

RIDE AND DRIVE AUTOMOTIVE RESEARCH LOT SP 12-29

RIDE AND DRIVE AUTOMOTIVE RESEARCH LOT SP12-29

Consideration of the request of Blair Bowman for recommendation to the City Council for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located in Section 16, at 26925 Taft Road at the southwest corner of Taft Road and I-96, in the OST, Office Service Technology District with the EXO, Exposition Overlay. The subject property is approximately 6.63 acres and the applicant is proposing to utilize the subject property as an automotive research lot for vehicle testing and as overflow parking space for the existing Suburban Collection Showplace.

Required Action

Recommend approval/denial of the Preliminary Site Plan and Stormwater Management Plan.

| REVIEW | RESULT | DATE | COMMENTS |
|---------------|--------------------------|-------------|---|
| Planning | Approval recommended | 07/02/12 | <ul style="list-style-type: none"> • Zoning Board of Appeals variance or property combination required to address the deficient parking setback in the southern property line. • Items to be addressed at the time of the next plan submittal. |
| Engineering | Approval recommended | 07/02/12 | <ul style="list-style-type: none"> • Pavement striping in colors other than those meeting MMUTCD require an administrative variance. • City Council waiver for the use of striped end islands in lieu of curbed landscaped islands required. • Items to be addressed at the time of the next plan submittal. |
| Traffic | Approval recommended | 06/29/12 | <ul style="list-style-type: none"> • Applicant should provide end islands or seek a variance for the lack of end islands around the permanent parking spaces in the automotive research lot layout. • City Council waiver for the use of striped end islands in lieu of curbed landscaped islands required. • Public access to the new paved area should be prohibited when it is not being used for overflow parking. • Items to be addressed at the time of the next plan submittal. |
| Landscape | Approval not recommended | 07/02/12 | <ul style="list-style-type: none"> • Landscape waivers requested for the following <ul style="list-style-type: none"> ○ 3' landscape berm along I-96 right-of-way ○ Right-of-way greenbelt plantings ○ Lack of interior landscape area |

| | | | |
|----------|----------------------|----------|--|
| | | | <ul style="list-style-type: none"> ○ Lack of parking lot canopy trees ○ Lack of perimeter parking lot canopy trees ○ Lack of building foundation landscaping ○ Lack of building foundation landscaping area • Applicant must provide a landscape plan detailing plantings and/or requested waivers • Items to be addressed at the time of the next plan submittal. |
| Wetlands | Approval recommended | 06/29/12 | Items to be addressed at the time of the next plan submittal. |
| Fire | Approval recommended | 06/29/12 | Items to be addressed at the time of the next plan submittal. |

Motions

Approval – Preliminary Site Plan

In the matter of Ride and Drive Automotive Research Lot, SP 12-29, motion to **recommend approval** of the Preliminary Site Plan, subject to the following:

- a. The applicant addressing the deficient southern yard parking setback with a Zoning Board of Appeals variance or property combination;
- b. The applicant providing pavement markings per MMUTCD standards or receiving an administrative variance for an alternate striping color;
- c. City council wavier for the use of striped end islands in lieu of curbed landscaped islands;
- d. The applicant providing striped end islands around the permanent parking area on the automotive research lot layout plan;
- e. The applicant prohibiting public access to the automotive research lot when the overflow parking is not in use by providing gates across the access drives connecting the subject property to the existing Suburban Collection Showplace or other suitable access prevention measures;
- f. City Council wavier for the lack of a 3 foot berm along the I-96 right-of-way –OR- the applicant providing the required berm;
- g. City Council wavier for the lack of right-of-way greenbelt plantings –OR- the applicant providing the required right-of-way plantings;
- h. City Council wavier for the lack of interior landscape area –OR- the applicant providing the interior landscape area;
- i. City Council waiver for the lack of parking lot canopy trees –OR- the applicant providing the required canopy trees;
- j. City Council waiver for the lack of perimeter parking lot canopy trees –OR- the applicant providing the required canopy trees;
- k. City Council waiver for the lack of building foundation landscaping –OR- the applicant providing the required foundation landscaping
- l. City Council waiver for the lack of building foundation landscape area –OR- the applicant providing the required foundation landscape area;
- m. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan submittal; and
- n. *(additional conditions here if any)*

for the following reasons...*The plan is otherwise in compliance with Article 10A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*

Approval – Stormwater Management Plan

In the matter of Ride and Drive Automotive Research Lot, SP 12-29, motion to **recommend approval** of the Stormwater Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the next plan submittal; and
- b. *(additional conditions here if any)*

for the following reasons...*(because it is otherwise in compliance with Chapters 11 and 12 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Denial - Preliminary Site Plan

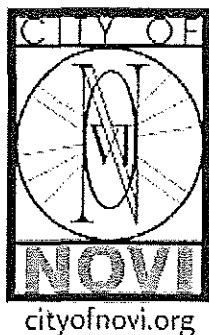
In the matter of Automotive Ride and Drive Research Lot, SP 12-29, motion to **recommend denial** of the Preliminary Site Plan, for the following reasons...(because it is not in compliance with the Ordinance.)

Denial - Stormwater Management Plan

In the matter of Automotive Ride and Drive Research Lot, SP 12-29, motion to **recommend denial** of the Stormwater Management Plan, for the following reasons...(because it is not in compliance with Chapters 11 and 12 of the Ordinance.)

SITE PLAN

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

July 2, 2012

Planning Review

Ride and Drive Automotive Research Lot
At Suburban Collection Showplace
SP# 12-29

Petitioner

Blair Bowman

Review Type

Preliminary Site Plan Review

Property Characteristics

- Site Location: 26925 Taft Road at the southwest corner of Taft Road and I-96 (Section 16)
- Site Zoning: OST, Office Service Technology District with EXO Overlay
- Adjoining Zoning: North (across I-96): RA, Residential Acreage; South and West: OST with EXO Overlay; East (across Taft Road): I-1, Light Industrial
- Site Use(s): Existing vacant building
- Adjoining Uses: North (I-96): ITC Corridor; South and West: Suburban Collection Showplace; East (across Taft Road): Various Light Industrial
- Site Size: 6.63 acres
- Plan Date: 06/08/12

Project Summary

The applicant is proposing to utilize the vacant parcel adjacent to the Suburban Collection Showplace as primarily a Ride and Drive Automotive Research Lot to test vehicle capabilities in a variety of situations. Features on the proposed paved area include a flat paved area with no interior parking lot islands or light poles to allow for the greatest flexibility in "test course design," a straight-away, rumble strips and permanent tent tie-downs. An off-road test path has also been proposed around the proposed stormwater basin. The research lot is intended to be used for vehicle testing 18-24 times per year with increasing usage in time. The existing building will remain on the site and will be used to inspect cars that have been tested in the automotive research lot.

The applicant intends to use the paved area as a parking area for overflow parking from the adjacent Suburban Collection Showplace when the automotive testing is not taking place on the lot. A striping plan has been submitted but the applicant has indicated the automotive research users have requested the area either remain un-striped or that it be striped in a muted color.

Recommendation

Provided the parking lot setback on the south property line can be addressed, approval of the Preliminary Site Plan is recommended. However, the applicant should refer to the landscape review letter and attempt to meet the landscape ordinance requirements where possible.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 10A (EXO Exposition Overlay), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the City Council or the applicant before Preliminary Site Plan Approval is granted. Items that are *italicized* must be addressed on the Final Site Plan submittal.

1. Land Use: The automotive research use is considered consistent with Section 1002A.2.h permitting outside exhibits in the EXO Overlay District. The applicant has indicated that outside testing of automobiles and utilization of the existing building to inspect vehicles will be done in conjunction with conference activities inside the exposition building. The proposed tent anchor areas identified on the site plan will facilitate otherwise permitted outside exhibits. Overflow parking for the exposition center will also take place on the subject property.
2. City Council Approval: Section 1003A.12.c of the Zoning Ordinance requires City Council approval of all plans proposed in the EXO, Exposition Overlay District after review and recommendation by the Planning Commission.
3. Parking Lot Setback: All parking must be setback a minimum of 20 feet from adjacent properties. The subject property has not been combined with the larger Suburban Collection Showplace property and the setback for new pavement at the south property line is 15 feet. **The applicant should (1) adjust the site layout to meet the required setback or (2) combine the subject property with the larger Suburban Collection Showplace property or (3) seek a variance from the Zoning Board of Appeals for the parking setback deficiency.**
4. Parking Lot Striping: All off-street parking areas must be striped. The applicant should refer to the engineering and traffic review letters for additional information on parking lot striping. All off-street parking areas are also required to have landscaped islands. The applicant should refer to the landscape and traffic review letters for additional information on waivers that would be required for painted end islands in lieu of curbed landscaped islands. **The traffic review letter also notes a variance from the Zoning Board of Appeals would be required for the lack of end islands (either painted or landscaped) around the seven space permanent parking area proposed south of the existing building. Alternately, landscaped and curbed or painted end islands could be proposed.**
5. Landscape Requirements: **The applicant should refer to the landscape review letter for a detailed list of the landscape waivers that would be required from the City Council in order for the plan to be approved in its current form.** The applicant should consider addressing some of the landscape deficiencies identified by incorporating more required landscape areas into the plan in lieu of seeking waivers from the Ordinance requirements.
6. Exterior Lighting: The minimum illumination for off-street parking is 0.2 foot candles. *The applicant must submit a photometric plan demonstrating compliance with Section 2511 of the Zoning Ordinance with the Final Site Plan submittal.* The applicant indicated in the pre-application meeting that no additional parking lot lighting will be provided in the new paved area due to the nature of the proposed use. Ordinance deficiencies would require a variance from the Zoning Board or Appeals
7. Covenants and Restrictions: The existing Covenants and Restrictions for the EXO Overlay properties which include provisions for requiring the Taft Road pathway will also apply to the subject property.

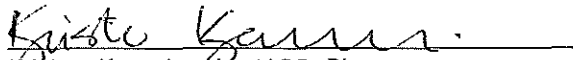
Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is requested **prior to the matter being reviewed by the Planning Commission and City Council.**

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.


Kristen Kapelanski, AICP, Planner
(Attachments: Planning Review Chart)

Planning Review Summary Chart

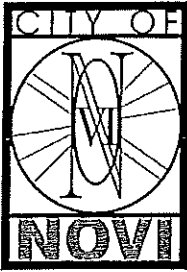
SP12-29 Ride and Drive Automotive Research Lot – Suburban Collection Showplace

Preliminary Site Plan

Date on Plans: 06/08/12

| Item | Required | Proposed | Meets Requirements? | Comments |
|--|---|--|---------------------|--|
| Master Plan | Office Research Development Technology | No change | Yes | |
| Zoning | EXO, Exposition Overlay | No change | Yes | |
| Use | Use permitted per Article 10A of the Zoning Ordinance | Automotive Research Lot | Yes | City Council approval of site plan required per Section 1003A.12.c. |
| Parking Setbacks (Section 2400) | | | | |
| Front (east) | 20' | 300'+ | Yes | |
| Rear (west) | 20' | 20' | Yes | |
| Inferior Side (south) | 20' | 15' | No | A property combination or Zoning Board of Appeals variance is required to eliminate the side yard parking setback deficiency. |
| Exterior Side (north) | 20' | 120' | Yes | |
| Parking Space Dimensions (Sec. 2506) | 9' x 19' parking space dimensions (9' x 17' if overhang on 7' wide interior sidewalk or landscaped area as long as detail indicates 4" curb) and 24 feet wide drives. | At least 9' x 19' At least 24' drives | Yes | |
| Exterior Lighting (Sec. 2511) | Photometric plan and exterior lighting details needed at final site plan. Minimum illumination for parking areas is 0.2 foot candles. | Lighting information not provided | N/A | The photometric plan and lighting details must be provided with the Final Site Plan submittal. Deficiencies would require a variance from the Zoning Board of Appeals. |

ENGINEERING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

July 2, 2012

Engineering Review

Ride and Drive Automotive Research Lot
SP12-29

Petitioner

Blair Bowman, property owner

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: N. of Grand River, W. of Taft Rd
- Site Size: 6.63 acres
- Plan Date: June 26, 2012

Project Summary

- Construction of an approximately 3 acre parking lot expansion and utility modifications. Proposed site amenities include an off-road test path, designated tent anchor areas, a noise and vibration testing area, and muted pavement markings for parking lot striping.
- Water service would be provided by an existing commercial well.
- Sanitary sewer service would be provided by a 6-inch lead from the existing 8-inch sanitary sewer to the south of parcel 50-22-16-251-022
- Storm water would be collected by a single storm sewer collection system and discharged to a detention basin constructed to the east of the proposed parking lot expansion.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

Storm Sewer

3. Include labels for all storm sewer structures designating their manhole or design point number.
4. Provide a profile for all proposed storm sewer amenities.

Storm Water Management Plan

5. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
6. Provide calculations demonstrating that the five (5) proposed catch basins are capable handling the storm water from the proposed parking lot and do not exceed the flow rate of 0.11 cfs per square inches of catch basin opening. The current catch basin setup appears to be undersized for the parking lot acreage.

Paving & Grading

7. All pavement markings must be installed in accordance with MMUTCD standards. If applicant wishes to utilize a color other than what is accepted by the MMUTCD, an administrative variance must be applied for.
8. A variance for the use of striped end isles in lieu of raised traffic islands will be required.
9. Consider utilizing additional soil erosion and sedimentation control countermeasures adjacent to the proposed off-road test path to prevent possible unwanted material transfer into the detention basin or adjacent wetland.
10. Note the striping conflict on the Preliminary Site plan versus Preliminary Engineering Site plan adjacent to the existing structure. Revise to show how parking for the existing structure will be handled.

Off-Site Easements

11. Provide a private utility easement for the sanitary sewer lead between the existing sanitary sewer easement and the parcel boundary for parcel 50-22-16-251-022

The following must be submitted at the time of Final Site Plan submittal:

12. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
13. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

14. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
15. A draft copy of the private ingress/egress easement for shared use of the drive entries from the Suburban Collection Showplace must be submitted to the Community Development Department.
16. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

17. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
18. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
19. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.

20. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
21. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
22. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
23. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
24. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Adam Wayne at (248) 735-5648 with any questions.

A handwritten signature in black ink, appearing to read "Adam Wayne", is written over a horizontal line.

cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.

TRAFFIC REVIEW

June 29, 2012

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



**SUBJECT: Ride and Drive Automotive Research Lot (6.6318 Acres), SP#12-28,
Traffic Review of Preliminary Site Plan**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the preliminary site plan, subject to the granting of the needed variance and waiver, as well as the **bolded** items below being satisfactorily addressed by the final site plan.

Project Description

What is the Applicant proposing?

1. The applicant, Blair Bowman, proposes to improve a 6.63-acre parcel – east of the Suburban Collection Showplace and recently approved site for Hyatt Place Hotel – for dual usage as both a vehicle demonstration/testing area and an overflow parking lot.

Trip Generation & Traffic Study

How much new traffic would be generated? Is a traffic study required?

2. We have no basis for forecasting how much new traffic the new use might generate. The Planning Commission may wish to ask the applicant about this.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

3. No new public-road access drives are proposed. It is our understanding that vehicular access to the subject site will generally occur via the existing parking lot connection in the southwest corner or one of the two proposed new parking lot connections further north.

Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

4. Not applicable.

Driveway Design and Control

Are the driveways acceptably designed and signed?

5. No. With the proposed relocation of the existing gate from the southwest to the southeast corner of the site, **traffic will now be able to flow freely at the southwest corner to and from the existing east parking lot; hence, this parking lot connection is required by Section 2506.13 of the Zoning Ordinance to have an end island on its north side (within the proposed overflow parking area, requiring the loss of one space).**
6. More generally, we recommend that the City carefully consider the possible public-safety implications of permitting what appears to be unimpeded access between the east lot and proposed automotive “research” facility. The applicant should comment on this issue; for example, would the three proposed ungated access points be blocked by traffic cones while any of the automotive “research” activities are underway?

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

7. We assume that there will be minimal pedestrian traffic in and out of the subject site, and that any walkers could safely use the parking lot aisles and proposed access drives.

Parking and Circulation

Are parking spaces appropriately located and designed? Can vehicles safely and conveniently maneuver through the site?

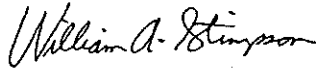
8. The proposed parking spaces and parking lot aisles appear to meet City dimensional standards. To proceed with the overall layout, however, **the following additional exceptions will be required:**
 - a. **A Planning Commission waiver of the requirement in Zoning Ordinance Section 2506.13 for raised and landscaped parking lot end islands.** The stated criteria for such a waiver are that the “internal traffic circulation is forecast to be low or where the raised islands would not be appropriate.” The applicant should provide information relative to these criteria.
 - b. **A ZBA variance with respect to the applicability of Section 2506.13 to the seven-space permanent parking area proposed south of the existing one-story building. A variance is required because no end islands of any type are proposed at this location.**
9. The applicant proposes to stripe the overflow parking spaces in “muted tones”; most likely, in dark green paint. For the record, this is contrary to the long-established City policy (stated in the *Site Plan and Development Manual*) that pavement markings comply with the *Michigan Manual on Uniform Traffic Control Devices*, which requires that white be used to mark regular parking spaces. **At a minimum, the final site plan must clearly label the color of all new pavement markings. Also, the seven permanent parking spaces noted above need to be reconciled with the “muted” spaces shown on sheet C-1 for the same area.**

10. Our pre-application concern regarding the tripping hazard posed by the proposed rumble strips in the "noise and vibration testing area" has been partially addressed by narrowing that area to 16 ft (from the 30 ft proposed earlier) and shifting the area over to abut the proposed north curb. The preliminary site plan implies that this area would be cross-hatched, but does not confirm such. **The final site plan should provide a specification for any cross-hatching proposed (e.g., 4-inch yellow crosshatch at an indicated spacing of not less than 4 ft). Also, at a minimum, several No Parking Any Time (R7-1) signs should be posted (2 ft behind the curb) to deter people from parking in this area.**
11. Similarly, the 12-ft x 30-ft loading area shown by the northeast corner of the existing building should be marked with 4-inch yellow crosshatching, 4-ft on-center, and be designated by a **NO PARKING - LOADING ZONE (R7-6)** sign hung on the building façade at a height of at least 5 ft.
12. The standard detail on sheet C-4 for handicap parking signs should be updated to reflect the sign code now used for the **VAN ACCESSIBLE** plate in the 2011 **MMUTCD (R7-8P rather than R7-8A).**

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.

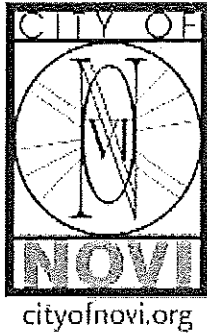


Rodney L. Arroyo, AICP
Vice President



William A. Stimpson, P.E.
Director of Traffic Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

July 2, 2012

Preliminary Site Plan

Ride & Drive Automotive Research

Review Type

Preliminary Landscape Review

Property Characteristics

- Site Location: Hudson Drive
- Site Zoning: I-1 Light Industrial
- Plan Date: 6/8/12

Recommendation

Approval of the Preliminary Site Plan for SP#12-28 Ride and Drive Automotive Research Lot cannot be recommended at this time. The Applicant is seeking multiple waivers for required landscape and no landscape plan quantifying the requested waivers has been submitted. The applicant should submit a plan showing specific landscape waiver requests and quantifying each request (if applicable) prior to consideration by the Planning Commission.

Ordinance Considerations

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall landscaped berm is required along the I-96 right-of-way. If no landscape berm is proposed, the Applicant will need a waiver from the City Council. Staff cannot support the waiver.
2. Right-of-way greenbelt planting calculations must be provided and requirements met. Existing healthy trees to be preserved may count toward the requirements. If no right-of-way plantings are proposed, the Applicant will need a waiver from the City Council. Staff cannot support the waiver.

Street Tree Requirements (Sec. 2509.3.b.)

1. Street trees are not required.

Parking Landscape (Sec. 2509.3.c.)

1. Please provide the required calculations for interior landscape area and call out those areas qualifying on the site plan. If no interior landscape area is proposed, the Applicant will need a waiver from the City Council. Staff cannot support the waiver.
2. Please provide calculations for required Parking Lot Canopy Trees and show the trees on the plan. If no interior parking lot trees are proposed, the Applicant will need a waiver from the City Council. Staff cannot support the waiver.
3. Snow storage areas must be shown on the plan.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. If no perimeter canopy trees are proposed, the Applicant will need a waiver from the City Council. Staff cannot support the waiver.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required around the entire building foundation. Please provide this bed and plantings. If no foundation landscape is proposed, the Applicant will need a waiver from the City Council. Staff cannot support the waiver.
2. A minimum landscape area of 8' x the building foundation length is required as foundation landscape area. Please provide this calculation and landscape area. If adequate foundation landscape area is not proposed, the Applicant will need a waiver from the City Council. Staff cannot support the waiver.

Plant List (LDM)

1. No Plant List has been provided. Please provide a plant list for any proposed plantings.

Planting Notations and Details (LDM)

1. No planting details have been provided. Please provide details per City standards.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan and Cost Estimate must be provided.

General

1. All landscape areas are required to have an automatic irrigation system.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA

WETLAND REVIEW



Environmental Consulting & Technology, Inc.

June 29, 2012

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Ride and Drive Automotive Research Lot (SP#12-29)
Wetland Review of the Preliminary Site Plan

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Ride and Drive Automotive Research Lot preliminary Site Plan (Plan) prepared and submitted by Environmental engineers, Inc. dated June 26, 2012. ECT visited the site on June 28, 2012 in order to verify wetland boundaries.

The proposed project is located between Grand River and I-96, just northwest of Taft Road (Section 16). Proposed work includes the construction of automotive testing areas (including noise and vibration testing area) as well as test track areas and a proposed stormwater detention basin with an ultimate outlet proposed to the north side of the property.

Site Comments

Based on our review of Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps, and our site visit on June 28, 2012, it does not appear that this site contains regulated woodlands.

The site does, however, contain regulated wetland (existing "Wetland 6" according to the Plan) and associated 25-foot wetland buffer located in the northeast section of the property. This existing wetland area appears to have a surface water connection to the Walled Lake Branch of the Middle Rouge River.

Proposed Impacts

The current Plan does not involve wetland impacts. All proposed construction activities are outside of the regulated 25-foot wetland buffer. In addition, it appears as if the existing regulated wetland area and the associated 25-foot wetland buffer are to be preserved in a proposed wetland conservation easement.

The proposed stormwater detention basin that is located somewhat near the center of the site will ultimately outlet to an upland area, outside of the existing wetland and associated 25-foot wetland buffer.

Permits

The wetlands on the site appear to be regulated by the City of Novi and the MDEQ by virtue of an apparent surface water connection to the Walled Lake Branch of the Middle Rouge River. The wetlands appear to overflow to the drain that runs along the south side of the I-96 corridor,

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769-3164

which ultimately discharges to the Walled Lake Branch of the Middle Rouge River. In addition, the on-site wetland is within 500-feet of an open-water pond over 1-acre in size located north of the proposed project site, north of I-96.

However, as previously noted, the Plan does not propose impacts to wetland or wetland buffer and the stormwater outfall from the proposed detention basin will ultimately outlet to an up-land area.

As proposed, the project will not require a wetland permit from MDEQ or from the City of Novi.

Comments

1. Due to the nature of the proposed site use, and the close proximity of the detention basin outfall to the existing wetland and drain located north of the site, ECT recommends that the Applicant incorporate a stormwater treatment structure (i.e., oil/water separator/Stormceptor Unit) into the proposed utility plan in order to help ensure that oils/greases from the site are contained on-site and not discharged to regulated water features (i.e., wetland/drain).
2. If any impacts to the wetland buffer are proposed, the project would require a *City of Novi Authorization to Encroach the 25-Foot Wetland Setback*.
3. Please indicate the location of all proposed silt fence on the Plan and the limits of proposed disturbance. It is not clear from the Plan if both tree protection and silt fence are proposed around Wetland 6.
4. A wetland buffer restoration Plan and cost estimate shall be included in the instance that temporary wetland setback impacts are proposed. The restoration Plan shall specify the proposed native seed mix and/or plant/shrub types that will be used in these restoration areas.

Recommendation

ECT recommends conditional approval of the Preliminary Site Plan with the condition that the above comments are satisfactorily addressed.

If you have any questions regarding the contents of this letter, please contact us.

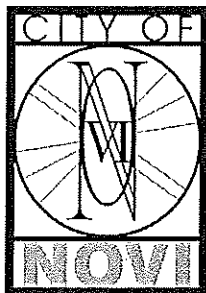
Respectfully,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Peter Hill, P.E.
Senior Associate Engineer

FIRE REVIEW



June 29, 2012

TO: Barbara McBeth, Deputy Director of Community Development
Joseph Shelton, Fire Marshal

RE: Ride & Drive Automotive Research Lot, parcel # 50-22-16-251-022

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
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Chief of Police
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Deputy Chief of Police
Thomas C. Lindberg

Assistant Chief of Police
Victor C.M. Lauria

Project Description:

Proposed addition of a new Automotive Research Lot and test track, on site (listed above). No new building(s) are proposed, only adding an outdoor auto test track and tents to lot areas.

Comments:

1. Access drive from Taft Rd to parking lot of the Suburban Collection Showplace must be maintained and free from any roadway obstructions. This is primary emergency access to existing building (2519 sq ft) on this parcel and is secondary access to the Showplace building and parking lot.

Recommendation:

The above final site plan has been reviewed and is recommended for **APPROVAL**, pending the listed item above (#1) is maintained during construction and or use for this property.

Sincerely,

Andrew Copeland – Inspector/CFPE
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER(S)

MEMORANDUM

To: Kristen Kapelanski, Planner

From: Blair Bowman, Owner

Date: July 5th, 2012

Re: Response to July 2, 2012 Ride and Drive Lot SP # 12-29

RECEIVED

JUL 05 2012

CITY OF NOWI
COMMUNITY DEVELOPMENT

First and foremost I would like to thank the City administration, staff and consultants for their swift review and response to our submitted plans. We intend to respond by way of this communication and when appearing at the required commission and council meeting during the plan review and approval process.

As from the onset of our plan request we are not proposing to provide any additional landscaping and therefore, in response to the request for a landscape plan or any calculations relating thereto, none are being provided. We respectfully indicate that while we understand the administration's and consultant's position, we are seeking city council waivers from those requirements. We feel strongly that when considered in the totality, these waivers are justified considering the existing landscaping, buffering and natural areas surrounding the proposed project site.

In specific response to your specific items, please see below:

Item # 3 Parking lot setback

- This item can be resolved either by a confirmation that the setback in fact already exists, in its existing condition or if necessary, a combination of the site with the larger showplace parcel can be completed.

Item #4 Parking Lot Striping

- As repeated indicated in our initial submittal, we will stripe the lot including painted end islands in an acceptable pattern and layout to the City. We are hereby formally requesting a City administration waiver to allow for all striping to be completed in a dark green or other acceptable muted color, versus the City's standard colors. If there are any further forms or applications necessary, please indicate so.

Item #5 please refer to opening paragraph

Item #6 Exterior Lighting

- It is our intention to submit with final site plan, a photometric site plan meeting City minimum standards.

Item #7 Covenants and Restrictions

- We will execute a similar C and Rest. Agreement to that of the overall showplace site along with final site plan.

Our engineer has reviewed all comments and sees no significant issues and will address all items in the final site plan submittal. Again, please accept our sincere thanks for your attention to these matters.

MAPS

Location/Air Photo

Zoning

Future Land Use

Natural Features


Ride and Drive Automotive Research Lot SP12-29

Location



Map Author: Kristen Kapelanski
Date: 07/03/12
Project: Ride and Drive SP12-29
Version #: 1.0

Map Legend

 Subject Property



City of Novi

Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1910 as amended. Please contact the City GIS Manager for further source and accuracy information related to this map.

Feet
0 50 100 200 300 400

1 inch = 250 feet

Ride and Drive Automotive Research Lot SP12-29

Zoning



Map Author: Kristen Kapelanski
 Date: 07/03/12
 Project: Ride and Drive SP12-29
 Version #: 1.0

Map Legend

-  Subject Property
-  R-A: Residential Acreage
-  EXO: OST District with EXO Overlay
-  I-1: Light Industrial District
-  OST: Office Service Technology



City of Novi

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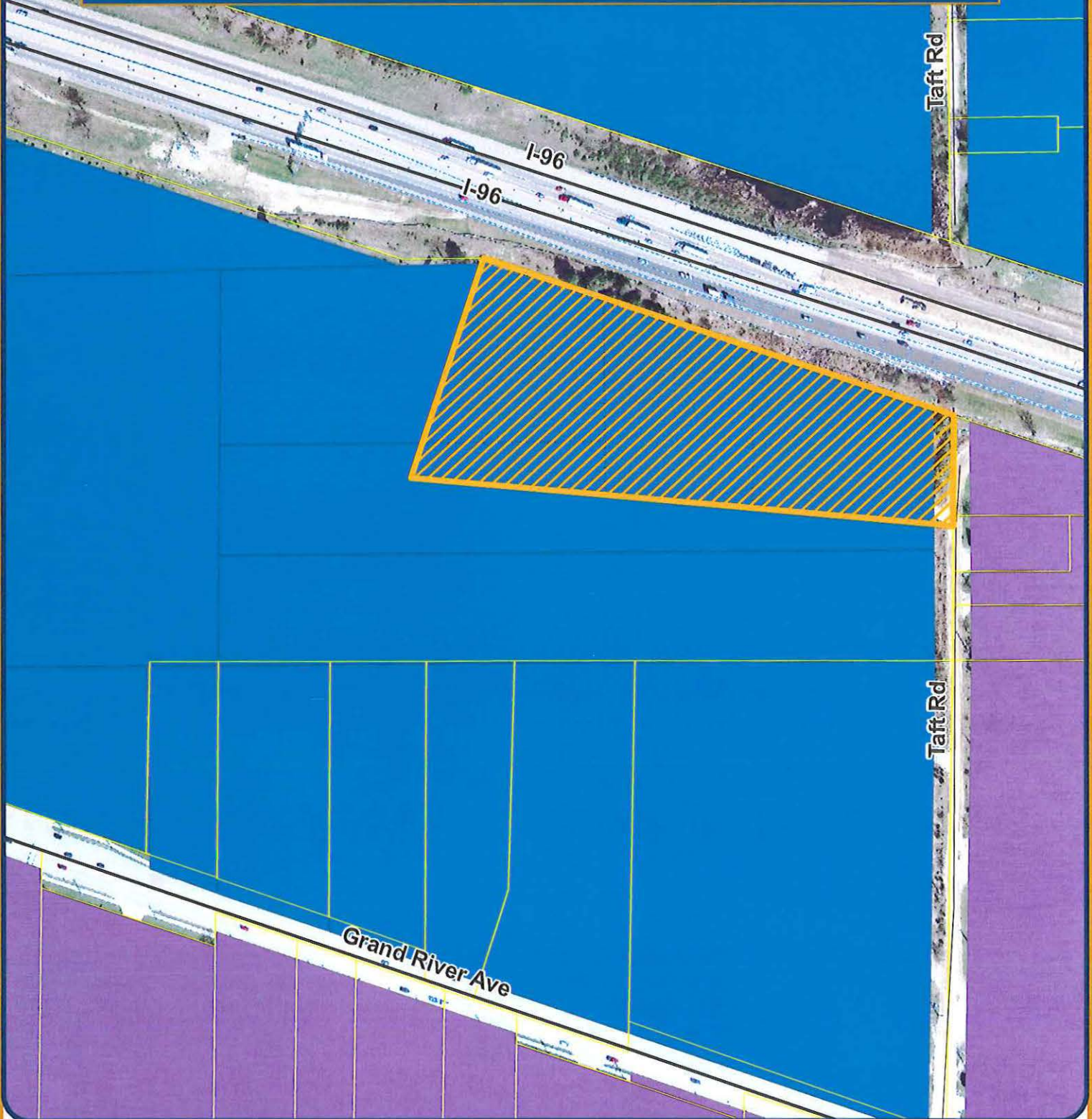
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1 inch = 250 feet

Ride and Drive Automotive Research Lot SP12-29

Future Land Use



Map Author: Kristen Kapelanski
 Date: 07/03/12
 Project: Ride and Drive SP12-29
 Version #: 1.0

Map Legend

-  Subject Property
-  Office RD Tech
-  Industrial RD Tech



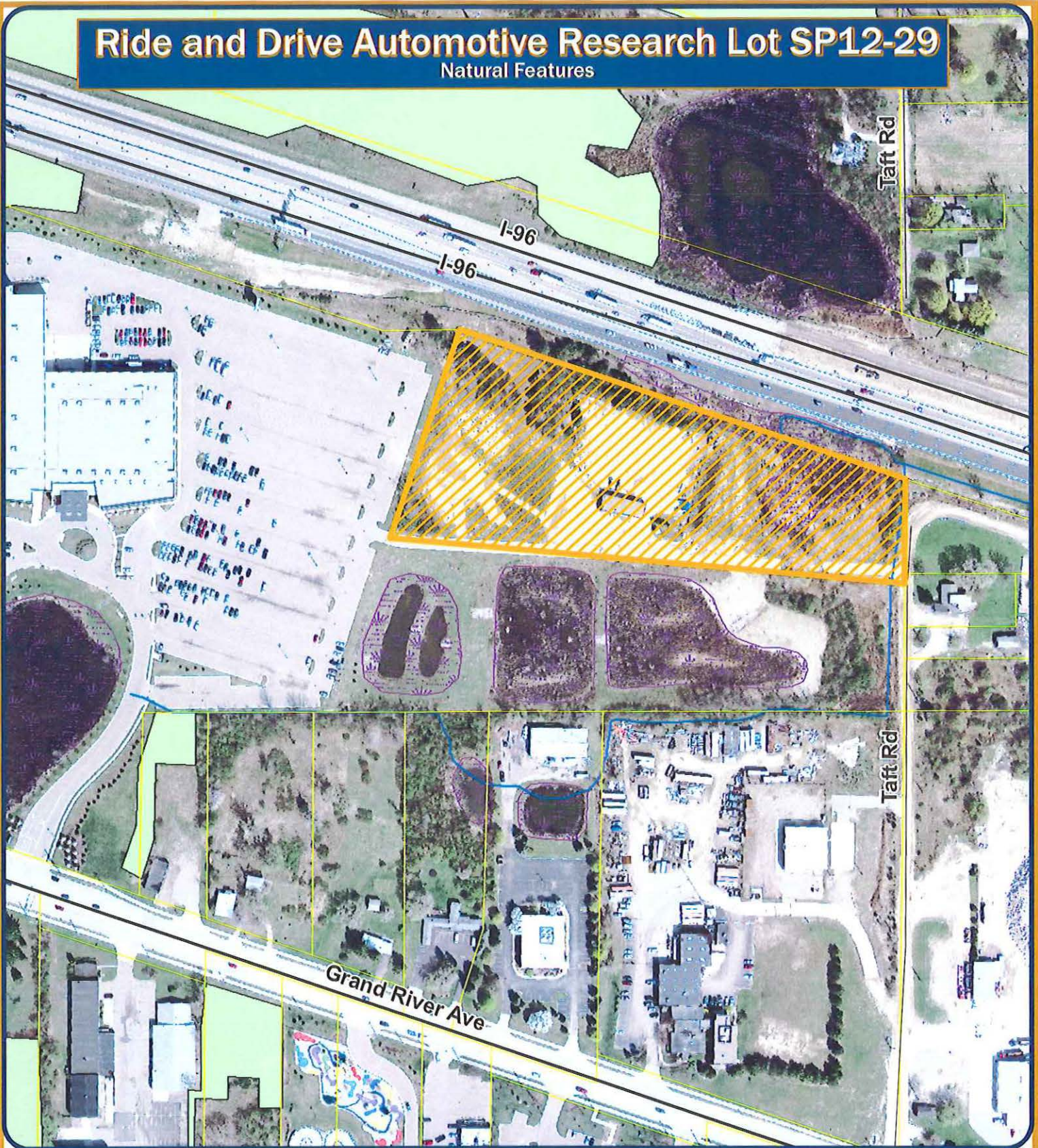
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Ride and Drive Automotive Research Lot SP12-29

Natural Features



Map Author: Kristen Kapelanski
 Date: 07/03/12
 Project: Ride and Drive SP12-29
 Version #: 1.0

Map Legend

-  Subject Property
-  Wetlands
-  Woodlands



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