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## MAPLE MANOR SP 08-09A

### **MAPLE MANOR SITE PLAN NO. 08-09A**

Public Hearing of the request of J S Evangelista Development, LLC, for Preliminary Site Plan, Special Land Use Permit, Woodland Permit and Stormwater Management Plan approval in conjunction with a planned rezoning overlay rezoning petition recommendation. The subject property is located in Section 2, at the southwest corner of Fourteen Mile and Novi Roads. The subject property is 3.88 net acres and the applicant is proposing a 93 unit 61,583 sq. ft. convalescent (nursing) home building.

### **Required Action**

Preliminary Site Plan, Special Land Use Permit, Woodland Permit and Stormwater Management Plan **approval/denial**.

<b>REVIEW</b>	<b>RESULT</b>	<b>DATE</b>	<b>COMMENTS</b>
Planning	Approval Recommended	9/5/08	<b>Subject to City Council approval of rezoning and PRO deviations</b> Minor items to be addressed at time of Final Site Plan submittal
Wetlands	Approval Recommended	9/8/08	<u>Minor Use Permit for Administrative Approval Only</u> - Minor items to be addressed at time of Final Site Plan submittal
Woodlands	Approval Recommended	9/8/08	Minor items to be addressed at time of Final Site Plan submittal
Landscaping	Approval Recommended subject to waiver	8/25/08	<b>Planning Commission waiver of west berm and replacing with wall</b> Minor items to be addressed at time of Final Site Plan submittal
Traffic	Approval Recommended	9/8/08	Minor items to be addressed at time of Final Site Plan submittal
Engineering	Approval Recommended	9/8/08	Minor items to be addressed at time of Final Site Plan submittal
Façade	Approval Recommended	9/8/08	<b>Planning Commission granting Section 9 waiver conditioned on redesigning north and west façade to mitigate expense of asphalt shingles</b>
Fire	Approval Recommended	9/5/08	Minor items to be addressed at time of Final Site Plan submittal

## Motions

### Approval – Special Land Use Permit

In the matter of SP08-09A, Maple Manor, motion to **approve** the Special Land Use Permit for a convalescent (nursing) home, subject to the following conditions:

- a. City council approval of rezoning petition 18.682, PRO, Concept Plan SP08-09A and related PRO agreement;
- b. Compliance with all conditions and requirements listed in the staff and consultant review letters; and
- c. *(Insert specific considerations here)*

For the reason that the Planning Commission finds that the use is otherwise in compliance with all applicable provisions of the Zoning Ordinance and that relative to other feasible uses of the site, the proposed use:

- a. Will not cause any detrimental impact on existing thoroughfares or the capabilities of public services and facilities;
- b. Is compatible with the natural features and characteristics of the land and adjacent uses of land;
- c. Is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
- d. Will promote the use of land in a socially and economically desirable manner;
- e. Is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located; and
- f. *(additional findings here if any)*

And for the following reasons...

*(Meets the requirements of Section 2516 and additional reasons if any)*

**Approval – Preliminary Site Plan**

In the matter of Maple Manor, SP 08-09, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. City Council approval of rezoning petition 18.682, PRO Concept Plan SP08-09A and related PRO agreement;
- b. Granting a waiver of the west berm requirement and replacing it with a six foot masonry wall;
- c. Granting a Section 9 Façade Waiver subject to the applicant modifying the façade to add decorative dormer windows on the front and rear facades, or other equal method of mitigating the expanse of asphalt shingles;
- d. Minor corrections in the Staff and Consultant review letters; and
- e. *(additional conditions here if any)*

for the reason that the Site Plan...

*(Meets the intent of the Master Plan; Meets the intent of the Zoning Ordinance; Because it is otherwise in compliance with Section 3402, Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance; and additional reasons if any...)*

**Approval – Woodland Permit**

In the matter of Maple Manor, SP 08-09, motion to **approve** the Woodland Permit, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan;
- b. *(additional conditions here if any)*

for the following reasons...*(because it is in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**Approval – Storm Water Management Plan**

In the matter of Maple Manor, SP 08-09, motion to **approve** the Storm Water Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan;
- b. *(additional conditions here if any)*

for the following reasons...*(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.) ...*

**Denial - Special Land Use Permit**

In the matter of SP08-09A, Maple Manor, motion to **deny** the Special Land Use Permit for a convalescent (nursing) home for the reason that the Planning Commission finds that relative to other feasible uses of the site, the proposed use.....*(Will **cause detrimental impact** on existing thoroughfares or the capabilities of public services and facilities; **Is not compatible** with the natural features and characteristics of the land and adjacent uses of land; **Is not consistent** with the goals, objectives and recommendations of the City's Master Plan for Land Use; **Will not promote** the use of land in a socially and economically desirable manner; and additional findings here if any)*

**Denial - Preliminary Site Plan**

In the matter of Maple Manor, SP 08-09, motion to **deny** the Preliminary Site Plan, for the following reasons...

- a.
- b.

**Denial - Woodland Permit**

In the matter of Maple Manor, SP 08-09, motion to deny the Woodland Permit, for the following reasons...

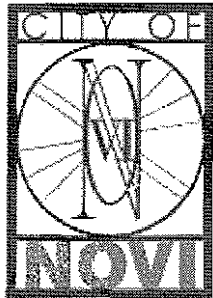
- a.
- b.

**Denial - Storm Water Management Plan**

In the matter of Maple Manor, SP 08-09, motion to deny the Storm Water Management Plan for the following reasons...

- a.
- b.
- c.

## PLANNING REVIEW



cityofnovi.org

## PLAN REVIEW CENTER REPORT

September 5, 2008

### Planning Review

Maple Manor

SP #08-09A

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#### Petitioner

J. S. Evangelista Development, LLC

#### Review Type

PRO/Concept Plan/Revised Preliminary Site Plan/Special Land Use Permit

#### Property Characteristics

- Site Location: Southwest corner of Fourteen Mile and Novi Roads
- Site Size: 4.664 acres gross, 3.88 acres net
- Current Zoning: Residential Acreage (RA) with a Planned unit Development (PUD)
- Proposed Zoning: Low Density Residential (RM-1) with Planned Rezoning Overlay (PRO)
- Surrounding Zoning: East and South East: Residential Acreage (RA) with a PUD; Southwest: One-Family Residential (R-4); West: Multiple Family Residential (RM-1); North: Multiple Family Residential (RM-1) in the City of Walled Lake; and Northeast: Neighborhood Commercial (C-1) in City of Walled Lake
- Surrounding Land Uses: East: Maples Place local commercial center; Southeast: Maples of Novi residential club house and recreation area; Southwest: Hickory Woods Elementary School; West: Beachwalk Apartments; North: Lake Village multiple-family residential in City of Walled Lake; and Northeast: vacant property in City of Walled Lake
- School District: Walled Lake Consolidated Schools
- Proposed Use: 186 bed 61,583 sq. ft. convalescent (nursing) home
- Plan Date: April 25, 2008

#### Project Summary

The applicant is proposing a three story, 93 unit, 186 bed, 61,583 sq. ft. convalescent home. Currently, the site is subject to the Maples of Novi PUD conditions that were approved by the City Council in 1989. The PUD included one-family residential units, a golf course, local commercial buildings and a senior housing building. The project was proposed as a phased development with an overall residential density of 4.0 dwelling units per acre. The subject site was approved for a 100 unit congregate care senior apartment housing building with one and two bedroom apartments. The Planning Commission approved a Preliminary Site Plan (SP98-57) for this building in January 2000 and the Final Site Plan was stamped approved in

December of 2000. The Planning Commission approved three one-year Final Site Plan extensions but site plan approval expired in 2005.

The owners of the property now would like to build a 93 unit, 186 bed convalescent (nursing home) facility instead of the previously approved facility. A nursing home is not an approved use under the current RA PUD zoning. The applicant has applied for a rezoning to RM-1 with a PRO a district that permits nursing home uses.

The previously approved building contained individual dwelling units with complete living facilities and the units in the proposed building contain sleeping and toilet facilities but do not include kitchen or bathing facilities. The proposed floor plan for the building includes nurse's stations, a clinic, a pharmacy, a beauty salon, recreation areas, a therapy area, administrative offices, storage rooms and common kitchen, dining and bathing facilities. The applicant has stated that the therapy, pharmacy, beauty salon and clinic uses are only for the occupants of the building and not available for use by the general public. These uses are permitted in the RM-1 District only when they are accessory to a permitted use.

### **Recommendation**

The Planning Staff recommends **approval** of the Preliminary Site Plan and Special Land Use Permit subject to City Council approval of the submitted rezoning petition, PRO Concept Plan, PRO deviations (as noted in the accompanying Rezoning Review) and PRO Agreement, and making minor corrections as listed below and in other reviews.

### **Comments:**

The Preliminary Site Plan was reviewed under the general requirements of Article 6, Low Density Multiple-Family Residential (RM-1) District, and Section 2400, the Schedule of Regulations of the Zoning Ordinance, and other sections of the ordinance, as noted. Items in **bold** need to be considered by the Planning Commission at the time of Preliminary Site Plan Review, and the underlined items addressed at the time of Final Site Plan Review:

- 1. Schedule of Regulations and RM-1 Lot Area requirement** The Site Plan does not demonstrate general compliance with Section 2400, the Schedule of Regulations, relating to building and parking setbacks, maximum building length, maximum pavement in the building setback areas and maximum building height and the lot area requirement in Section 602 for nursing homes located in the RM-1 district, but if the proposed deviations in the applicant's PRO proposal are approved by City Council these items will comply with the Ordinance requirements. The proposed building height and length, setbacks and overall lot design are very similar to the previously approved senior housing site plan. The proposed deviations to Section 2400 requirements are as follows:



<b>Ordinance Section</b>	<b>Item</b>	<b>Requirement</b>	<b>Proposed</b>
602(2)	Minimum lot area per nursing home bed	1,500 square feet	908 square feet
2400	Maximum building height	35 feet two stories	36 feet three stories
2400 footnote e.	Maximum amount of parking, loading area and driveways in required setback	30%	Over 30%
2400	Maximum Building Length	180 feet or up to 360 feet with increased setbacks	321.8 feet no increased setbacks (see below)
2400	Minimum Building Setback	Front east 122 feet Side north 75 feet Rear west 122 feet	East building 68.3 feet East canopy 42.5 feet North canopy 54.2 feet West building 37.7 feet
2400	Parking, Drives and Loading Area Setback	Front east 122 feet Side north 75 feet Rear west 20 feet	East 15.5 feet North 57.4 feet West 2.5 feet

**2. Parking Facilities** (Sections 2505, 2506 & 2509) The proposed use requires 87 parking spaces and the applicant has proposed 88 spaces. The applicant has proposed 9 foot wide 17, 17.5 and 19 feet deep parking spaces adjacent to 22 to 26 foot wide one-way and two-way drive aisles. The applicant is asked to consider reducing the depth of all spaces that overhang 7 foot or wider sidewalks and all spaces that overhang landscaping to 17 feet and to reduce the width of all adjacent two-way drive aisles to 24 feet in order to reduce the amount of impervious surface on the site. The north parking area is proposed with 70 degree parking spaces adjacent to a 22 foot wide one-way drive. The applicant is asked to consider a reduced drive width to reinforce the one-way nature of the drive

**3. Pedestrian Circulation** (Sections 2516 & 2700 & City Code 11-276) The applicant proposes to move the existing pathway along Novi Road to one foot inside of the proposed 60 foot half right-of-way and to provide a public sidewalk in the Fourteen Mile Road right-

of-way. All building entrances are adequately connected to a building perimeter sidewalk that is connected to the parking lot and to Fourteen Mile and Novi Roads. The applicant is asked to consider striping or using decorative paving to clearly delineate the walkways as they pass from under the building canopies and cross the parking lot driveways.

**4. Dumpster Enclosure** (Section 2503) Dumpster enclosures are required to be made of material that matches the principal building. The proposed enclosure is located in the rear yard with its doors facing Novi Road. Due to the narrowness of this lot, and the proposed location, the dumpster will be highly visible from Novi Road when the enclosure doors are open. The applicant is asked to consider relocated the enclosure to better screen the opening from Novi Road.

**5. Special Land Use Considerations** The Planning Commission in exercising its discretion over site plan approval should consider the following factors relative to other feasible uses of the site:


- Whether the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

#### **6. Other Issues**

- **Planning and Lighting Summary Charts:** The applicant is asked to review other minor items in the attached Summary Charts and make corrections as noted.
- **Address** An **address must be assigned** before a building permit is issued. The Planning Division recommends filing an address application (available at <http://www.cityofnovi.org/Resources/Library/Forms/Bldg-AddressesApplication.pdf>) to the Community Development Department, at the time of submittal of a Final Site Plan, or as soon as possible prior to submittal for building permits.

**7. Response Letters** A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters and attached charts, is requested prior to the matter being reviewed by the Planning Commission. Additionally, a letter from the applicant is requested to be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above, in other review letters and with any conditions of Planning Commission approval.

Please contact Mark Spencer at (248) 735-5607 or [mspencer@cityofnovi.org](mailto:mspencer@cityofnovi.org) with any questions or concerns.



Prepared by Mark Spencer, AICP, Planner

Attachment: Planning Review Chart  
Lighting Chart

**PLANNING REVIEW SUMMARY CHART**

**Review Date:** 9/5/08  
**Project Name:** Maple Manor PRO Concept Plan, Revised Preliminary Site Plan & Special Land Use Permit  
**Project Number:** SP08-09A/Rezoning 18.682  
**Plan Date:** 7/21/08

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Multiple Family Residential – 4.0 dwelling units per acre	No change Proposed	Yes	
Zoning	RA, Residential Acreage with PUD for Senior Apartments – Subject to former Article 2700 Planned Unit Development (PUD)	RM-1 with PRO	Yes	Use permitted in RM-1
Principal Uses Permitted	<i>Existing RA /PUD District</i> Senior Apartments (assisted living multi-family apartments – Phase 11 on approved PUD plan)  Single family residential, multiple family residential & commercial and/or office uses to serve the residential portion of the PUD	Convalescent or Nursing Home Facility	<b>No</b>	<b>Seek rezoning of property or PUD amendment</b> [applicant petitioned to rezone to RM-1 with a PRO – see below]
<b>Balance of Review Based on Proposed RM-1 District</b>				
Principal Uses Permitted (Sec. 601)	Single, two and multiple - family residential.		N/A	
Uses Permitted Subject to Special Conditions (Sec. 602)	Convalescent homes, assisted living facilities, hospice care facilities and child care centers subject to:	186 bed ( two beds per room) convalescent home	Yes	<b>Subject to Planning Commission finding that it meets the requirements of Sec. 2516.2.c.</b>
	(1) Convalescent homes, assisted living facilities and hospice care facilities: 1,500 sq. ft. total land area per bed.	908 sq. ft. of lot area per bed provided	<b>No</b>	<b>Reduce bed count or seek City Council waiver of land area requirement</b> [applicant intends to seek waiver]

Item	Required	Proposed	Meets Requirements?	Comments
	(3) Min. 40 ft. building setback.  (4) Accessory buildings and uses customarily incident to any permitted use.	37.75 ft. . from west property line other setbacks exceed 40 ft.  Accessory pharmacy, clinic, beauty salon and physical therapy facilities to serve facility only	No  Yes	See more restrictive setback requirements listed below
Intent of District	Designed to provide sites for multiple-family dwelling structures, and related uses, which will generally serve as zones of transition between the nonresidential districts and major thoroughfares and freeways and lower-density Single-Family Districts.	Proposed building very similar in appearance to a multi-family apartment building	Yes	
Building Height (Section 2400, Schedule of Regulations & 2503.2.E)	35 ft. two stories  Roof top appurtenances additional 5 ft.	36 ft. three stories no appurtenances proposed	No	Reduce height or seek City Council Waiver [applicant intends to seek waiver]
Building Length (Section 2400, footnote e)	180 ft. or up to 360 ft. if building setback increased 1 ft. for every 3 ft. building length when bordering a residential district or major thoroughfare	321.87 ft. - requires additional setbacks that are not provided	No	Reduce length or seek City Council waiver [applicant intends to seek waiver] See setback requirements below
Additional RM-1 Requirements (Section 2400, footnote e)	1. Must front on public or private road 2. Maximum 30% of setback areas parking, drives & loading area 3. Sidewalk connectivity 4. Minimum distance between buildings $S = LA + LB + 2(HA + HB)$ 5. Parking and drives must be located 25 ft. from walls of dwelling structure with openings	1. Fronts public road 2. Exceeds 30%  3. Provided  One building  28 ft. to dwellings west of site	Yes  No  Yes  N/A  Yes	Redesign to provide additional area or seek City Council waiver [applicant intends to seek waiver]

Item	Required	Proposed	Meets Requirements?	Comments
	Parking and drives must be 20 feet from property or right-of-way line	15.6 ft. east side 57 ft. north side 2.5 ft. west side	No Yes No	Redesign to provide additional setback or seek City Council waiver [applicant intends to seek waiver]
Lot Coverage (Section 2400, footnote e)	Maximum 25%	12%	Yes	
<b>Building Setback</b>				
Front east (2400 & footnotes b, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. $(322-180 \times 0.33)+75 = 122$ ft.	<u>68.31</u> ft. building <u>42.51</u> ft. canopy	No	Redesign to increase setback or seek City Council waiver [applicant intends to seek waiver]
Side north exterior (2400 & footnotes b, c, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. – North frontage does not exceed 180 ft. – 75 ft. required	<u>54.21</u> ft. covered porch 109.78 ft. main building	No	Redesign to increase canopy setback or seek City Council waiver [applicant intends to seek waiver]
Rear west (2400 footnotes b, c, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. $(322-180 \times 0.33)+75 = 122$ ft.	<u>37.73</u> ft.	No	Redesign to increase setback or seek City Council waiver [applicant intends to seek waiver]
<b>Parking Setback</b>				
Front east (2400 footnote b & e)	75 ft. Must comply with building setback	<u>15.59</u> ft.	No	Redesign to increase setback or seek City Council Waiver
Side north exterior (2400 footnote b & e)	75ft. Must comply with building setback	<u>57.44</u> ft.	No	Redesign to increase setback or seek City Council Waiver
Rear west (2400 footnote b & e)	20ft.	30 ft parking spaces <u>2.5</u> ft. parallel access drive	Yes/No	Redesign to increase setback or seek City Council Waiver
<b>Parking Requirements</b>				
Number of Parking Spaces (2505)	One per 4 beds and one for each employee  186 beds/4 = 47 parking spaces 40 employees = <u>87</u> spaces required	88 provided	Yes	
Parking Space Dimensions and Maneuvering Lanes (2506 & 2509.c.2.i)	9 ft. x 19 ft. parking space dimensions and 24 ft. wide two-way drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks	9 ft. x 17.5ft. and 9 ft. x 17 ft. 90 degree spaces and 9 ft. by 18 ft. 70 degree spaces provided – 24.5 to 26 foot wide two-way drives	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	and landscaping as long as detail indicates a 4" curb at these locations. Min. 22 ft. two-way drives permitted with no adjacent parking – min. 12 ft. one way drives permitted with no adjacent parking – required fire lanes must be min. 18 ft. wide.	adjacent to 90 degree parking and 22 ft. one-way drives adjacent to 70 degree parking spaces		
End Islands (Section 2506.13)	End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. The end islands shall generally be at least 8 ft. wide, have an outside radius of 15ft. , and be constructed 3 ft. shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.	Dimensions provided for most islands	Yes?	<u>Provide dimensions showing all islands at least 8 ft. wide. 15 ft. radius and 3 ft. shorter than parking spaces</u>
Barrier Free Spaces (Barrier Free Code)	4 barrier free spaces required: 3 standard barrier free, 1 van accessible.	6 barrier free spaces provided – 2 standard and 4 van accessible	Yes	<u>The Building Code may require at least one barrier free space close to the south entrance – Applicant is asked to review this issue with the Building Division</u>
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with a 5 ft. wide access aisle for standard barrier free spaces, and 8 ft. wide with an 8 ft. wide access aisle for van accessible space	Provided	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space	Provided	Yes	
Loading Spaces (Section 2507)	Five (5) square ft. per front foot of building up to a total area of three hundred sixty (360) square ft. per building	39 ft. x 35 ft. area provided (1,365 sq. ft.)	Yes	Consider providing “no parking loading zone” signs
Dumpster (Chapter II, Section 21-145)	Screen wall or fence required for all dumpsters, must be at	Enclosure exteriors match building - protective bollards	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
and Section 2503.2.F)	least five ft. in height, and provided on three sides. Enclosure to match building materials – Design must include protective features	provided		
Dumpster Enclosure (Sections 2503.2.F and 2520.1)	Dumpster enclosure to be located in rear yard, and set back from property line a distance equivalent to the parking lot setback. It is to be located as far from barrier free spaces as possible. Enclosure to match building materials	Enclosure located over 20 ft. from property line	Yes	<u>Applicant may want consider locating enclosure so when doors are open the dumpster is not visible from roads</u>
Roof top equipment and wall mounted utility equipment (Section 2503.2.E.(1))	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	None Depicted	?	<u>Depict all roof top and wall mounted equipment if any</u>
Exterior lighting (Section 2511)	Photometric plan and exterior lighting details needed at time of <u>Preliminary Site Plan submittal</u>	Lighting plan submitted	Yes/No	<u>See Lighting Review Summary Chart</u>
Sidewalks (City Code Section 11-276(b))	A 5 ft. -8 ft. wide sidewalk shall be constructed along all major thoroughfares as required by the City of Novi's Pedestrian and Bicycle Master Plan.	5 ft. sidewalk proposed on Fourteen Mile Rd. 8 ft. pathway on Novi Rd.	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot.	Sidewalks provided	Yes	
Pedestrian Connectivity (Section 2516.2.b (3)) and 2700.2.h(4))	The Planning Commission shall consider the following factors in exercising its discretion over site plan approval ... Whether the traffic circulation features within the site and	Connection provided  Applicant response letter indicates pedestrian driveway crossings will be striped	Yes	<u>Depict proposed striping of pavement where the pedestrian walkways cross the driveways</u>



Item	Required	Proposed	Meets Requirements?	Comments
	location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets			
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
Design and Construction Standards Manual	General layout and dimension of proposed physical improvements, showing the following: Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval		?	Contact Angie Pawlowski at 248- 735-5631 to schedule a meeting with the Committee
Development/ Business Sign	Signage if proposed requires a permit.	Sign proposed	Yes	For sign permit information contact Alan Amolsch in Neighborhood Services 248-347-0436.
<i>PRO Requirements (3402)</i>	Proposed more restrictive requirements or conditions.	Provided (see applicant's amended Planned Rezoning Overlay Petition letter dated August 28, 2008)	Yes	See Planning Review Rezoning 18.682 for discussion.
<i>PRO Requirements (3402)</i>	Describe each Zoning Ordinance deviation and why if the not	Deviations provided - Reasons in public interest provided (see	Yes	See Planning Review Rezoning 18.682 for discussion.

Item	Required	Proposed	Meets Requirements?	Comments
	granted would prohibit an enhancement of the development that would be in the public interest, and describe how the deviation would be consistent with the City's Master Plan and compatible with the surrounding area.	applicant's amended Planned Rezoning Overlay Petition letter dated August 28, 2008)		
<i>PRO Requirements (3402)</i>	Describe how an enhancement of the project area would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.	Provided (see applicant letter dated 8/4/08)	Yes	
<i>PRO Requirements (3402)</i>	Describe benefits which would reasonably be <u>expected to accrue from the proposal shall be balanced against, and be found to clearly outweigh the reasonably foreseeable detriments</u> thereof, taking into consideration reasonably accepted planning, engineering, environmental and other principles.	Provided (See applicant letter dated 8/5/08)	Yes	

Prepared by Mark Spencer, AICP (248) 735-5607

### Lighting Review Summary Chart

Project name                Maple Manor  
 Review Date:                August 27, 2008  
 Final Site Plan:            SP 08-09A  
 Plan Date:                    July 21, 2008

**Bolded items must be addressed at the time of Final Stamping Set**

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes/No	See below
Lighting plan (Section 2511.2.a.1)  Entrance Fixtures Required (2003 State Building Code Sec.10-06)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes/	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data ___ Fixture height <input checked="" type="checkbox"/> Mounting & design ___ Glare control devices ___  Type and color rendition of lamps <input checked="" type="checkbox"/> Hours of operation ___ Photometric plan <input checked="" type="checkbox"/>	Yes/No	<b>Provide fixture and photometric data for HD fixture and provide a note on the plan with hours of operation</b>
Required Notes (Section 2511.3.b)	- Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted	Yes/No	<b>Last note may not be needed if hours of operation 24 hours</b>

Item	Required	Meets Requirements?	Comments
	<ul style="list-style-type: none"> <li>- Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.</li> </ul>		
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> <li>- Parking areas- 0.2 min. <u>X</u></li> <li>- Loading and unloading areas- 0.4 min. <u>X</u></li> <li>- Walkways- 0.2 min. <u>X</u></li> <li>- Building entrances, frequent use- 1.0 min. <u>X</u></li> <li>- Building entrances, infrequent use- 0.2 min. <u>X</u></li> </ul>	Yes	
Maximum illumination at property line (Section 2511.3.k)	Max. 1.0 at non-residential property line	Yes	
Cut off Angles (Section 2511.3.i & m)	All cut off angles of fixtures must be 90 degrees – City may waive cutoff requirement when historic or decorative fixtures used	Yes	

Item	Required	Meets Requirements?	Comments
Abuts Residential (Section 2511.3.l)	Max fixture height 25' <del>X</del>  No direct light source shall be visible at the property line Max 0.5 foot candle at property line ____	Yes/No	<b>Illumination exceeds 0.5 foot candles along west boundary</b>

**WETLANDS REVIEW**



Environmental Consulting & Technology, Inc.

2200 Commonwealth Blvd.  
Suite 300  
Ann Arbor, MI 48105  
(734) 769-3004  
FAX (734) 769-3164

September 8, 2008

Ms. Barbara McBeth  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Maples Manor  
Wetland Review of the Preliminary Site Plan (SP#08-09A) - **REVISED**

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Maples Manor Preliminary Site Plan (Plan) including plan sheets prepared by Nowak & Fraus dated July 21, 2008 (Revised Per Site Plan Review). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the setback provisions in the Zoning Ordinance. ECT also visited the site on September 5, 2008.

### **Existing Conditions**

The proposed development is located on a 4.66-acre site in Section 2 on the southwest corner of Fourteen Mile Road and Novi Road. The project includes the construction of a proposed three-story building, associated parking and utilities and an on-site stormwater detention basin. Three (3) areas labeled as existing wetland are indicated on the Plan (Sheet P-1, Topographic Survey). It appears as if at least the two (2) larger of these areas were previously-constructed as stormwater detention facilities. These are currently considered to be 'watercourses' by the City of Novi Wetland and Watercourse Ordinance. The third "wetland" area appears to be categorized as a non-essential wetland according to the City of Novi Wetland and Watercourse Protection Ordinance. In addition, none of these areas appear to be regulated by the MDEQ.

### **Proposed Impacts**

The Plan appears to propose impacts to most, if not all, of the existing, on-site "wetland" areas. Although the Plan appears to graphically depict three areas of "wetland", these acreages still do not appear to be quantified. In addition, the Plan does not appear to quantify the proposed wetland/watercourse impacts (i.e. proposed impact area and volume of any proposed wetland cut or fill). Impacts also appear to be proposed within the 25-foot natural features setbacks (wetland/watercourse buffers). Currently, the boundaries of the 25-foot wetland setbacks are not shown on the Plan. These boundaries shall be indicated on the Plan and the wetland/watercourse buffer areas shall be quantified. Wetland/watercourse buffer impact quantities shall also be shown on the Plan (i.e., both impact area and proposed volume of cut or fill).

### **Comments and Conditions**

1. Any impacts (temporary or permanent) to the 25-foot wetland buffer will require a City of Novi Authorization to Encroach the 25-Foot Wetland Setback. ECT continues to ask that the wetland/watercourse and wetland/watercourse buffer impact areas and volumes be provided on the Plan for the purpose of permitting the proposed wetland (and watercourse)/wetland (and watercourse) buffer impacts.
2. The wetland/watercourse buffer (25-foot wetland/watercourse setback) boundaries still do not appear to be shown on the Plan. The overall wetland/watercourse and wetland/watercourse buffer existing area quantities and proposed impact area quantities are also not indicated on the Plan. Please review and revise the Plan as necessary. We recommend adding this additional information to Sheet P-1 (Topographic Survey) and any other suitable sheets.
3. It is ECT's understanding that during a 1999 site assessment, no wetlands were found on site and that the two watercourses that exist on site were excavated stormwater and or sedimentation basins. In addition, it is ECT's opinion that the existing stormwater storage function of these wetland areas can be mitigated for in a proposed storm water detention basin. After review of additional material submitted since the previous Plan review, ECT has concluded that the proposed impacts to the on-site wetland/watercourses do not appear to require an MDEQ wetland permit. While an MDEQ wetland permit does not appear to be necessary, a City of Novi Minor Use wetland/watercourse permit will be required for the project because the City of Novi Wetland Code defines the detention basins as watercourses and proposed impacts to watercourses require a permit. As stated in our June 19<sup>th</sup> review letter, we continue to ask that "wetland" and watercourse impact areas and fill volumes be provided for permitting purposes.

***If the proposed impacts are three hundred (300) cubic yards or less and not exceeding ten thousand (10,000) square feet in area then the permitting for these impacts can be handled administratively with a City of Novi Minor Use Permit. Should the proposed impacts exceed this area or volume, a NON-Minor Use permit would be required as well as approval from the City of Novi Planning Commission.***

4. Please provide details of the oil/gas separator structure and mechanical forebay structure that is to be used prior to the discharge of storm water into the proposed detention pond.
5. After review of additional material submitted since the previous Plan review, ECT has concluded that the proposed impacts to the on-site wetlands do not appear to require an MDEQ wetland permit.

### **Additional Comments**

1. The Applicant should provide a native wetland seed mix within the proposed detention basin. This will help to replace the existing functions of the on-site wetland and watercourse areas.



**Permits**

ECT believes the proposed project will require a City of Novi Minor Use Wetland Permit as well as a Natural Features Setback Authorization for proposed permanent impacts to the 25-foot wetland buffer.

It does not appear that a MDEQ wetland permit is necessary for this project.

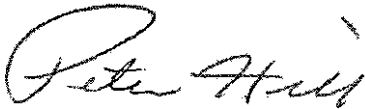
**Recommendation**

ECT recommends **conditional approval** of the Preliminary Site Plan for Maples Manor at this time, contingent upon satisfactory resolution of the above *Comments and Conditions*.

If you have any questions please contact our office

Respectfully,

**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



Peter F. Hill, P.E.  
Associate Engineer

cc: Angela Pawlowski, City of Novi Community Development (e-mail)  
Mark Spencer, City of Novi Community Development (e-mail)  
Alex Orman, Nowak & Fraus ([aorman@nowakfraus.com](mailto:aorman@nowakfraus.com))

**WOODLANDS REVIEW**



**Environmental Consulting & Technology, Inc.**

September 8, 2008

Ms. Barbara McBeth  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Maple Manor  
Woodland Review of the Preliminary Site Plan (SP#08-09A)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Maples Manor Preliminary Site Plan (Plan) including plan sheets prepared by Nowak & Fraus dated July 21, 2008 (Revised Per Site Plan Review). The plan and supporting documentation were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The proposed development is located on a 4.66-acre site in Section 2 on the southwest corner of Fourteen Mile Road and Novi Road. The project includes the construction of a proposed three-story, 75,900 square feet convalescent home, associated parking and utilities, and an onsite stormwater detention basin.

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on Friday, September 5, 2008. The site does not contain regulated woodlands per the City of Novi Official Woodlands Map. ECT found that the *Topographic Survey Plan* (Sheet P-1) and *Tree Preservation Plan* (Sheet L1) accurately depict existing site conditions. The surveyed trees have been marked with the survey numbers in orange paint.

**Plan Review**

Although the Plan proposes the removal of 16 trees with dbh greater than or equal to 8 inches, ECT found that the majority of these trees are unregulated under the Woodland Protection Ordinance. The only trees that are regulated under the Ordinance Section 37-4(b) are landmark trees, trees with an overall d.b.h. of 36 inches or greater. These landmark trees include tree #'s 7, 12, and 14. Per the *Tree Preservation Plan* (Sheet L1) and *Landscape Plan* (Sheet L2), 40, 2.5-inch caliper replacement trees are required, all of which are to be planted onsite. However, since only three trees onsite are regulated, the number of required replacements is only 17, not 40. In general, it appears as if the Applicant is prepared to meet the requirements of the City of Novi Woodland Ordinance and tree replacement requirements but has not calculated the number of replacement trees correctly.

**Revised Woodland Impacts**

ECT suggests that the proposed Plan calls for the following impacts to onsite regulated trees:

- 8 total regulated stems (3 regulated trees) with 8-inch dbh or greater to be removed/impacted (tree #'s 7, 12, and 14)
- 17 replacement trees required (4 replacements for tree # 7, 5 replacements for tree # 12, and 8 replacements for tree # 14)

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### Site Plan Compliance with Ordinance Chapter 37 Standards

The Plan appears to lack a couple of items necessary for compliance with the Site Plan standards. The following information must be provided in the Plan:

- Save vs. removal status information in the tree survey table on the *Topographic Survey Plan* (Sheet P-1).
- Correct number of regulated trees to be impacted (3) and required tree replacements (17) on the *Tree Preservation Plan* (Sheet L1) and *Landscape Plan* (Sheet L2).
- Clear labeling, location, and dimensions of private and public utilities and their associated easements, especially as it relates to the location of replacement trees onsite on the *Landscape Plan* (Sheet L2).
- Clear labeling of the trees to count as woodland replacement trees on the *Landscape Plan* (Sheet L2). These replacements must be indicated graphically so that location and spacing suitability can be better assessed. The Plant Schedule on Sheet L2 needs to be corrected to reflect the reduced number of replacement trees required and to clearly show the exact number of each species of tree to count as woodland replacements.

### Tree Replacement Plan

The *Landscape Plan* (Sheet L2) provides the proposed replacement locations onsite for 40 replacements. The Plan calls for river birch (*Betula nigra*), sweetgum (*Liquidambar styraciflua*), black hills spruce (*Picea glauca* 'Densata'), Colorado blue spruce (*Picea pungens*), Columbia plane tree (*Platanus x acerifolia* 'Columbia'), and redspire pear (*Pyrus calleryana* 'Redspire'). These trees are proposed at the southern end of the site along the parking lot and detention basin. Colorado blue spruce, Columbia plane tree, and redspire pear are not native to Michigan nor are they on the approved tree replacement list of species; these are not acceptable replacement species. The proportion of evergreens to deciduous replacement material is very high compared to the composition of species being removed. Also, please note that evergreen trees must be a minimum of 7 feet tall and each fulfills 0.5 tree replacement credits. ECT recommends that more native hardwood species are used instead, incorporating species found within regulated woodlands in the area such as bitternut hickory (*Carya cordiformis*), northern red oak (*Quercus rubra*), white oak (*Quercus alba*), swamp white oak (*Quercus bicolor*), bur oak (*Quercus macrocarpa*), black walnut (*Juglans nigra*), sugar maple (*Acer saccharum*), red maple (*Acer rubrum*), American basswood (*Tilia americana*), American beech (*Fagus grandifolia*), and ironwood (*Ostrya virginiana*). The diversity of proposed replacement tree species is commendable.

Many of the proposed replacement trees are located less than 10 feet from built structures and utilities and are spaced too close together. Woodland replacement trees should be set back at least 10 ft from buildings, walls, parking lots, and other built structures. The stormwater main and other utilities and structures will likely require ongoing maintenance that could disturb both the above- and belowground portions of the replacement trees. With the long-term viability of the trees in mind, woodland replacements should not be planted within 10 ft of overhead or belowground utilities or their associated easements. To allow room for maturation of the plant material, woodland replacement tree spacing should follow the criteria below:

- Large evergreen trees: 15 feet on-center minimum
- Large deciduous canopy trees (>40 feet tall): 35 feet on-center minimum
- Medium deciduous trees (20-40 feet tall): 30 feet on-center minimum
- Subcanopy deciduous trees (<20 feet tall): 20 feet on-center minimum

### Recommendation

ECT recommends **conditional approval** of the Preliminary Site Plan, contingent upon the Applicant addressing the missing information and corrections stated above in the Final Site Plan. Although the Applicant appears to be prepared to meet the requirements of the City of Novi Woodland Ordinance and the associated tree

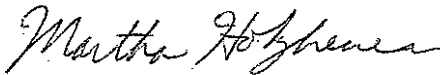
Ms. Barb McBeth  
September 8, 2008  
Page 3

replacement requirements, revisions are needed to the tree replacement calculations. Missing tree save vs. remove status information, utility and easement information, and revised replacement tree numbers, spacing, and location should be included. In consideration of the success of their establishment and long-term viability, replacement trees should not be planted within 10 feet of structures or utilities and their associated easements and should be spaced appropriately for mature tree size.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully,

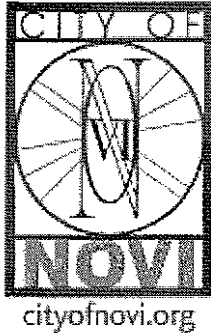
**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



Martha Holzheuer, Certified Arborist  
Landscape Ecologist

cc: Angela Pawlowski, City of Novi Community Development  
Mark Spencer, City of Novi Community Development

**LANDSCAPE REVIEW**



## PLAN REVIEW CENTER REPORT

August 25, 2008

### Preliminary Landscape Review

Maple Manor 08-09A

#### Review Type

Preliminary Landscape Review

#### Property Characteristics

- Site Location: Novi Road / Fourteen Mile
- Site Zoning: RA
- Site Use(s): Health Care Facility
- Plan Date: 7/21/08

#### Professional Recommendation

Site Plan Approval of the preliminary site plan for Maple Manor of Novi SP#08-09A is recommended. The Applicant must receive one Planning Commission waiver as noted below.

#### Ordinance Considerations

##### Adjacent to Residential (Sec. 2509.3.a.)

1. The project site is adjacent to residential property to the west. A 4'6" to 6' tall landscaped berm is required. **The Applicant has proposed a 6' high masonry screen wall as allowed under the Ordinance with a Planning Commission waiver of the berm. Staff supports the waiver.** Please also note that the Applicant has proposed softening the wall from the neighboring residential through the use of upright evergreen shrubs.

##### Adjacent to Public Rights-of-Way – Berm (Wall) and/or Buffer (Sec. 2509.3.b.)

1. Berms are required along both right-of-ways. Adjacent to parking or access drives (Novi Road), the berm must be 2' high with a 3' crest and placed in a 20' greenbelt. Areas not adjacent to parking (Fourteen Mile) require a berm 4' high with a 4' crest and placed in a 34' wide greenbelt. The Applicant has provided landscape berms meeting these requirements.
2. Right-of-way planting requirements have been met.
3. Twenty five foot clear vision areas have been provided as required.
4. Additional shrubs and perennials have been added along the berms in order to meet opacity requirements.
5. Berm cross sections have been provided as required.

##### Street Tree Requirements (Sec. 2509.3.b.)

1. Street Trees have been provided as required. Sub-canopy trees are acceptable for use under the overhead utility locations.

##### Parking Landscape (Sec. 2509.3.c.)

1. A total of 3,370 SF of interior parking landscape area is required. This requirement has been met.

2. A total of 50 Parking Lot Canopy Trees are required and have been provided.
3. Please depict areas for snow storage on the plans.

**Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))**

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. This requirement has been met.

**Building Foundation Landscape (Sec. 2509.3.d.)**

1. The minimum 4' bed has been shown at all building foundation locations with the exception of access areas.
2. The Applicant has exceeded the requirement for Building foundation area landscape.

**Storm Basin (LDM)**

1. A total of 70% to 75% of the basin rim area must be landscaped with large native shrubs.
2. The bottom of the basin will be seeded with appropriate native seed mix as required.

**Loading Area**

1. The Loading Area has been located to the rear of the building and appropriately screened.

**Plant List (LDM)**

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

**Planting Details and Notations (LDM)**

1. The Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. An Irrigation Plan and Cost Estimate are required.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.



David R. Beschke, RLA



**Landscape Review Summary Chart**

**Date: September 8, 2008**

Project Name: Maple Manor of Novi  
 Project Location: Novi Road  
 Sp #: 08-09  
 Plan Date: 7/21/08  
 Review Type: Preliminary Landscape Plan  
 Status: **Approval recommended with appropriate waiver.**

Item	Required	Proposed	Meets Requirement	Comments
Name, address and telephone number of the owner and developer or association.(LDM 2.a.)	Yes	Yes	Yes	Include on plan sheets.
Name, Address and telephone number of RLA (LDM 2.b.)	Yes	Yes	Yes	Include on plan sheets.
Legal description or boundary line survey.(LDM 2.c.)	Yes	Yes	Yes	Include on plan sheets.
Project Name and Address (LDM 2.d.)	Yes	Yes	Yes	Include on plan sheets.
A landscape plan 1"-20' minimum. Proper North. (LDM 2.e.)	Yes	Yes	Yes	
Consistent Plans throughout set.	Yes	Yes	Yes	All plan sheets much match.
Proposed topography. 2' contour minimum (LDM 2.e.(1))	Yes	Yes	Yes	Provide proposed contours at 2' interval for the entire site.
Existing plant material. (LDM 2.e.(2))	Yes	Yes	Yes	Show location type and size. Label to be saved or removed. Plan shall state if none exists.
Proposed plant material. (LDM 2.e.(3))	Yes	Yes	Yes	Identify all, including perennials.
Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W. (LDM 2.e.(4))	Yes	Yes	Yes	
Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))	Yes	Yes	Yes	
Clear Zone (LDM 2.3.(5) - 2513)	Yes	Yes	Yes	
Zoning (LDM 2.f.)	Yes	Yes	Yes	Include all adjacent zoning.
Sealed by LA. (LDM 2.g.)	Yes	Yes	Yes	Requires original signature.
<b>Plant List (LDM 2.h.) – Include all cost estimates.</b>				
Quantities	Yes	Yes	Yes	
Sizes	Yes	Yes	Yes	Canopy trees must be 3" in caliper. Sub-Canopy trees must be 2.5" in caliper.
Root	Yes	Yes	Yes	
Type and amount of mulch	Yes	Yes	Yes	Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.

Item	Required	Proposed	Meets Requirement	Comments
Type and amount of lawn	Yes	Yes	Yes	Include in cost estimate.
Acceptable species	Yes	Yes	Yes	Per the Landscape Design Manual.
Diversity	Yes	Yes	Yes	Max. 20% Genus, 15% Species.
<b>Planting Details/Info (LDM 2.i.) – Utilize City of Novi Standard Details.</b>				
Deciduous Tree	Yes	Yes	Yes	
Evergreen Tree	Yes	Yes	Yes	
Shrub	Yes	Yes	Yes	
Perennial/ Ground Cover	Yes	Yes	Yes	
<b>Transformers (LDM 1.e.5.)</b>	<b>Yes</b>	<b>Yes</b>	<b>No</b>	<b>Show locations and provide 24" clear of plantings on all sides.</b>
Cross-Section of Berms (LDM 2.j.)	NA			Provide all proposed dimensions.
ROW Plantings (LDM 1)	Yes	Yes	Yes	Include required calculations.
<b>Walls (LDM 2.k.)</b>	<b>Yes</b>	<b>Yes</b>	<b>Yes/No</b>	<b>Planning Commission waiver required.</b>
<b>Landscape Notations – Utilize City of Novi Standard Notes.</b>				
Installation date (LDM 2.l.)	Yes	Yes	Yes	Provide intended date.
Statement of intent (LDM 2.m.)	Yes	Yes	Yes	Include statement of intent to install and guarantee all materials for 2 years.
Plant source (LDM 2.n.)	Yes	Yes	Yes	Indicate Northern grown nursery stock.
Miss Dig Note (800) 482-7171	Yes	Yes	Yes	All plan sheets.
Mulch type.	Yes	Yes	Yes	Natural color, shredded hardwood mulch.
2 yr. Guarantee	Yes	Yes	Yes	
Approval of substitutions.	Yes	Yes	Yes	City must approve any substitutions in writing prior to installation.
Tree stakes guy wires.	Yes	Yes	Yes	No wire, hose or <i>plastic</i> .
Maintenance	Yes	Yes	Yes	Include a minimum of one cultivation in June, July and August for the 2-year warranty period.
Car Parking (Landscape) Setback (2400)	Yes	Yes	Yes	
<b>Parking Area Landscape Calculations (LDM 2.0.)</b>				
A. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			A = 14535 x 10% = 1453 sf
B. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			B = 45546 x 5% = 2277 sf
C. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special	NA			C = x 1% = sf

Item	Required	Proposed	Meets Requirement	Comments
Land Use or non-residential use in any R district				
A. For: I-1 and I-2 Landscape area required due to # of parking spaces	NA			A = 7% x = SF
B. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			B = 2% x = SF
C. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			C = 0.5% x = SF
Total A, B and C above = Total interior parking lot landscaping requirement	Yes	Yes	Yes	3730 SF required; 7232 SF provided.
Parking lot tree requirement	Yes	Yes	Yes	50 trees required and provided.
Perimeter greenspace Plantings	Yes	Yes	Yes	Perimeter trees provided at 1 per 35 LF.
<b>Parking Lot Plants</b>				
Max. 15 contiguous space limit	Yes	Yes	Yes	
Parking Land Banked	NA			
Interior Landscape requirements (LDM.2.p.)	Yes	Yes	Yes	
<b>Snow Deposit (LDM.2.q.)</b>	<b>Yes</b>	<b>Yes</b>	<b>No</b>	<b>Depict adequate areas on plan.</b>
Soil Type (LDM.2.r.)	Yes	Yes	Yes	Per USDA or borings.
<b>Irrigation plan (LDM 2.s.)</b>	<b>Yes</b>	<b>Yes</b>	<b>No</b>	<b>Provide irrigation plan with final site plan.</b>
Cost Estimate (LDM 2.t.)	Yes	Yes	Yes	Include final estimate of irrigation system at Final Site Plan submittal.
<b>Residential Adjacent to Non-residential</b>				
<b>Berm requirements met (2509.3.a.)</b>	<b>Yes</b>	<b>Yes/No</b>	<b>Yes/No</b>	<b>Waiver required and supported.</b>
Planting requirements met (LDM 1.a.)	Yes	Yes	Yes	
<b>Adjacent to Public Rights-of-Way</b>				
Berm requirements met (2509.3.b.)	Yes	Yes	Yes	
Planting requirements met (2509.3.b.- LDM 1.b.)	Yes	Yes	Yes	
Street tree requirements met (2509.3.b)	Yes	Yes	Yes	
Detention Basin Plantings (LDM 1.d.(3))	NA			
<b>Subdivision requirements</b>				
R.O.W. and Street Trees (2509.3.f - LDM 1.d))	NA			

Item	Required	Proposed	Meets Requirement	Comments
Single Family	NA			
40 wide non-access greenbelt				
Street Trees				
Islands and boulevards				
Multi family	NA			
Condo Trees				
Street trees				
Foundations plantings				
Non-Residential	NA			
Interior street trees				
Evergreen shrubs				
Subcanopy trees				
Plant massing				
Basin plantings				
Loading Zone Screening (2507)	Yes	Yes	Yes	Located to rear of build & adjacent to same zoning.
Landscape Wall or Berm for OST loading zone screening (2302.A)	NA			
Wildlife Habitat Area (Wildlife Habitat Master Plan Map)	NA			
Subdivision Ordinance Appendix C - ROW Buffer Non-Access Greenbelt (402.B3, 403.F)	NA			
Subdivision Natural Features (403.C) Man-made Bodies of Water (403.D) Open Space Areas (403.E)	NA			

### **Financial Requirements Review**

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 155,207.25			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$ 2,3328.10			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

### **Financial Requirements (Bonds & Inspections)**

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 149,607.25		Does not include street trees. Includes irrigation (estimated).
Landscape Financial Guaranty	YES	\$ 224,410.87 (150%)		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 8,976.43		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater.  This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 1,346.46		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 500 (To be verified).		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	YES	\$ 15,600		\$400 per tree – Contact City Forester for Details
Street Tree Inspection Fee	YES	\$ 936		6% of the Street Tree Bond as listed above. – Contact City Forester for Details
Street tree Maintenance Fee	YES	\$ 975		\$25 per trees – Contact City Forester for Details
Landscape Maintenance Bond	YES	\$ 14,960.72		10% of verified cost estimate due prior to release of Financial Guaranty (initial permit received after October 2004)

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 2509, Landscape Design Manual and the appropriate items under the applicable zoning classification.
2. NA means not applicable.
3. Critical items that must be addressed are in bold.
4. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.
5. For any further questions, please contact:

David R. Beschke, RLA  
City of Novi Landscape Architect  
45175 W. Ten Mile Road  
Novi, Michigan 48375-3024  
(248) 735-5621  
(248) 735-5600 fax  
dbeschke@cityofnovi.org

**TRAFFIC REVIEW**

September 8, 2008

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375



**SUBJECT: Maples Manor Preliminary Site Plan, SP#08-09A, Traffic Review**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments. Items to be resolved on future submittals are highlighted in bold font.

### Recommendation

We recommend approval of the preliminary site plan, subject to the issues highlighted below being satisfactorily addressed on the final site plan. The applicant has made a number of revisions to the conceptual plan submitted as part of the PRO application that address the bulk of the concerns we noted in our letter dated June 6, 2008. A number of our comments below describe the revisions made to the preliminary site plan.

### Project Description

What is the applicant proposing?

1. The applicant, J.S. Evangelista Development, L.L.C., proposes to construct a three-story convalescent home on a 4.66-acre on the southwest corner of 14 Mile Road and Novi Road. Our understanding is that the facility will include 93 resident rooms and 184 beds. The proposed development includes three commercial driveways: two on the west side of Novi Road and one, exit-only driveway on the south side of 14 Mile Road.

### Traffic Study

Was a study submitted and is it acceptable?

2. No traffic impact assessment has been submitted. As stated in our June 3 review letter, we recommend that the Planning Commission waive the requirement for a traffic impact assessment. The City's Site Plan and Development Manual lists three possible factors to be considered by the Planning Commission when considering a waiver of a traffic impact study, one of which is "A similar traffic study was previously prepared for the site and is still considered applicable." Planning Commission can make a determination that the findings of the 1999 traffic study approved for the entire Maples PUD are applicable for the site plan proposed.



### Trip Generation

How much traffic would the proposed development generate?

- Table I forecasts the number of driveway trips potentially generated by the proposed development, based on rates published by the Institute of Transportation Engineers (ITE). A trip is a one-directional vehicle movement into or out of the site.

Table I. Trip Generation Forecast

Land Use	ITE Code	Size	Weekday Trips	AM Peak-Hour Trips			PM Peak-Hour Trips		
				In	Out	Total	In	Out	Total
Nursing Home	620	184 Beds	429	21	10	31	17	23	40

### Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

- The proposed northerly driveway on the west side of Novi Road has been relocated on the preliminary site plan in order to meet the spacing standards of the City's Design and Construction Standards (Section 11-216.d.1.d). The driveway is now 185 feet (measured near-edge to near-edge) from the south side of 14 Mile Road, as required based on the 40 mph speed limit on this section of Novi Road. The revised driveway locations meet all other driveway spacing requirements, including spacing from existing commercial driveways on the east side of Novi Road.
- As stated in our previous review, the proposed exit/right-turn only driveway on 14 Mile Road is greater than 200 ft west of Novi Road, and therefore meets the City's minimum same-side driveway spacing standard as well (14 Mile also has a 40-mph speed limit).
- Preliminary site plan now shows a maintenance access drive to the proposed detention basin on the west side of Novi Road. Our preference would be to avoid another new curb cut on Novi Road, but the need for a retention wall along the north side of the detention basin likely precludes the possibility of locating the drive on the south side of the parking lot.

### Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

- Traffic will enter the site only from Novi Road. With respect to the modest volumes of vehicles slowing to enter the site (per Table I), through traffic will benefit from the existence of both a center left-turn lane and two southbound through lanes. We do not recommend any new lanes or tapers on Novi Road.

### **Driveway Design and Control**

Are the driveways acceptably designed and signed?

8. The drives on Novi Road are shown a City-standard width of 30 ft. The proposed entering and exiting curb return radii for these drives, all 30 ft, exceed the City standard of 20 ft; however, per the footnote for DCS Fig. IX.1, we recommend that the City accept the proposed larger radii given the traffic volumes and speeds on Novi Road.
9. Relative to the previously proposed design, the one-way driveway on 14 Mile Road has been widened and angled slightly to the east. The drive approach is now dimensioned 21 feet wide (one foot wider than permitted by DCS Figure IX.2), and the widest part of the drive (measured at 90 degrees to the west curb at the start of the 2-foot radius) is about 24 feet (the 20-foot dimension on the plan is incorrect). **We recommend that the back-of-curb to back-of-curb width of this drive and its approach be a uniform 20 feet, the maximum width permitted by the City's Design and Construction Standards.** Based on our evaluation of truck maneuvering requirements, such a design will accommodate the largest vehicle likely to use this driveway.
10. The signage plan for the one-way driveway has been revised per our June 3 review letter.

### **Pedestrian Access**

Are pedestrians safely and reasonably accommodated?

11. The preliminary site plan site plan shows the revised pavement striping for the crosswalks across the west and south approaches to the Novi Road/14 Mile Road intersection to accommodate the new/reconstructed pathways along both roads. The applicant's response letter states that the existing STOP bars at the west and north approaches are located such that they can remain in their current locations. The STOP bars should be shown on the final site plan.
12. The location of all barrier-free ramps have been included on the preliminary plan as discussed in our June 3 letter.

### **Circulation**

Can vehicles safely and conveniently maneuver through the site?

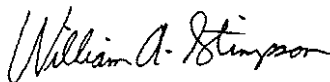
13. As noted on our letter dated June 3, maneuvering aisles on the south side of the proposed parking lot are shown as wide as 26 ft in places. **To reduce the amount of impermeable surface without impeding good circulation, all two-way maneuvering aisles should maintain a width of 24 ft (measured to face-of-curb where applicable).** Applicant's response letter dated August 4 states that the wide maneuvering lanes are necessary for truck circulation; unless this can be demonstrated graphically on the site plan by the applicant's engineer, we continue to recommend that the aisles be narrowed to the City standard. Generally, curb radius adjustments are more effective at accommodating large vehicle circulation than the use of overwidth aisles.

14. The parking stalls along the one-way aisle north of the building have been revised satisfactorily as angled spaces, consistent with Section 2506 of the Zoning Ordinance.
15. Preliminary site plan includes the additional signing for the one-way drive operation as recommended in our letter dated June 3.

Sincerely,  
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP  
Vice President



William A. Stimpson, P.E., PTOE  
Director of Traffic Engineering



David R. Campbell  
Senior Associate

# ENGINEERING REVIEW



# PLAN REVIEW CENTER REPORT

September 8, 2008

## Engineering Review

Maple Manor of Novi  
SP #08-09A

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### **Petitioner**

J.S. Evangelista Development, LLC

### **Review Type**

Preliminary Site Plan

### **Property Characteristics**

- Site Location: Southwest corner of Novi Road and Fourteen Mile
- Site Size: 4.7 acres
- Plan Date: July 21, 2008

### **Project Summary**

- Construction of a three-story, 75,900 square-foot building and associated parking. Site access would be provided by two access points on Novi Road and one right-out-only access point on Fourteen Mile.
- Water service would be provided by a connection to the existing on-site water main. A 2-inch domestic lead and an 8-inch fire lead will be provided to serve the building. Two new hydrants are proposed and one is to be relocated. Approximately 100 feet of new water main is proposed.
- Sanitary sewer service would be provided by an 8-inch extension from the existing 8-inch sanitary along the south side of 14 Mile.
- Storm water would be collected by a single storm sewer collection system and routed to an on-site detention basin sized for the 100-year storm. A permanent pool within the basin is proposed for storm water pretreatment. The basin would discharge at controlled rates to the Novi Road storm sewer system.

### **Recommendation**

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Label the master planned 60-foot half right-of-way width for Fourteen Mile Road on all relevant plan sheets. If it is the intent to dedicate the additional right-of-way to the master planned width along Fourteen Mile, label the new delineation as "proposed" right-of-way.
2. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. It could not be located in the information submitted.
3. Provide sight distance measurements for the southern Novi Road entrance in accordance with Figure VIII-E of the Design and Construction Standards. Currently, the plans only show sight distance measurements for the northern entrance.
4. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Department. Stamped concrete will not be acceptable.

Water Main

5. The response letter indicates the Liber and Page is provided for all existing water main easements, but this information could not be located on the plans.

Sanitary Sewer

6. If feasible, shift the sanitary sewer monitoring manhole to the north side of the sidewalk to avoid the need for an additional easement outside the road right-of-way.
7. Provide a sanitary sewer basis of design for the development on the utility plan sheet.

Storm Sewer

8. Show and label the roof conductors, and show where they tie into the storm sewer.

Storm Water Management Plan

9. Provide release rate calculations for all three design storm events (first flush, bank full, 100-year).
10. Provide the volume of the permanent pool (minimum first flush volume).
11. Provide a 4-foot sump and oil/gas separator in the last storm structure prior to discharge to the basin.
12. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.
13. The grass paver access should stop at the sidewalk since this type of access is not typically provided within the basin itself. Grass paver access should be provided along the access easement shown between the parking lot and the basin.

14. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
15. Label the low water, high water and freeboard elevation of the basin on the utility plan and Storm Water Management Plan. Also include the first flush and bankfull elevations on the Storm Water Management Plan.
16. The runoff coefficient for post-construction lawn area shall be a minimum of 0.35 per Chapter 5 of the Engineering Design Manual.
17. If the permanent water surface elevation within the basin is at 946, the 4-foot wide safety shelf should be at 945 (currently shown at 946).

Paving/Grading

18. The right-of-way sidewalk shall continue across each drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.

**The following must be submitted at the time of Final Site Plan submittal:**

19. A letter from either the applicant or the applicant's engineer must be submitted with the preliminary site plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
20. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. ***The cost estimate must be itemized*** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted at the time of Stamping Set submittal:**

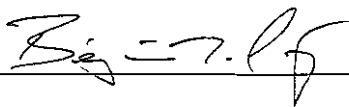
21. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
22. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
23. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

24. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

25. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
26. A permit for work within the right-of-way of Novi Road and 14 Mile must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
27. A permit for work within the right-of-way of 14 Mile must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
28. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
29. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
30. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
31. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
32. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
33. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
34. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Benjamin Croy, PE at (248) 735-5635 with any questions or concerns.



---

cc: Rob Hayes, City Engineer  
Mark Spencer, Community Development Department  
Tina Glenn, Water & Sewer Dept.



**FAÇADE REVIEW**

# **METCO SERVICES, INC.**

*ENGINEERS, ARCHITECTS, & SURVEYORS*

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

September 8, 2008

City of Novi Planning Department  
45175 W. 10 Mile Rd.  
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan Review**  
**Maples Manor (SP08-09)**  
Façade Region: 1 (10 Mile Road)  
Zoning District: R-4  
Size: **1 New Building, 3-stories – 61,583 Sq. Ft.**

Dear Ms. McBeth:

The following is the Façade Review for preliminary site plan review regarding the drawings prepared by Progressive Associates, Inc., dated June 17, 2008 for compliance with Novi Ordinance 2520; the Façade Ordinance. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column. Materials that exceed the maximum percentage allowed by the Ordinance are highlighted in bold and marked with an "X".

Drawings Dated 6-17-08	FRONT FAÇADE	REAR FAÇADE	SIDE FAÇADES	INTERIOR FAÇADES	ORDINANCE MAXIMUM
BRICK	35%	50%	52%	50%	100% (30% MIN)
STONE	15%	0%	5%	0%	50%
CEMENT FIBER TRIM/SIDING	<b>20%X</b>	<b>16%X</b>	<b>17%X</b>	<b>15%X</b>	0%
ASPHALT SHINGLES	<b>30%X</b>	<b>34%X</b>	<b>26%X</b>	<b>35%X</b>	25%

#### Comments:

1. The percentage of Cement Fiber Trim and Siding exceeds the ordinance maximum on all facades. The percentage of Asphalt Shingles exceeds the ordinance maximum on all facades.
2. We would point out that in a previous submittal for this project, gable roofs and balconies were indicated on the rear façade. We recommended at that time that that design exhibited better massing and proportion. The applicant has chosen not to incorporate the gable roofs and balconies.
3. The drawings indicate that the trash enclosure and 4'-6" screen wall will be composed of poured concrete with simulated brick pattern. This material is prohibited in façade region 1. Dumpster enclosure walls should match the (brick) building.
4. The intent of the façade ordinance paragraph 2520.3 entitled Roof Appurtenances is to provide screening for all HVAC and utility fixtures that are within public view. This applies to ground and wall mounted fixtures. We would point out that the applicant will be required to indicate locations and methods of screening of such items prior to final approval. Screening materials must be consistent with the building's façade materials (brick).

5. The City of Novi requires a Façade Inspection for all projects. The inspection will use the actual material sample board, approved by the Planning Commission, to check it against the actual materials delivered to the site. A materials sample board is required for this project showing the exact material selections to be used with regards to the facades.

**Recommendations:**

1. On the rear façade cement fiber siding (James Hardie Siding) is used only on walls which are inset from adjacent projecting bays and as such are substantially concealed from view. The use of this material is consistent with the overall design and massing of the building. Therefore, a Section 9 Waiver is recommended for the use of cement fiber siding on the rear elevation.
2. On all facades the use of cement fiber trim around windows and projecting bays is consistent with the design and massing of the building and generally enhances the overall design. Therefore, a Section 9 Waiver is recommended for the use of Cement Fiber Trim.
3. With respect to the excessive percentage of asphalt shingles, we would recommend a Section 9 Waiver contingent upon the applicant incorporating design elements to mitigate the visual effect of the large expanse of shingles. We would suggest that this could be accomplished by adding the gable roof mentioned in comment number 2 above, and adding decorative dormer windows on the front and rear facades.

**It is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and a Section 9 Waiver is recommended, contingent upon the addition of decorative dormer windows on the front and rear facades, or other equal method of mitigating the expanse of asphalt shingles suitable to the Planning Commission.**

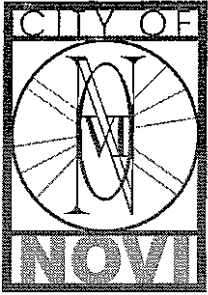
If you have any questions regarding this matter, please contact me at your convenience.

Sincerely,  
Metco Services



Douglas R. Necci AIA

# FIRE REVIEW



September 5, 2008

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Maples Manor, Novi Rd. & Fourteen Mile Rd., southwest corner

SP#: 08-09A, Preliminary Site Plan (Revised Conceptual/PRO)

**CITY COUNCIL**

Mayor  
David B. Landry

Mayor Pro Tem  
Kim Capello

Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

**City Manager**  
Clay J. Pearson

**Fire Chief**  
Frank Smith

**Deputy Fire Chief**  
Jeffrey Johnson

**Project Description:**

3 story, 75,965 S.F., 100 bed Assisted Living facility with 4 Critical Care Beds

**Comments:**

The items noted in my June 17<sup>th</sup> letter have been addressed with the following exceptions that shall be corrected with their plan submittal.

3. The location where the fire protection and domestic water mains enter the building shall be reconsidered. As proposed, they will be installed under the building for the entire width to the mechanical room in the rear. The leads should enter from the west side to the mechanical room.  
***The applicant has replied that the water service and the fire line locations have remained unchanged. According to NPFA 24, Standard for the Installation of Private Fire Service Mains, Section 10.6.1: Pipe shall not be run under buildings. This issue needs to be addressed.***
5. The fire hydrant proposed at the southwest corner of the building shall be relocated 100' north or another hydrant shall be added at the northwest corner.  
***This hydrant was relocated as requested however it appears to be situated too far off of the road. It shall be at least 10' but not more than 15' from back of curb.***  
***DCS 11-68 (f)(1)a***

**Recommendation:**

The plan is **Recommended for Approval** with the above items being corrected on the next plan submittal.

Sincerely,

Michael W. Evans  
Fire Marshal

cc: file

**Novi Fire Department**  
42975 Grand River Ave.  
Novi, Michigan 48375  
248.349-2162  
248.349-1724 fax

cityofnovi.org

**APPLICANT RESPONSE LETTER(S)**

September 17, 2008

City of Novi  
Planning Commission  
45175 West 10 Mile Road  
Novi, Michigan 48375

Attention: Mr. Mark Spencer, Planner

Re: **Preliminary Site Plan Review SP#08-09**  
**Maple Manor of Novi**  
Novi Road & 14 Mile Road  
N&F Job No. F197

Dear Sirs:

The following letter is a response to the various departmental review comments pertaining to the above noted project. The responses are in order of the review letters received. Any indicated changes will be reflected in the Final Site Plan submittals, as is customary for the City of Novi.

**Planning Review of PSP and Special Land Use Permit – September 5, 2008**

1. The plans will be revised to reflect painted crosswalks to delineate the walkways that pass under the building canopies and cross the parking lot driveways.
2. After reviewing an alternate orientation for the dumpster, the applicant has concluded to propose the location and orientation to remain as indicated on the submitted plans.
3. Any outstanding parking island dimensions will be included with the Final Site Plan submission.
4. The applicant will include the suggested “No Parking Loading Zone” signs with the Final Site Plan submission.
5. No roof top or wall mounted units have been depicted since no such units are being considered. It is anticipated that any mechanical units will be located within the courtyard of the loading/unloading area. There is sufficient space and the location is screened from public view.
6. Enclosed please find a completed “Project and Street Name Request Form” for review. The proposed project name is “Maple Manor Rehab Center of Novi.”

**Lighting Review – August 27, 2008**

1. Photometric data for HD fixture will be provided with the Final Site Plan submission.
2. The proposed convalescent facility will be continually staffed, 24 hours a day, seven days per week. Therefore, it can be inferred that the hours of operation will be 24 hours. This will be noted in the Final Site Plan submission.
3. The lighting design will be revised to ensure the 0.6 through 0.8 fc illumination levels fall within the 0.5 fc maximum requirement. These changes will be included in the Final Site Plan submission.

4.

**Environmental Consulting & Technology, Inc. (Wetland Review) – September 8, 2008**

1. The buffer impact areas and water course fill volumes have been provided to the Planning Department in an email correspondence. The fill volume is approximately 2,580 cubic yards. The 25' buffer area that would be removed as a result of filling the detention pond would be approximately 23,990 square feet. This information will be added to the plans for the Final Site Plan submission.
2. The required impact areas and buffer areas will be depicted on the Final Site Plan submission.
3. We understand that there are three watercourse impact areas that are of concern. The westernmost area is 0.02 acres. The southernmost area is 0.16 acres and the third area is 0.40 acres. This information, along with the fill volume(s) will be included in the Final Site Plan submission for permitting purposes.
4. Construction details of the proposed oil/gas separator structure and mechanical forebay will be provided with the Final Site Plan submission.

**Environmental Consulting & Technology, Inc. (Woodland Review) – September 8, 2008**

Please refer to the enclosed letter by Mr. George A. Ostrowski, Jr., RLA, dated September 17, 2008.

**Preliminary Landscape Review – August 25, 2008**

Please refer to the enclosed letter by Mr. George A. Ostrowski, Jr., RLA, dated September 17, 2008.

**Birchler Arroyo Associates, Inc. – Traffic Review – June 6, 2008**

1. The back-of-curb to back-of-curb width for the one-way exit approach will be revised from 21-feet to 20-feet in the Final Site Plan submission.
2. The existing stop bar pavement markings for both 14 Mile Rd. and Novi Rd. will be depicted on the Final Site Plan submission to substantiate the information forwarded in our letter of August 4, 2008.
3. A truck circulation plan will be included in the Final Site Plan submission to substantiate the need for wider maneuvering lanes than the City of Novi minimum lane widths.

**Engineering Review – June 18, 2008**

As stated by the engineer, the comments provided will be addressed with the Final Site Plan submission. All construction drawings will conform to City of Novi Engineering requirements.

**Facade Ordinance – Metco Services, Inc. – June 20, 2008**

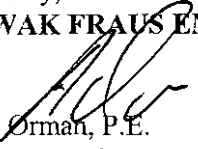
Please refer to the enclosed letter from Progressive Associates, Inc.



City of Novi - Planning Commission  
Re: Site Plan Review SP#08-09  
Maple Manor of Novi  
September 17, 2008  
Page 3 of 3

We trust the above satisfactorily address the comments and concerns of the departmental reviews, and look forward to discussing these matters at the next available Planning Commission meeting.

Sincerely,  
**NOWAK FRAUS ENGINEERS**

  
Alex Orman, P.E.  
Senior Associate

Encl. (3)

c.c. Mr. Marcus Evangelista, Maple Manor Rehab Center, 39999 Venoy Rd., Wayne, MI 48184

NOWAK & FRAUS, PLLC

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1310 N. STEPHENSON HWY, ROYAL OAK, MI 48067 248.399.0886 VOICE 248.399.0805 FAX

September 17, 2008

City of Novi  
Planning Commission  
45175 West 10 Mile Road  
Novi, Michigan 48375

Attention: Mr. Mark Spencer, Planner

Re: **Landscape and Woodland Review SP#08-09**  
**Maple Manor of Novi**  
Novi Road & 14 Mile Road  
N&F Job No. F197

Dear Sirs:

The following letter is in response to the landscape review comments dated September 10, 2008, pertaining to the above noted project.

**Landscape Review** (dated 0825/08)

1. Although electrical transformers are not shown, it is anticipated that any such additional mechanical equipment will be located within the service court area located at the northwest portion of the building. In the event that a transformer is located outside this screened area, all screening will comply with the City of Novi requirements.
2. Areas for snow deposition have already been identified on the plan, keyed with a triangle to depict pile areas. These locations will be coordinated with maintenance personnel.
3. An irrigation plan will be prepared upon approval of the preliminary site plan.

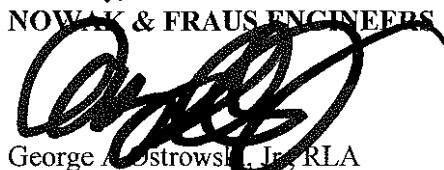
**Woodland Review** (dated 09/08/08 per ECT)

1. Calculations for tree removals and replacement will be corrected to reflect those in the review letter by ECT, when submitted for final site plan approval. As noted in the review letter the change does not impact the overall completeness of the plan.

We believe that the aforementioned revisions address the comments and concerns of the departmental reviews, and look forward to discussing the matter at the next available Planning Commission meeting.

Sincerely,

**NOWAK & FRAUS ENGINEERS**



George A. Ostrowski, Jr., RLA  
Associate

NOWAK & FRAUS, PLLC

**Progressive**  
**Progressive Associates, Inc.**  
**Architects**

September 17, 2008

Mr. Mark Spencer, AICP  
Planner  
Community Development Department  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375

RE: Maple Manor of Novi  
SP No 08-09A

Dear Mr. Spencer:

The following response is offered pursuant to the Façade Review prepared by Mr. Douglas R. Necci, AIA, METCO Services, Inc. dated September 8, 2008.

1. Facade elevations will be modified to add "brick projections/building offsets" with gable roof details. The intent is to reduce the amount of cement-fiber siding and trim and visible asphalt shingles that would occur with the use of "hip roof" details.  
(Note: See attached elevation sketches)

The proposed "projections" will also aid in mitigating the mass of the building and enhance the overall design.

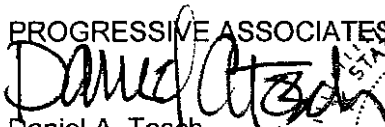
Further, we would anticipate that the overall cement-fiber siding/trim will be reduced by 10-15% and the visible asphalt shingle façade will be reduced by approximately 10%.

Complete Building Elevations will be provided for final review and approval.

2. The Trash Enclosure Walls and Screen Wall will be revised to indicate brick veneer that will match the building.

Should additional clarification be necessary, please feel free to contact us.

Sincerely,

PROGRESSIVE ASSOCIATES, INC. MICHIGAN  
  
DANIEL A. TOSCH  
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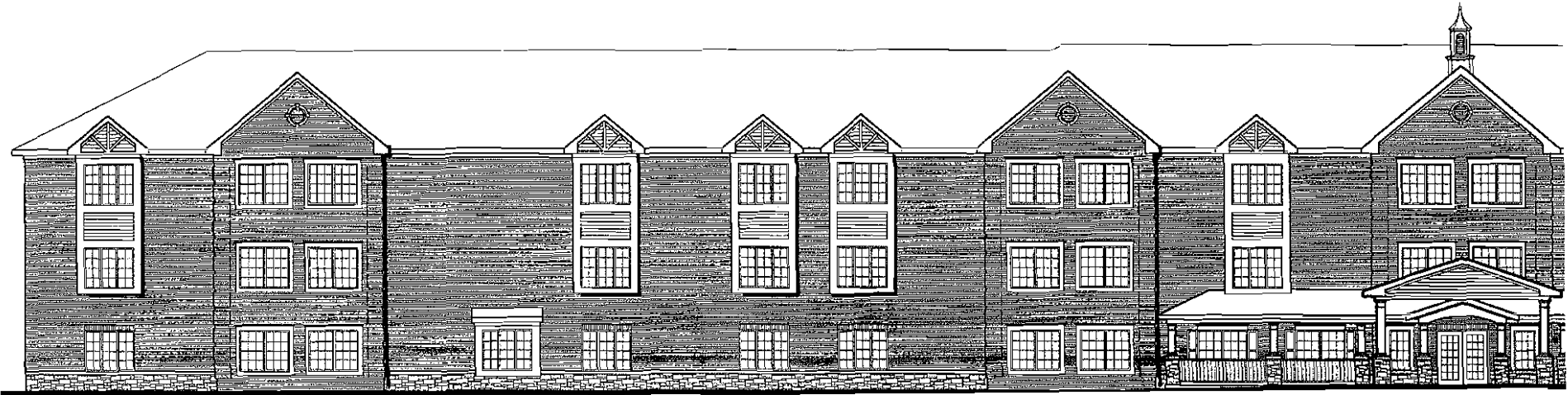
PARTIAL WEST ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

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September 17, 2008



PARTIAL WEST ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

SK2

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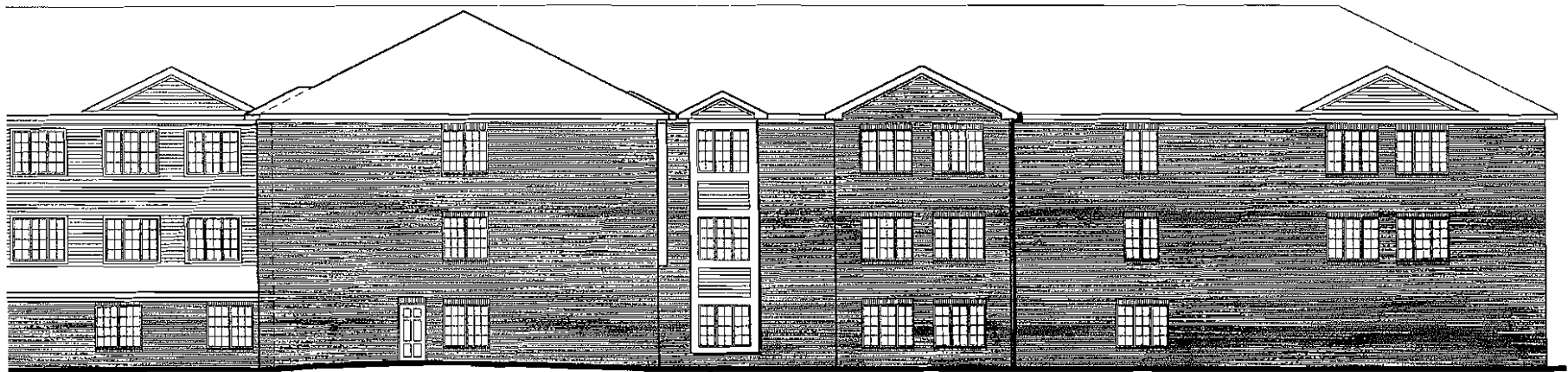
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SOUTH ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

SK3



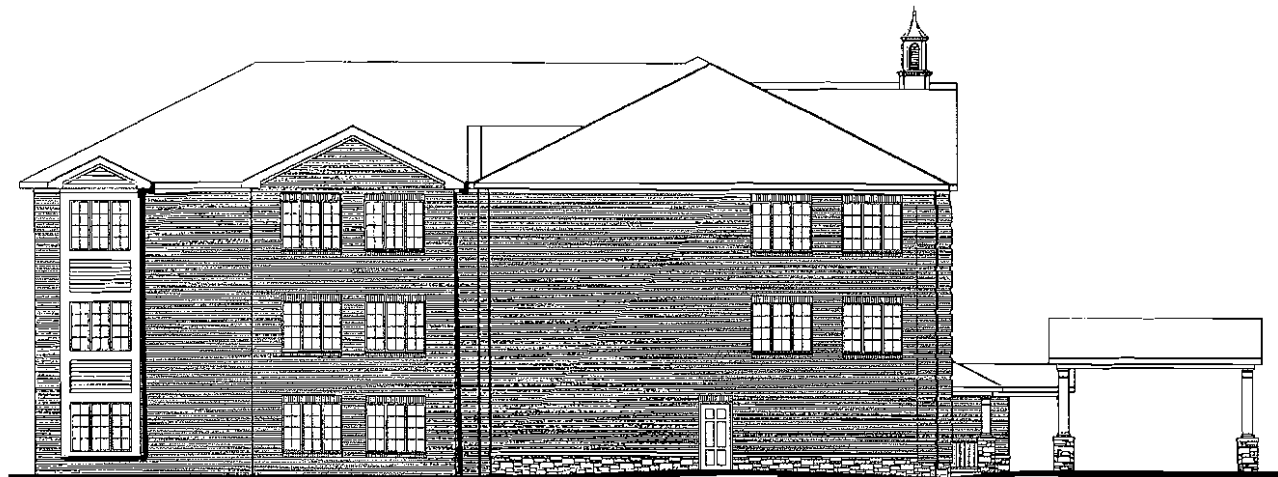
PARTIAL EAST ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

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September 17, 2008



TYPICAL COURTYARD/ NORTH ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

SK5



**MAPS**

**See Rezoning 18.682 Packet**

**REDUCED SITE PLAN**

**See Rezoning 18.682 Packet**

**REDUCED SITE PLAN**

