shown on Sheet L1.0.
6. Calculations are shown for ROW landscaping, interior landscaping and building foundation landscaping. Several waivers are requested further below for apparent deficiencies.
7. Mr. Russell found that Phragmites was present in the detention area. Therefore, a note is included on Sheet L1.0 indicating appropriate eradication measures.
8. Note #7 (Sheet L2.0, Landscape Notes) was modified to include the cultivation and unhealthy material comments described in the Review Table.
9. A note regarding confirmation of layout of the existing irrigation system at time of construction is included on Sheet L1.0 (existing plans are not available although our survey discovered the presence of irrigation valves).
10. The proposed hedge species is native to Michigan and can be maintained at 36" height.
11. The rootball callout in the deciduous tree planting detail (lower left of detail) was modified so that it includes a statement that "the soil from the rootball must be removed to expose the root flare."
12. Mulch is added to the planting schedule (Sheet L1.0) at \$35/SY.
13. A protective fencing detail is provided on Sheet L1.0 for use with the existing trees along Wixom Road.
14. The coniferous trees previously described as being transplanted will NOT be transplanted (though they will still be removed). Their survival due to stress is doubtful. Instead, the applicant will plant three new 8' tall coniferous trees in the vicinity of the existing detention area on the west side of the site (see Sheet C3.1; species and location to be determined in consultation with City of Novi Landscape Architect).
15. The three trees previously shown as their replacement at the SW corner of the site have been eliminated in favor of the continuous hedge requested by the reviewer.

Engineering

Other than inclusion of the Standard Paving Details, no substantive modifications have been made to the plans to address Engineering comments. Such as they are, they will be dealt with prior to Final Site Plan submittal as per the Engineering Review.

We request waivers for relief from the following requirements:

1. Painted interior islands versus curbed/landscaped space.
2. Use of continuous 3' tall hedge in lieu of 3' tall berm.
3. Deficiency in greenbelt sub-canopy trees.
4. Deficiency in street trees within ROW.
5. Deficiency in interior landscape space.
6. Deficiency in interior parking canopy trees.
7. Deficiency in parking lot perimeter canopy trees.
8. Deficiency in building foundation landscaping.

Each of these requests correlates with those waivers that staff previously indicated that they would support. They are predicated primarily on such factors as constraints due to existing conditions (for example, the presence of water main in the street ROW) or the minimal nature of the changes originally proposed to the site.

Sincerely,

A handwritten signature in black ink, appearing to read "Gregory K. Lamkin". The signature is written in a cursive, flowing style.

Gregory K. Lamkin, PE, M. ASCE, VMA
Senior Engineer