



## Beck North Lot 41 SP 12-01

### **BECK NORTH LOT 41 SP12-01**

Public hearing of the request of NADLAN LLC for Preliminary Site Plan, Woodland Permit and Stormwater Management Plan approval. The subject property is located the west side of Hudson Drive across from Nadlan Court, in Section 4 of the City. The property totals 4.38 acres and the applicant is proposing a 70,756 square foot building with associated parking and landscaping.

### **REQUIRED ACTION**

Approval or denial of Preliminary Site Plan, Woodland Permit and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	01/27/12	Items to be addressed on the Stamping Set submittal.
Engineering	Approval recommended	02/02/12	Items to be addressed on the Stamping Set submittal.
Traffic	Approval recommended	01/17/12	Items to be addressed on the Stamping Set submittal.
Landscaping	Approval recommended	02/10/12	Items to be addressed on the Stamping Set submittal.
Woodlands	Approval recommended	02/10/12	Items to be addressed on the Stamping Set submittal.
Facade	Approval recommended	02/01/12	<ul style="list-style-type: none"> <li>• <b>Section 9 waiver required and recommended for the overage of CMU on the north and west facades.</b></li> <li>• Letter requests and applicant has since indicated which sample board will apply to the project.</li> </ul>
Fire	Approval recommended	01/27/12	Items to be addressed as part of building permit review.

## Motion sheet

### Approval – Preliminary Site Plan

In the matter of the request of NADLAN LLC for Beck North Lot 41 SP12-01, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Section 9 waiver for the overages of CMU on the north and west facades; and
- b. Compliance with all the conditions and requirements listed in the staff and consultant review letters;
- c. *(additional conditions here if any)*

*(because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)*

### Approval – Woodland Permit

In the matter of the request of NADLAN LLC for Beck North Lot 41, SP 12-01, motion to **approve** the Woodland Permit, subject to:

- a. Compliance with all the conditions and requirements listed in the staff and consultant review letters;
- b. *(additional conditions here if any)*

for the following reasons...*(because it is in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance).*

### Approval – Storm Water Management Plan

In the matter of the request of NADLAN LLC for Beck North Lot 41, SP 12-01, motion to **approve** the Storm Water Management Plan, subject to:

- a. Compliance with all the conditions and requirements listed in the staff and consultant review letters;
- b. *(additional conditions here if any)*

*(because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Denial – Preliminary Site Plan

In the matter of the request of NADLAN LLC for Beck North Lot 41 SP 12-01, motion to **deny** the Preliminary Site Plan...because the plan is not in compliance with Article 19, Article 24 and/or Article 25 of the Zoning Ordinance.

Denial – Woodland Permit

In the matter of the request of NADLAN LLC for Beck North Lot 41 SP 12-01, motion to **deny** the Woodland Permit...because the plan is not in compliance with Chapter 37 of the Code of Ordinances.

Denial – Storm Water Management Plan

In the matter of the request of NADLAN LLC for Beck North Lot 41 SP 12-01, motion to **deny** the Storm Water Management Plan ...because the plan is not in compliance with Chapter 11 of the Code of Ordinances.

## PLANNING REVIEW



## PLAN REVIEW CENTER REPORT

January 27, 2012

### Planning Review

Beck North Lot 41

SP 12-01

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#### Petitioner

NADLAN LLC

#### Review Type

Preliminary/ Final Site Plan

#### Property Characteristics

- Site Location: West side of Hudson Drive, across from Nadlan Court (Section 4)
- Site School District: Walled Lake Consolidate Schools
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North, East, West, and South: I-1, Light Industrial
- Site Use(s): Vacant
- Adjoining Uses: North, East and South: Vacant; West: Office/warehouse use
- Site Size: 4.38 acres
- Building Size: 70,756 square feet
- Plan Date: Site Plan 01/03/12

#### Project Summary

The applicant is proposing to construct a 70,756 square foot speculative industrial building in the Beck North Corporate Park. The proposed building will be approximately 28% office use, with the remainder being warehouse use.

#### Recommendation

Approval of the *Preliminary/Final Site Plan is recommended*. The plan conforms to the requirements of the Zoning Ordinance for the I-1 district as indicated in this review letter and attached chart. There are only minor Planning related items that need to be addressed at the time of Stamping Set submittal. Planning Commission approval of the Preliminary Site Plan is required prior to Stamping Set submittal.

#### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1, Light Industrial District), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Applicable sections of the Zoning Ordinance and other regulatory documents are highlighted in gray on the attached chart. Items in **bold** below must be addressed by the applicant before Site Plan Approval may be granted.

1. Photometric Plan; Section 2511 of the Zoning Ordinance lists the required notes that must be included on the photometric plan and also notes that the hours of operation of all lights must be included on the photometric plan. The required notes are also listed in the attached lighting review chart. **The applicant should include the required notes and hours of operation of all fixtures on the photometric plan of the Stamping Set submittal.**

2. **Master Deed Amendment:** It appears a lot combination is required in order to assemble the proposed lot for development purposes. This will require a change to the exhibit B of the existing Master Deed for the property. **Plans cannot be stamped approved until the master deed changes are submitted for review by City staff and the City attorney's office.**

### **Stamping Set Approval**

Stamping sets are still required for this project. After having received all of the review letters from City staff and approval from the Planning Commission the applicant should make the appropriate changes on the plans and submit **8 size 24" x 36" copies with original signature and original seals** to the Community Development Department for final Stamping Set approval.

### **Response Letter**

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **with the Stamping Set submittal.**

### **Site Addressing**

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at [www.cityofnovi.org](http://www.cityofnovi.org) under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

### **Pre-Construction Meeting**

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the Pre-Con, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or [kkapelanski@cityofnovi.org](mailto:kkapelanski@cityofnovi.org).



Kristen Kapelanski, AICP, Planner  
Attachments: Planning Review Chart  
Lighting Review Chart

**PLANNING REVIEW SUMMARY CHART**

**Project Name: Beck North Lot 41 SP12-01**

**Plan Date: 01-03-12**

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Industrial Research Development Technology	No Change Proposed	Yes	
Zoning	I-1 Light Industrial District	No Change Proposed	Yes	
Use (Article 19)	Office, research & development, technology centers, warehousing, manufacturing, laboratories, utility buildings, indoor/outdoor recreation, other similar uses, and accessory structures	Speculative 70,756 sq. ft. light industrial building (28% GFA office, 72% GFA warehouse)	Yes	
Building Height (Sec. 2400 & Sec. 2503.2.E)	40 feet maximum	28 feet to top of masonry, approx. 32 feet to top of RTU screen	Yes	
<b>Building Setback (Sec. 2400)</b>				
Front (east)	40 ft.	40 ft.	Yes	
Interior Side (north)	20 ft.	43 ft.	Yes	
Interior Side (south)	20 ft.	140 ft.	Yes	
Rear (west)	20 ft.	85 ft.	Yes	
<b>Parking Setback (Sec. 2400)</b>				
Front (east)	Front yard parking permitted subject to special conditions	No front yard parking proposed	Yes	
Interior Side (north)	10 ft.	10 ft (north driveway)	Yes	
Interior Side (south)	10 ft.	10 ft.	Yes	
Rear (west)	10 ft.	16 ft.	Yes	
Number of Parking Spaces (Sec. 2505)	Office = 19,646 sq. ft., one space per 222 of GLA = 88 spaces	161 spaces including 6 barrier free	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	<p>Warehouse = 51,110 sq. ft. one space per 700 sq. ft. usable floor area = 73 spaces</p> <p>88 spaces + 73 spaces = <b>161 spaces required incl. 6 barrier free</b></p>			
Parking Space Dimensions and Maneuvering Lanes (Sec. 2506)	9' x 19' parking space dimensions and 24' wide drives. 9' x 17' parking spaces allowed along 7' wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.	<p>9' x 19' interior spaces provided</p> <p>9' X 17' spaces provided around perimeter</p> <p>24' access aisles provided</p> <p>7' sidewalk provided where adjacent to 17' parking spaces</p>	Yes	
Barrier Free Spaces (Barrier Free Code)	6 barrier free spaces required (1 van accessible)	6 barrier free spaces (2 van accessible) provided	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle for standard barrier free spaces, and 8' wide with an 8' wide access aisle for van accessible spaces	8' wide with a 5' wide access aisles for standard barrier free spaces, and 8' wide with a shared 8' wide access aisle for van accessible spaces	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	One barrier free sign provided for each space	Yes	
Loading Spaces (Sec. 2507)	Must be in rear yard and screened from right-of-way and neighboring properties - minimum 360 sq. ft.	4 below-grade truckwells provided in rear yard; approx. 3,500 sq. ft.	Yes	
Accessory	Accessory structures	Dumpsters in the	Yes	



Item	Required	Proposed	Meets Requirements?	Comments
Structure Setback-Dumpster (Sec. 2503)	should be setback a minimum of 10 feet from any building unless structurally attached and setback the same as parking from all property lines; the structure must be in the rear or interior side yard.	north interior side yard and setback appropriately		
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet required, interior bumpers or posts required. Enclosure to match building materials and be at least one foot taller than height of refuse bin.	Screening per ordinance requirements provided	Yes	
Exterior lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at time of Final Site Plan	Lighting plan submitted	No	See lighting review summary chart for additional information
Sidewalks (City Code Sec. 11-276(b) and Subdivision Ordinance Sec. 4.05A)	A 5'-8' wide sidewalk shall be constructed along all major thoroughfares and collectors per DCS, but not along industrial service streets per Subdivision Ordinance  Building exits must be connected to sidewalk system or parking lot.	No sidewalk provided  Building entrances connected to parking lot and BF ramps	Yes	
Development/ Business Sign	Signage if proposed requires a permit.	No freestanding or wall signs shown on the plan (spec building)		Please contact Jeannie Niland (248.347.0438) for information on sign permits

Prepared by Kristen Kapelanski, AICP (248)347-0586

## Lighting Review Summary Chart

Beck North Lot 41

SP 12-01

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data Fixture height Mounting & design Glare control devices Type and color rendition of lamps Hours of operation Photometric plan	No	Applicant should provide hours of operation for all light fixtures.
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- No flashing light shall be permitted</li> <li>- Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.</li> </ul>	No	Applicant should add the required notes to the photometric plan.

Item	Required	Meets Requirements?	Comments
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> <li>- Parking areas- 0.2 min</li> <li>- Loading and unloading areas- 0.4 min</li> <li>- Walkways- 0.2 min</li> <li>- Building entrances, frequent use- 1.0 min</li> <li>- Building entrances, infrequent use- 0.2 min</li> </ul>	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

**ENGINEERING REVIEW**



## PLAN REVIEW CENTER REPORT

February 2, 2012

### Engineering Review

BECK NORTH, LOT 41

SP12-01

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#### Petitioner

Nadlan LLC, property owner

#### Review Type

Preliminary-Final Site Plan

#### Property Characteristics

- Site Location: 30115 Hudson, South of Cartier Drive & West of Hudson Drive
- Site Size: 4.38 acres
- Plan Date: 2/2/2012

#### Project Summary

- Construction of an approximately 70,756 square-foot office building and associated parking. Site access would be provided by Hudson Drive.
- Water service would be provided by an 8-inch extension from the existing stub that is connected to the 12-inch water main along the east side of Hudson Drive. A 2-inch domestic lead and an 8-inch fire lead would be provided to serve the building, along with three additional hydrants.
- Sanitary sewer service would be provided by a sanitary lead from the 18-inch sanitary main along the west side of Hudson Drive.
- Storm water from the northern portion of the site would pass through two proposed oil/gas separators and be directed off site through the existing Beck North Phase II 36" storm sewer, pass through an existing sedimentation treatment structure, and then enter the existing dissipation basin.
- Storm water from the southern portion of the site would pass through a proposed oil/gas separator and be directed off site through an existing Beck North Phase II 18" storm sewer, pass through an existing sedimentation basin, and then enter the existing dissipation basin.

#### Recommendation

Approval of the Preliminary-Final Site Plan is recommended, with items to be addressed at Stamping Set submittal.

**Comments:**

The Preliminary-Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Stamping Set submittal:

General

1. Provide the City's standard detail sheets, provided in the Preliminary-Final Site Plan Submittal, for water main, sanitary sewer, storm sewer, and paving at the time of the Stamping Set Submittal.
2. Provide sight distance measurements for the north entrance in accordance with Figure VIII-E of the Design and Construction Standards.

Storm Water Management Plan

3. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
4. Provide supporting calculations for the runoff coefficient determination.

Water Main

5. Relocate the hydrant located at the southwestern part of the site to be a minimum of 7 feet off back of curb.
6. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

7. Re-label the proposed public sanitary sewer easement as a 20-foot wide access easement to the monitoring manhole from the right-of-way.

Paving & Grading

8. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Department. Stamped concrete will not be acceptable.
9. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection.
10. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
11. Since 17-foot stalls are proposed, provide 4" curb along sidewalk where there is no barrier free parking at the southeast corner of the building.

12. Sheet 3 of 18 shall be sealed by the design engineer responsible for the retaining wall proposed.
13. Soil borings along the proposed retaining wall will be required at 500 foot intervals per Section 11-195(d) of the Design and Construction Standards.

Off-Site Easements

14. Any off-site utility easements anticipated and the water main easement must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted prior to the time of the Stamping Set submittal for review, and shall be approved by the City prior to final signatures.
15. A temporary easement from the neighboring property owner for the work associated with the off-site proposed stockpile on Unit 5 shall be forwarded to the Engineering Department **prior to site plan approval**.

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal. Partial submittals will not be accepted).

16. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
17. A draft copy of the 20-foot wide easement for the on-site water main to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
18. **Any off-site utility easements anticipated and the water main easement must be executed by both parties and submitted to the Community Development Department.**
19. **Any grading easements anticipated, the north drive grading easement, and the grading along the south side property line of the site must be executed by both parties and submitted to the Community Development Department.**
20. A draft copy of the 20-foot wide access easement for the sanitary sewer lead monitoring manhole to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
21. Executed copies of any cross access easements by both parties must be submitted to the Community Development Department.

The following must be addressed prior to construction:

22. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).

23. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). A grading permit fee in the amount of \$431.25 must be paid to the City Treasurer's Office.
24. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
25. Construction inspection fees in the amount of \$20,169.68 must be paid to the City Treasurer's Office.
26. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Department at 248-735-5642 to determine the amount of these fees.
27. A street sign financial guarantee in the amount of \$6,000 (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office. Signs must be installed in accordance with MMUTCD standards.
28. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
29. A permit for work within the right-of-way must be obtained from the City of Novi. The application is available from the City Engineering Department or on the City website and may be filed once the Final Site Plan has been submitted. Please contact the Engineering Department at 248-347-0454 for further information. Only submit the cover sheet, standard details and plan sheets applicable to the permit.
30. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved. Only submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit.
31. An NPDES permit must be obtained from the MDEQ because the earth disturbance is over 5 acres in size. The MDEQ may require an approved SESC plan to be submitted with the Notice of Coverage.
32. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resource Commissioner.
33. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).




**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:**

34. The amount of the incomplete site work performance guarantee for this development at this time is \$394,966.50 (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
35. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and City Engineer.
36. A Bill of Sale for the utilities conveying the improvements to the City of Novi must be submitted to the Community Development Department. This document is available on our website.
37. Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
38. Submit to the Engineering Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
39. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Department for an informal review and approval.

Please contact Erica Morgan at (248) 347-0508 with any questions.

  
Erica Morgan

cc: Ben Croy, Engineering  
Brian Coburn, Engineering  
Kristen Kapelanski, Community Development Department  
Tina Glenn, Water & Sewer Dept.  
Sheila Weber, Treasurer's  
T. Meadows, T. Reynolds; Spalding DeDecker

**TRAFFIC REVIEW**

January 17, 2012

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375



**SUBJECT: Beck North Lot 41 (4.38 acres), SP#12-01, Traffic Review of Preliminary and Final Site Plan**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

**Recommendation**

We recommend approval of both the preliminary and final site plan, subject to (a) the required Planning Commission waiver of the City's minimum same-side driveway spacing (per comment 3), and (b) the items shown below in **bold** being satisfactorily addressed in the stamping set.

**Project Description**

What is the applicant proposing?

1. The applicant, Amson Dembs Development, proposes to construct a 70,756-s.f. building on lot (or unit) 41 of Beck North Corporate Park. According to sheet SP.101, the proposed building use is speculative but assumed to consist of a combination of business office (27.8%) and warehouse (72.2%). A four-bay truck well is proposed at the building's northwest corner, along with a main pedestrian entrance at the southeast corner and four secondary pedestrian entrances distributed around the building's south, west, and north sides. Site access is proposed via two direct-access driveways on Hudson and two rear cross-access connections (to neighboring sites both south and north).

**Trip Generation**

How much traffic would the proposed development generate?

2. A 70,756-s.f. light industrial building can be expected to generate about 427 one-way vehicle trips per day, 65 in the AM peak hour (88% entering) and 69 in the PM peak hour (88% exiting).

**Vehicular Access Locations**

Do the proposed driveway locations meet City spacing standards?

3. No. The north drive would be 95 ft south of an existing drive on the same side of the street, slightly less than 105 ft minimum required for a 25-mph roadway. **A Planning**

**Commission waiver of the City's Design and Construction Standards (Sec 11-216(d)(1)d)) is required.**

### **Vehicular Access Improvements**

Will there be any improvements to the abutting road at the proposed driveways?

4. No.

### **Driveway Design and Control**

Are the driveways acceptably designed and signed?

5. Yes. The driveways have been designed to the City's minimum industrial width (32 ft) and equipped with appropriate, slightly larger-than-minimum curb return radii (30 ft). STOP signs are proposed for traffic exiting both driveways.

### **Pedestrian Access**

Are pedestrians safely and reasonably accommodated?

6. The Fire Marshall should offer an opinion as to whether or not the service door immediately east of the truck well will constitute an emergency exit. If it will, **the sidewalk stub to the north service drive should be equipped with an ADA-compatible ramp.**

### **Parking and Circulation**

Can vehicles safely and conveniently maneuver through the site?

7. Circulation by a large tractor-trailer combination truck (VWB-67), as illustrated on engineering sheet I2, will be satisfactory. Although not shown or shown fully, garbage trucks will be able to easily access the trash enclosure, and the City's largest fire truck will be able to circulate freely throughout the site.
8. The crosshatched cross-access easements, shown between each proposed primary access drive and the adjacent site, have been designed and illustrated satisfactorily. However, per long-standing practice, **these easements should be available for general-purpose use, and we question the plan's characterization of them being "private."** A formal legal description of the proposed easements should be reviewed and approved by the City attorney prior to stamping the final site plan.
9. Architectural plan sheet SP.102 dimensions most but not all main curb radii, and (per typical architectural practice) to the face rather than the back of curb. **For completeness, it would be advisable to dimension main curb radii in three missing locations:** each side of the cross-access connection to the south (that portion spanning the lot line), and on the end island at the west end of the south parking lot. Per engineering sheet I, the first two of these radii are 20 ft to back of curb, and the third is 35 ft to back of curb.

10. There is a note on sheet SP.102 indicating that the handicapped parking stripes are to be blue and the [wheelchair] symbols are to be white. **If the symbols are to be white, each must be painted on a blue square background, per MMUTCD Figure 3B-19; alternatively – per common practice in Novi – these symbols may be blue without a painted background. If the latter application is chosen, the plan note should be revised to state that “all pavement markings for barrier-free parking spaces shall be blue.”**
11. **On engineering sheet 1, a note should be added referencing details related to barrier-free signage on sheets 3 and 11. Also on that sheet, note 15 should be expanded to add the parenthetical expression “(length as well as width)” between the words “stalls” and “abutting.”** The latter concept is illustrated schematically on sheet 3, but we would like to see the plan note fully consistent with (and supportive of) the schematic.

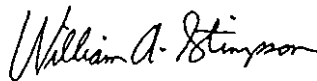
### Miscellaneous

12. **Sheet SP.101, the “Partial Park Site Plan,” should be updated to show the Kistler Automotive/Instruments Building that has been completed on the southeast corner of Hudson and Cartier.**

Sincerely,  
BIRCHLER ARROYO ASSOCIATES, INC.

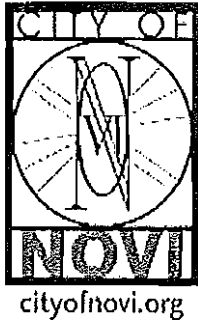


Rodney L. Arroyo, AICP  
Vice President



William A. Stimpson, P.E.  
Director of Traffic Engineering

## LANDSCAPE REVIEW



## PLAN REVIEW CENTER REPORT

February 10, 2012

### Preliminary & Final Site Plan

Beck North Corporate Park – Lot 41

#### Review Type

Preliminary / Final Site Plan

#### Property Characteristics

- Site Location: West side of Hudson Drive, across from Nadlan Court (Section 4)
- Site School District: Walled Lake Consolidate Schools
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North, East, West, and South: I-1, Light Industrial
- Site Use(s): Vacant
- Adjoining Uses: North, East and South: Vacant; West: Office/warehouse use
- Site Size: 4.38 acres
- Building Size: 70,756 square feet
- Plan Date: 01/03/12

#### Recommendation

**Approval of the Preliminary & Final Site Plan for Beck North Corporate Park Lot 41 SP#12-01 is recommended.** Please address the concerns noted below for the Stamping Set submittal.

#### Ordinance Considerations

##### Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall berm is required along the Hudson Road right-of-way. The berm has been provided.
2. Right-of-way greenbelt planting calculations have been provided and requirements have been met.
3. Twenty five foot clear vision areas have been provided as required.

##### Street Tree Requirements (Sec. 2509.3.b.)

1. Ten (10) Street Trees are required and have been provided.

##### Parking Landscape (Sec. 2509.3.c.)

1. A total of 2,489 SF of interior parking landscape area is required and has been provided.
2. A total of 33 Parking Lot Canopy Trees are required and have been provided.
3. Snow storage areas have been shown on the plan as required.

##### Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. The Applicant has met the requirement.

**Building Foundation Landscape (Sec. 2509.3.d.)**

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. The landscape plan depicts a sidewalk directly adjacent to the south building foundation. However, the lighting plan depicts a slightly different building foundation in this location that allows for the Applicant to meet the minimum 4' of building foundation landscape requirement. Please clarify this issue.
2. A total of 8,928 SF of interior parking landscape area is required. The Applicant has met the requirement.

**Plant List (LDM)**

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

**Planting Notations and Details (LDM)**

1. The Planting Details and Notations as provided meets the requirements of the Ordinance and the Landscape Design Manual.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. An Irrigation Plan and Cost Estimate must be provided with the Stamping Set submittal.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.



Reviewed by: David R. Beschke, RLA



## Financial Requirements Review

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 70,413			Includes street trees. Does not include Irrigation costs.
Final Landscape Review Fee	\$ 1,056.19			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

## Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 66,413		Does not include street trees. Includes Irrigation.
Landscape Financial Guaranty	YES	\$ 99,619.50		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 3,984.78		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater.  This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 597.71		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 500		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	YES	\$ 4,000		\$400 per tree.
Street Tree Inspection Fee	YES	\$ 240		6% of the Street Tree Bond as listed above.
Street tree Maintenance Fee	YES	\$ 250		\$25 per tree.
Landscape Maintenance Bond	YES	\$ 6,641.30		10% of verified cost estimate due prior to release of Financial Guaranty.

WOODLAND REVIEW



Environmental Consulting & Technology, Inc.

February 10, 2012

Ms. Barbara McBeth  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Beck North Lot 41: Woodland Review of the Preliminary/Final Site Plan (SP#12-01)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Beck North Preliminary/Final Site Plan (Plan) including plan sheets prepared by Alpine Engineering, Inc. dated January 3, 2012. The plan and supporting documentation were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The proposed development is located on a 4.38-acre site in Section 4 on the west side of Hudson Drive at Nadine Court in the Beck North Phase II development. The project includes the construction of a proposed 70,756 square feet industrial building including office and warehouse space.

Plan Review

ECT finds the Woodland Plan (Sheet L-2) accurately depicts existing site conditions, although the species listed as *Carya ovata* is referred to by the common name "pignut hickory." *Carya ovata* is generally known as "shagbark hickory." Tree protection fence locations are acceptably called out on the Plan.

Proposed Woodland Impacts

The Plan proposes to remove a total of 51 trees and provide 87 replacements, according to the summary table below:

Woodland Summary				
Total trees on site	82			
Trees to Remain	31			
Trees to Remove	51			
Total Replacements Required	87			
Replacements according to size and replacement ratio				
Tree size (dbh)	8<11	>11<20	>20<29	>30
Trees Removed	13	26	6	1
Replacement Multiplier	1	2	3	4
Replacements trees	13	52	18	4

Site Plan Compliance with Ordinance Chapter 37 Standards

The Plan needs some elements of clarification to bring it into compliance with the Site Plan standards. The following information must be provided on the Plan:

2200 Commonwealth  
Boulevard, Ste 300  
Ann Arbor, MI  
48105

(734)  
769-3004

FAX (734)  
769-3164

- Clear labeling of the trees to count as woodland replacement trees on the *Landscape Plan* (Sheet L1). These replacements must be indicated graphically so that location and spacing suitability can be better assessed. The Plant List on Sheet L1 contains some non-native species and cultivars not found on the City of Novi Woodland Tree Replacement Chart included at the end of this letter. Shrubs may count toward woodland replacement credits according to the ratios listed in the Reforestation Table found in the Woodland Ordinance, which is attached at the end of this letter. The applicant needs to select native species and tally those that are intended to make up the required 87 credits.

#### Tree Replacement Plan

The *Landscape Plan* (Sheet L1) provides the proposed replacement locations onsite for 87 replacements. The Plant List includes non-native species and cultivars that do not comply with Woodland Tree Replacement Chart found in the Woodland Ordinance. The symbols on Sheet L1 are not clearly defined. For example, circles on the plan are labeled with "P", "W", and "G", however there is no key to define these abbreviations. If the "W" stands for Woodland Replacement, there are only 18 shown on the Plan, not the required 87.

#### Comments

1. Sheet L1 needs to be revised to clearly show the correct number of native plants used for woodland replacements and where they would be planted on site. Please submit a revised plant list and drawing prior to final approval of the stamping set and issuance of the Woodland Permit
2. If space limitations prevent the feasible location of replacement trees on site, the applicant may need to pay into the City of Novi Tree Fund at the rate of \$400/credit.
3. With the long-term viability of the trees planted on site in mind, woodland replacements should not be planted within ten (10) feet of overhead or belowground utilities or their associated easements. Woodland replacement trees should be set back at least ten (10) feet from buildings, walls, parking lots, and other built structures. To allow room for maturation of the plant material, woodland replacement tree spacing should follow the criteria below:
  - Large evergreen trees: 15 feet on-center minimum
  - Large deciduous canopy trees (>40 feet tall): 35 feet on-center minimum
  - Medium deciduous trees (20-40 feet tall): 30 feet on-center minimum
  - Subcanopy deciduous trees (<20 feet tall): 20 feet on-center minimum.

#### Recommendation

ECT recommends conditional approval of the Preliminary/Final Site plan, contingent upon satisfactory resolution of issues identified in the above comments.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



John A. Freeland, Ph.D.  
Environmental Scientist

cc: Angela Pawlowski, City of Novi Community Development  
Mark Spencer, City of Novi Community Development

**Novi Woodland Ordinance**

**Sec. 37-8. Relocation or replacement of trees.**

(a) Whenever an approved site plan or woodland use permit allows the removal of trees eight-inch d.b.h. or greater, such trees shall be relocated or replaced by the permit grantee. Such woodland replanting shall not qualify toward the landscaping requirements of the subdivision ordinance or the zoning landscaping, section 2509. All replacement trees shall be two and one-half (2 1/2) inches caliper or greater. Tree replacement shall be at the following ratio:

Replacement Tree Requirements

Removed Tree D.B.H. (In inches)	Ratio Replacement/ Removed Tree
8 < 11	1
>11 < 20	2
> 20 < 29	3
> 30	4

(b) All replacement trees shall satisfy American Association of Nurseryman standards, and be:

- (1) Nursery grown;
- (2) State department of agriculture inspected;
- (3) Tree spade transplanted while in the dormant state or, if not in the dormant state, having been balled and burlapped with a solid well-laced root ball when in the dormant state;
- (4) No. 1 grade, with a straight unscarred trunk and a well-developed uniform crown (park grade trees are unacceptable);
- (5) Staked, watered and mulched in accordance with Section 2509 of Appendix A, "Zoning Ordinance", planted in accordance with the City of Novi Tree Planting Details, and approved through inspection by the City Landscape Architect or designee.
- (6) Guaranteed for two (2) years, including labor to remove and dispose of dead material;
- (7) Planted in accordance with the City of Novi Tree Planting Detail, and approved through inspection by the city.
- (8) Michigan native species or as listed in the replacement chart below. The city can deny the use of certain trees based upon disease or insect susceptibility or the growing conditions on the site. Further, the city can determine the number of different tree species in a planting as a diversity of tree species is strongly encouraged.
- (9) Planted with a minimum clearance of 10' from all built utility structures and outside of any and all easements whenever possible.

Woodland Tree Replacement Chart

Common Name	Botanical Name
Red Pine	Pinus resinosa
Paper Birch	Betula papyrifera
Yellow Birch	Betula alleghaniensis
Downy Serviceberry	Amelanchier arborea
Eastern Redbud	Cercis canadensis
Northern Hackberry	Celtis occidentalis
American Bladdernut	Staphylea trifolia
Kentucky Coffeetree	Gymnocladus dioica
Ohio Buckeye	Aesculus glabra
Black Cherry	Prunus serotina
Black Maple	Acer nigrum
Striped Maple	Acer Pennsylvanicum
Mountain Maple	Acer spicatum
Beech	Fagus
Sugar Maple	Acer saccharum
Swamp White Oak	Quercus bicolor
Shingle Oak	Quercus imbricaria
Scarlet Oak	Quercus coccolinea
Chinkapin Oak	Quercus muehlenbergii
Red Oak	Quercus rubra
White Oak	Quercus alba
Burr Oak	Quercus macrocarpa
Black Oak	Quercus velutina
Walnut	Juglans
Shagbark Hickory	Carya ovata
Pignut Hickory	Carya glabra
Bitternut Hickory	Carya cordiformis
Sweetgum	Liquidambar styraciflua
White Pine (1.5:1 ratio) (6' HT.)	Pinus strobus
Hemlock (1.5:1 ratio) (6' HT.)	Tsuga canadensis

White Spruce _ (1.5:1 ratio) (6' HT.)	Picea glauca
Black Spruce _ (1.5:1 ratio) (6' HT.)	Picea mariana
Bald Cypress	Taxodium distichum
Yellowwood	Cladrastis lutea
Red Maple	Acer rubrum
American Basswood	Tilia americana
American Sycamore	Platanus occidentalis
Tupelo	Nyssa sylvatica
Tuliptree	Liriodendron tulipifera
Thornless Honeylocust	Gleditsia triacanthos inermis
American Hornbeam	Carpinus caroliniana
American Hophornbeam	Ostrya virginiana
Eastern Larch	Larix laricina

(c) The Planning Commission may approve the planting of a variety of native woodland plants toward required woodland replacements credits. The combined total of plant credits must meet or exceed the total DBH normally required for standard 2.5" caliper woodland tree replacement. Reforestation plants will receive credit as depicted in the reforestation credit table below. For example, two (2) 1.5" caliper Hickory trees could be planted and credited as one (1) replacement for a removed 8" regulated woodland tree. In order to assure a variety of plant types, the maximum allowable percentage of replacement credits for any plant type are as listed below. Site plans including proposed reforestation credits should include a chart such as above documenting the percentages of vegetation types utilized.

Reforestation Credit Table

Type	Minimum Size	DBH Credit Proposed Plant : Required Replacement.	Max. Use Percentage
Canopy Trees	1.5" Caliper	2:1	70%
Evergreen trees	36" Height	3:1	30%
Understory Trees	1" Caliper	5:1	30%
Large Shrubs	30" Height	6:1	30%
Small Shrubs	18" Height	8:1	30%
Perennials	1 Gallon Cont.	25:1	50%
Groundcover Seeding	Per Seed Source Recommendations	70 SY area:1	None

(d) The location of replacement trees shall be subject to the approval of the planning commission and shall be such as to provide the optimum enhancement, preservation and protection of woodland areas. Where woodland densities permit, tree relocation or replacement shall be within the same woodland areas as the removed trees. Such woodland replanting shall not be used for the landscaping requirements of the subdivision ordinance or the zoning landscaping, section 2509.

(e) When the proposed tree to be removed has multiple trunks, each multi-stemmed tree caliper DBH inches shall be totaled and then divided by 8 to determine the required number or caliper inches of replacement vegetation. Sum DBH calipers shall be rounded down to determine the number of replacement credits required. For example, a multi-stemmed tree with 10", 12" and 13" trunks ( $10 + 12 + 13 = 34$  divided by  $8 = 4.25$ ). Therefore, rounding to the next full number, 5 replacement credits would be required.

(f) Where tree relocation or replacement is not feasible within the woodland area, the relocation or replacement plantings may be placed elsewhere on the project property.

(g) Where tree relocation or replacement is not feasible within the woodland area, or on the project property, the permit grantee shall pay into the city tree fund monies for tree replacement in a per tree amount representing the market value for the tree replacement as approved by the Planning Commission. The city tree fund shall be utilized for the purpose of woodland creation and enhancement, installation of aesthetic landscape vegetation, provision of care and maintenance for public trees and provision and maintenance of specialized tree care equipment. Tree Fund plantings shall take place on public property or within right-of-ways with approval of the agency of jurisdiction. Relocation or replacement plantings may be considered on private property provided that the owner grants a permanent conservation easement and the location is approved by the Planning Commission.

(h) Where replacements are installed in a currently non-regulated woodland area on the project property, appropriate provision shall be made to guarantee that the replacement trees shall be preserved as planted, such as through a conservation or landscape easement to be granted to the City. Such easement or other provision shall be in a form acceptable to the City Attorney and provide for the perpetual preservation of the replacement trees and related vegetation.



**FACADE REVIEW**



Phone: (248) 880-6523  
 E-Mail: dnecci@drnarchitects.com  
 Web: drnarchitects.com

DRN & ASSOCIATES, ARCHITECTS, PC

50850 Applebrooke Dr., Northville, MI 48167



February 1, 2012

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: FACADE ORDINANCE - Facade Review – Final Site Plan  
 Beck North Lot 41, SP12-01  
 Façade Region: 3, Zoning District: I-1

Dear Ms. McBeth;

The following is the Facade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by Biddison Architects, dated January 3, 2012. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Facade Schedule, if any, are highlighted in bold.

	North	West	South	East	Ordinance Maximum (Minimum)
Split Faced CMU	73%	73%	49%	56%	75%
Striated CMU	25%	25%	21%	15%	25%
Flat Metal Panels	1%	1%	29%	27%	75%
Ribbed Metal Panels	1%	1%	1%	2%	50%
Combined Split Faced & Striated CMU	<b>98%</b>	<b>98%</b>	70%	71%	75% (Note 13)

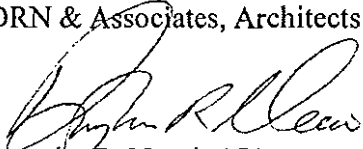
Note 13 of the Façade Chart states that the combined maximum amount of various types of Concrete Masonry Units (CMU) shall not exceed 75% on any façade. As shown above the combined percentage of Split Faced and Striated CMU exceeds 75% on the north and west facades. A Section 9 Waiver is required for this deviation from the Ordinance.

No sample board was submitted for this project. It is assumed that a prior sample board will be used for this building. The prior sample boards generally indicate grey or beige stained CMU and natural aluminum colored metal panels. The applicant should clarify the design intent with respect to color of all materials; possibly by indicating which prior sample board will apply to this project.

Recommendation - The proposed design is consistent with other nearby buildings with respect to the percentages of CMU and is consistent with the intent and purpose of the Ordinance. A Section 9 Waiver is therefore recommended for the overage of CMU on the north and west facades. This recommendation is contingent upon the applicant stating specifically which prior sample board will apply to this building or providing a new sample board at least 5 days prior to the Planning Commission meeting.

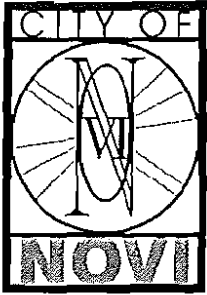
**Notes to the Applicant - Façade Inspection(s) for all materials displayed on the approve sample board are required. It is assumed the material sample board currently on file for prior buildings in this development will be used for this building.** It is the applicant's responsibility to request the inspection immediately after the materials are delivered prior to placement on the building. Please contact the Novi Building Department's Automated Inspection Hotline at (248) 347-0480 to request the Façade inspection.

Sincerely,  
DRN & Associates, Architects PC



Douglas R. Necci, AIA

**FIRE REVIEW**



January 27, 2012

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Beck North Lot 41

SP#: 12-01, Preliminary & Final Site Plan

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

**City Manager**  
Clay J. Pearson

**Director of Public Safety**  
**Chief of Police**  
David E. Molloy

**Director of EMS/Fire**  
**Operations**  
Jeffery R. Johnson

**Deputy Chief of Police**  
Thomas C. Lindberg

**Assistant Chief of Police**  
Victor C.M. Lauria

**Project Description:**

Construction of a 70,756 S.F. Light Industrial building with a planned mixed use of Office (19,646 S.F.) and Warehouse (51,110 S.F.)

**Comments:**

1. The applicant has corrected the issue regarding the turning radius. Access to the building is good. Hydrant and FDC placements are acceptable.
2. The applicant needs to be aware that the provisions for High-Piled Combustible Storage in Chapter 23 of the International Fire Code need to be met before product can be stored above 12' in the warehouse. This warehouse has a ceiling height 29' and any occupant will likely want to go above 12'.

**Recommendation:**

This plan is **RECOMMENDED FOR APPROVAL.**

Sincerely,

Michael W. Evans  
Fire Marshal

cc: file

**Novi Fire Department**  
45125 W. Ten Mile Rd.  
Novi, Michigan 48375  
248.349-2162  
248.347-0570 fax

cityofnovi.org

**APPLICANT RESPONSE LETTER**



46892 West Road, Suite 109  
Novi, Michigan 48377  
Phone: 248-926-3701  
Fax: 248-926-3765

RECEIVED

FEB 15 2012

CITY OF NOVI  
COMMUNITY DEVELOPMENT

February 15, 2012

Kristen Kapelanski, AICP  
City of Novi Community Development Department  
45175 West 10 Mile Road  
Novi, Michigan 48375

Re: **Beck North Corporate Park- Unit 41**  
**Preliminary/Final Site Plan Submittal**  
**City of Novi, Oakland County**  
**City of Novi Review No. SP 12-01**

Dear Kristen:

Please find enclosed eleven (11) sets of the Site Plan drawings and one (1) reduced 8.5"x11" reduced site plan for above referred project for the February 22, 2012 Planning Commission meeting. Alpine Engineering, Inc. has received the preliminary/final plan review comments for the above referred project and offers the following comments:

**Planning Review dated January 27, 2012**

**Ordinance Requirements**

1. Required notes and hours of operation of all light fixtures will be provided on the photometric plan.
2. Master deed amendment changes will be submitted for review by City staff and City attorney.

**Engineering Review dated February 2, 2012**

1. City standard detail sheets will be provided..
2. Sight distance measurements for the north entrance will be provided.
3. Calculations will be provided as necessary for runoff.
4. Supporting calculations will be provided as necessary for runoff coefficient determination.
5. Hydrant at southwestern part of site will be relocated to be a minimum 7 feet of back of curb.
6. MDEQ water main permit plans and applications will be submitted.
7. Sanitary easement will be re-labeled as a 20-foot wide access easement to the monitoring manhole.
8. The detectable warning surface product will be labeled.
9. Grades at drive approach will be revised as necessary to not exceed 2% within the first 25 feet of the intersection.
10. Additional spot grades will be provided around the building.
11. 4" high integral curb and walk is provided where there is no barrier free parking at the southeast corner of the building.

12. The retaining wall detail on sheet 3 is illustrative. Detailed retaining wall details and design is required to be submitted by the contractor to City for review and permit prior to construction. Signed and sealed drawings will be provided as required.
13. Soil borings along the retaining wall will be provided as necessary.
- 14-15. Off-site easements will be provided as necessary.
16. Letter will be provided with stamping set outlining all changes made.
- 17-21. Required Easements will be provided.
- 22-33. Items required prior to construction will be provided as required.
- 34-39. Items required prior to TCO will be provided as required.

**Birchler Arroyo Review dated January 17, 2012**

3. A Planning Commission waiver is requested for the same side driveway spacing.
6. Sidewalk stub to the north service drive will be equipped with an ADA compatible ramp if required.
8. Easements will be submitted to City attorney for review and approval as required.
9. Additional dimensioning on the curb radii will be provided on the Architectural plan sheet SP.102.
10. Wheelchair symbols will be blue per common practice in Novi. The plan note will be revised to state that "all pavement markings for barrier-free parking spaces shall be blue.
11. On engineering sheet 1, a note will be added referencing details related to barrier-free signage on sheets 3 and 11. Also, on sheet 1, note 15 will be revised to add "length as well as width" between the words "stalls" and "abutting".
12. Sheet SP.101 will be updated to show the recently completed Kistler project.

**City of Novi Fire Department Review dated January 27, 2012**

Comments noted.

**City of Novi Façade Ordinance Review dated February 1, 2012**

Sample board information will be provided by the applicant.

**Landscape Review dated February 10, 2012**

1. Sidewalk access area along south side of building will be clarified for stamping set approval.
2. Irrigation plan and cost estimate will be provided with stamping set submittal.

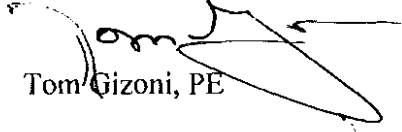
**ECT Woodland Review dated February 10, 2012**

1. The tree list will be revised showing the Pignut Hickories as *Carya glabra*
2. Woodland trees are identified on the landscape by the letter "W". This letter is adjacent to each individual replacement tree. The "w" is called out on sheet L-3 in the landscape summary. The summary also states 18 trees will be replaced on-site with the remaining 68 trees being paid into the City's tree fund.
3. Replacement trees consist of shingle oak, red oak and sugar maple. These trees are shown 20' o.c. We understand the 35' o.c. spacing for replacement trees. Historically, Novi has allowed spacing 20' o.c. and larger. This plan is consistent with prior practice. It should also be noted that the majority of existing on-site regulated trees are less than 20' apart.



If you have any questions please feel free to call our office at (248) 926-3701.

Regards,  
Alpine Engineering Inc.

A handwritten signature in black ink, appearing to read "Tom Gizoni", with a large, sweeping flourish extending to the right.

Tom Gizoni, PE

Enclosures

cc: Amson Dembs Development Inc.

**SITE PLAN**



MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

# Beck North Lot 41 SP12-01

Location

Hudson Dr

Nadlan Dr





Map Author: Kristen Kapelanski  
Date: 02/14/12  
Project: Beck North Lot 41 SP12-01  
Version #: 1.0

#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

#### Map Legend

-  Subject Property
-  City Incorporated Boundary



### City of Novi

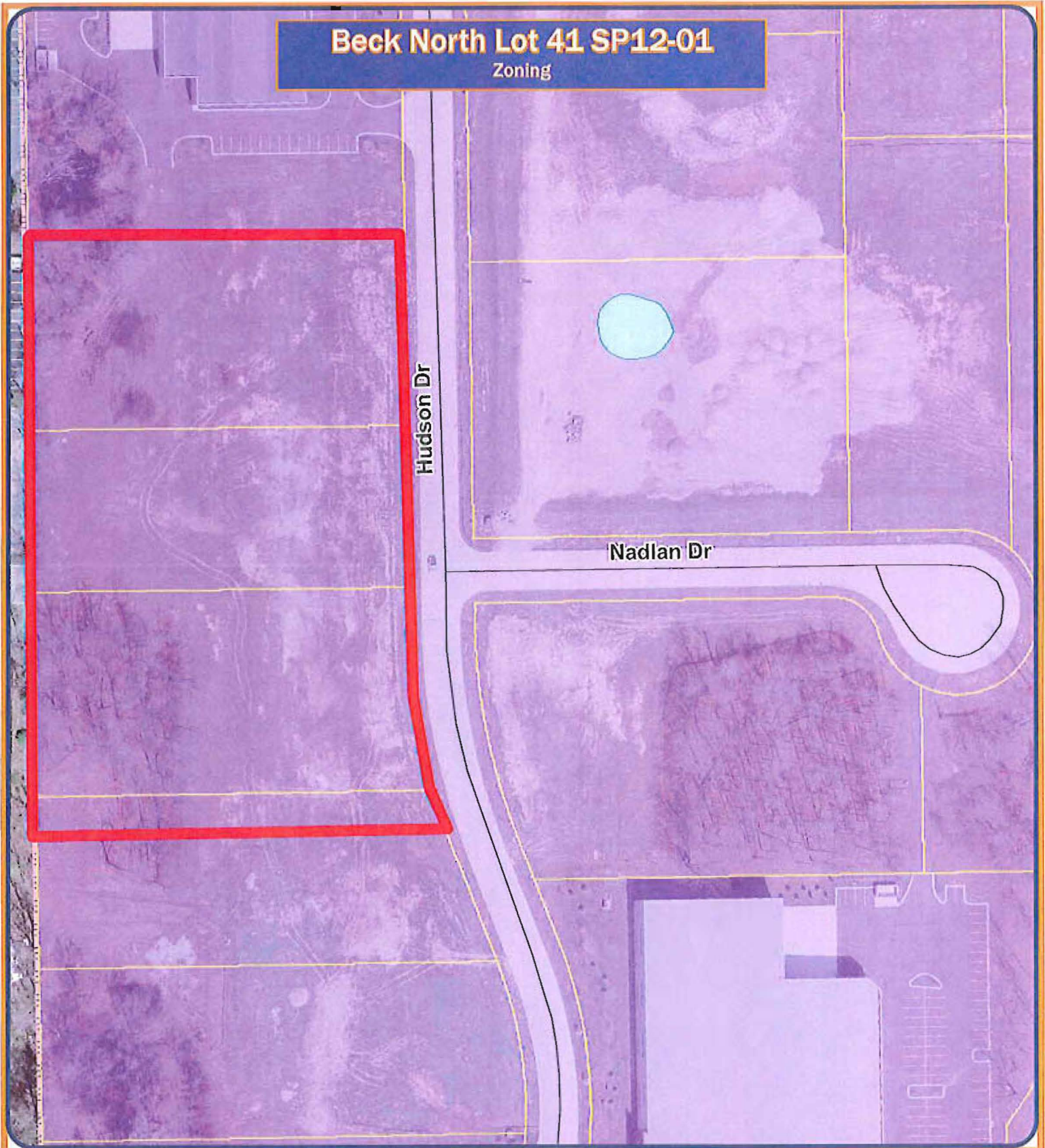
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

0 25 50 100 150 200  
Feet

1 inch = 121 feet

# Beck North Lot 41 SP12-01

Zoning






Map Author: Kristen Kapelanski  
Date: 02/14/12  
Project: Beck North Lot 41 SP12-01  
Version #: 1.0

#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

#### Map Legend

-  Subject Property
-  City Incorporated Boundary
-  I-1: Light Industrial District



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
46175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)



1 inch = 121 feet

# Beck North Lot 41 SP12-01

Future Land Use

Hudson Dr




Nadlan Dr

Map Author: Kristen Kapelanski  
Date: 02/14/12  
Project: Beck North Lot 41 SP12-01  
Version #: 1.0

#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

#### Map Legend

-  Subject Property
-  City Incorporated Boundary
-  Industrial RD Tech



### City of Novi

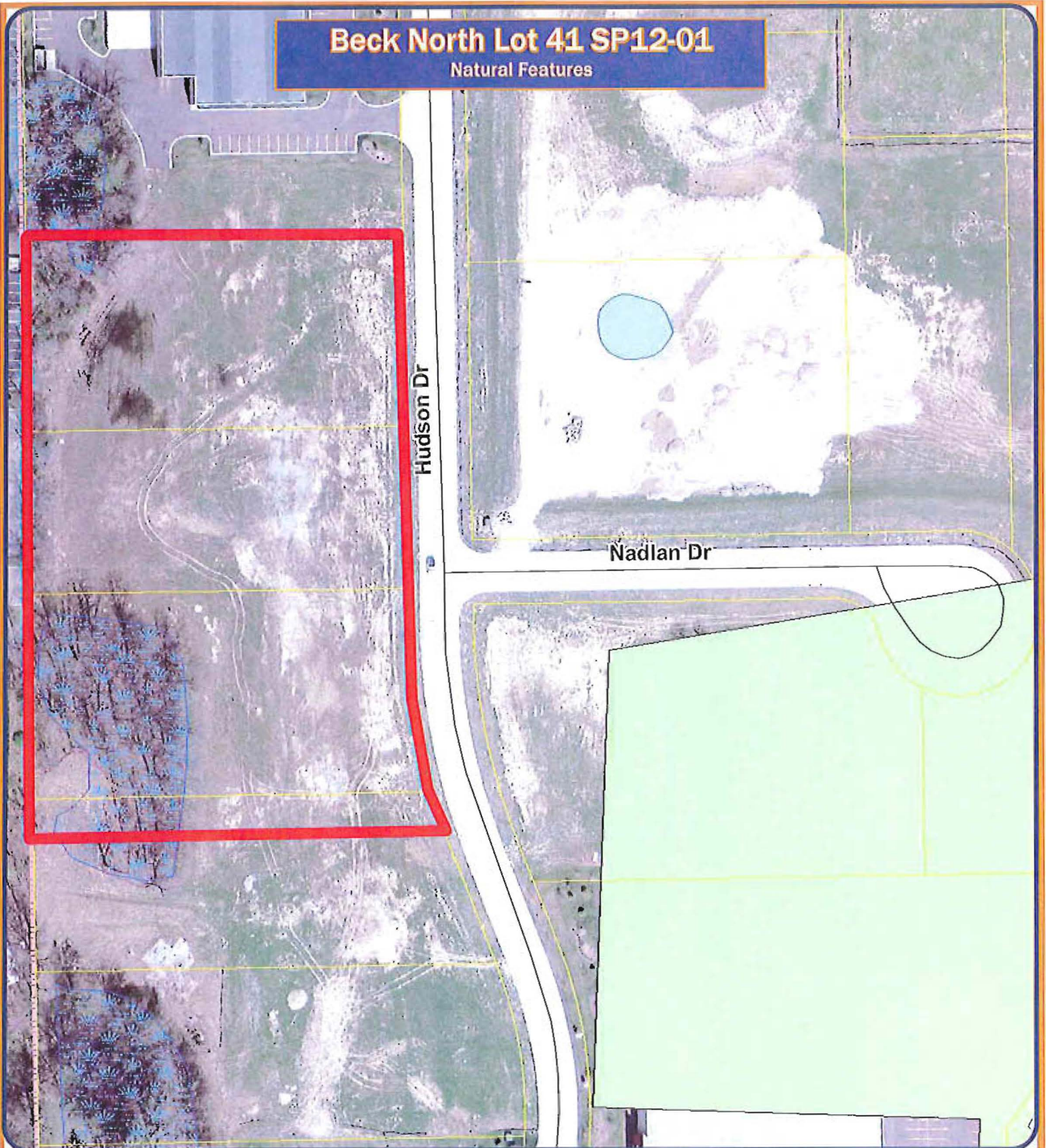
Dept. of Community Development  
City Hall / Civic Center  
48175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org



1 inch = 121 feet

# Beck North Lot 41 SP12-01

## Natural Features



Map Author: Kristen Kapelanski  
 Date: 02/14/12  
 Project: Beck North Lot 41 SP12-01  
 Version #: 1.0

**MAP INTERPRETATION NOTICE**

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most accurate available sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

**Map Legend**

-  Subject Property
-  City Incorporated Boundary
-  Wetlands
-  Woodlands



**City of Novi**

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