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Mackenzie North Technology Centre SP 08-25

MACKENZIE NORTH TECHNOLOGY CENTRE, SP08-25

Consideration of the request of Northern Equities Group for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located in Section 1, at the northwest corner of Mackenzie Drive and Haggerty Road, north of Thirteen Mile, in the OST, Planned Office Service Technology District. The subject property is approximately 6.09 acres and the applicant is proposing to construct a speculative 55,187 square foot one-story general office building.

Required Action

Approval/denial of the Preliminary Site Plan and Storm Water Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	06/20/08	Minor items to be addressed at time of Final Site Plan submittal.
Landscaping	Approval recommended	06/24/08	Minor items to be addressed at time of Final Site Plan submittal.
Traffic	Approval recommended	06/23/08	Minor items to be addressed at time of Final Site Plan submittal.
Engineering	Approval recommended	06/20/08	Minor items to be addressed at time of Final Site Plan submittal.
Façade	Approval recommended	06/19/08	Minor items to be addressed at time of Final Site Plan submittal.
Fire	Approval recommended	06/17/08	Minor items to be addressed at time of Final Site Plan submittal.

Motions

Approval – Preliminary Site Plan

In the matter of Mackenzie North Technology Centre, SP 08-25, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

for the following reasons... *(because it is otherwise in compliance with Article 23A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

Approval – Storm Water Management Plan

In the matter of Mackenzie North Technology Centre, SP 08-25, motion to **approve** the Storm Water Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

for the following reasons...*(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Denial - Preliminary Site Plan

In the matter of Mackenzie North Technology Centre, SP 08-25, motion to **deny** the Preliminary Site Plan, for the following reasons... *(because it is not in compliance with the Ordinance.)*

Denial - Storm Water Management Plan

In the matter of Mackenzie North Technology Centre, SP 08-25, motion to **deny** the Storm Water Management Plan, for the following reasons... *(because it is not in compliance with Chapter 11 of the Ordinance.)*

PLANNING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

June 20, 2008

Planning Review

Mackenzie North Technology Centre

SP #08-25

Petitioner

Northern Equities Group (Joseph M. Drolshagen)

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Northwest corner of Mackenzie Drive and Haggerty Road, north of 13 Mile Road
- Site School District: Walled Lake Consolidated Schools
- Site Zoning: OST, Planned Office Service Technology
- Adjoining Zoning: North, West and South: OST; East: RP2 (Planned Residential District) (City of Farmington Hills)
- Site Use(s): Vacant land in the Haggerty Corridor Corporate Park
- Adjoining Uses: North, West and South: Vacant land; East: Existing Single Family Residential (City of Farmington Hills)
- Site Size: 6.09 acres
- Proposed Building Size: 55,187 square feet
- Plan Date: Site Plan 05/01/08

Project Summary

The applicant is proposing to construct a speculative 55,187 square foot one-story general office building at the northwest corner of Mackenzie Drive and Haggerty Road, north of 13 Mile Road.

Recommendation

Approval of the ***Preliminary Site Plan is recommended***. The plan is generally in compliance with the Zoning Ordinance and there are only minor Planning related items to be addressed at the time of Final Site Plan submittal.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 23A (OST, Planned Office Service Technology District), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Applicable sections of the Zoning Ordinance and other regulatory documents are highlighted in gray on the attached chart. Items in **bold** below must be addressed by the applicant or Planning Commission before Preliminary Site Plan Approval may be granted.

1. Plan Inconsistencies: There appear to be several inconsistencies throughout the plan set from sheet to sheet. **The applicant should examine the entire Preliminary Site Plan package and correct these inconsistencies for the Final Site Plan submittal.**

2. Refuse Bins: Screening of the refuse bins must be one foot taller than the height of the bins themselves. **The applicant should indicate the height of the proposed refuse bins.**
3. Exterior Lighting: **The applicant should add the required notes shown in the Lighting Review Chart to the photometric plan.**
4. At this time, no property combination or split has been submitted and the Community Development Department has not received a request for condominium approval that would affect the subject property. The applicant must create this parcel prior to Stamping Set approval. Plans will not be stamped until the parcel is created.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the matter being reviewed by the Planning Commission.** Additionally, a letter from the applicant is requested to be submitted with the next set of plans submitted highlighting the changes made to the plans addressing each of the comments listed above.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. To give you an advance notice of the requirements and what must be in place prior to the Pre-Con, a sample Pre-Con checklist is attached. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, Planner

Attachments: Planning Review Chart
Lighting Review Chart

Planning Review Summary Chart

Mackenzie North Tech Centre

SP# 08-25

Preliminary Site Plan

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Office	Office	Yes	
Zoning	OST	OST	Yes	
Use	Various office and accessory uses	Single Story office building	Yes	
Building Height (Sec. 2400)	Maximum 46 feet	Maximum approximately 25 feet	Yes	
Building Setbacks (Section 2400)				
Front (south)	50 feet	82 feet	Yes	
Exterior Side (east)	50 feet	157 feet	Yes	
Interior Side (west)	50 feet	94 feet	Yes	
Rear (north)	50 feet	68 feet	Yes	
Parking Setbacks (Section 2400)				
Front (south)	20 feet	22 feet	Yes	
Exterior Side (east)	20 feet	22 feet	Yes	
Interior Side (west)	20 feet	22 feet	Yes	
Rear (north)	10 feet	22 feet	Yes	
Number of Parking Spaces (Sec. 2505)	1/222 sq. ft. GLA = 249 spaces required	267 spaces	Yes	
Parking Space Dimensions (Sec. 2506)	9' x 19' parking space dimensions and 24' wide drives. 9' x 17' parking space dimensions and 24' wide drives where 4" curbs are indicated.	9' x 19' parking space dimensions with 24' wide drive. 9' x 17' with 24' wide drives.	Yes	
Barrier Free Spaces (Barrier Free Code)	7 accessible spaces; 2 spaces must be van accessible	12 barrier free spaces proposed (4 van accessible)	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle (8' wide access aisle for van accessible)	8' wide with a 5' wide access aisle (8' wide access aisle for van accessible)	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space.	One barrier free sign shown per space	Yes	

Mackenzie North Technology Centre – PSP Chart

Item	Required	Proposed	Meets Requirements?	Comments
<p>Loading Spaces (Sec. 2507)</p>	<p>5 square feet per front foot of building = 374 x 5 = 2,110 sq. ft. up to 360 sq. ft.</p> <p>All loading shall be in the rear yard or interior side yard if double fronted lot.</p>	<p>Approx. 3,353 sq. ft. provided in the rear yard.</p>	<p>Yes</p>	
<p>Loading Space Screening (Sec. 2302A.1)</p>	<p>In the OST District, view of loading and waiting areas must be shielded from rights of way and adjacent properties.</p>	<p>Loading area screened by u-shaped building.</p>	<p>Yes</p>	
<p>Accessory Structure Setback-Dumpster (Sec. 2503)</p>	<p>Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached to the building and setback the same as parking from all property lines; in addition, the structure must be in the rear or interior side yard.</p>	<p>Dumpster located in the rear yard and setback appropriately.</p>	<p>Yes</p>	
<p>Dumpster (Chap. 21, Sec. 21-145)</p>	<p>Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Enclosure to match building materials and be at least one foot taller than height of refuse bin.</p>	<p>6' tall enclosure to match proposed building shown with interior posts</p>	<p>Yes</p>	<p>Applicant should indicate height of dumpster.</p>

Mackenzie North Technology Centre – PSP Chart

Item	Required	Proposed	Meets Requirements?	Comments
Exterior Signs	Exterior Signage is not regulated by the Planning Department or Planning Commission.			Please contact Alan Amolsch (248.347.0436) in the <u>neighborhood services department</u> .
Exterior Lighting (Sec. 25.11)	Photometric plan and exterior lighting details needed at final site plan.	Lighting plan provided.	Yes	See attached lighting review chart.
Sidewalks (City Code Sec. 11.276(b))	A 5' wide sidewalk shall be provided along Haggerty Road as required by the City's Pedestrian and Bicycle Master Plan. Building exits must be connected to sidewalk system or parking lot.	A 5' sidewalk is proposed along Mackenzie Drive and Haggerty Road and along three sides of the building.	Yes	

Prepared by Kristen Kapelanski, (248) 347-0586 or kkapelanski@cityofnovi.org

Lighting Review Summary Chart

Mackenzie North Technology Centre

Preliminary Site Plan

Plan Date: 05/01/08

Bolded items must be addressed at the time of Stamping Set Submittal

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> • Photometric data • Fixture height • Mounting & design • Glare control devices • Type and color rendition of lamps • Hours of operation • Photometric plan 	Yes	
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	<ul style="list-style-type: none"> • Electrical service to light fixtures shall be placed underground • No flashing light shall be permitted • Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation. 	No	Applicant should include the required notes on the photometric plan.

Item	Required	Meets Requirements?	Comments
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> • Parking areas 0.2 min • Loading and unloading areas 0.4 min • Walkways 0.2 min • Building entrances, frequent use 1.0 min • Building entrances, infrequent use 0.2 min 	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

June 24, 2008

Preliminary Landscape Review

Mackenzie North SP08-25

Petitioner

Northern Equities Group

Property Characteristics

- Site Location: Haggerty Road / Mackenzie Drive
- Site Zoning: OST
- Site Use(s): Office
- Plan Date: 5/1/08

Ordinance Considerations

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 20' wide greenbelt along the right-of-ways is required and has been provided.
2. Required greenbelt Canopy/ Large Evergreen at 1 per 35 LF have been provided.
3. Required Sub-canopy Trees at 1 per 20 LF have been provided.
4. Twenty five foot clear vision areas have been provided as required.
5. A cross section for a typical landscape berm has been provided as required.

Street Tree Requirements (Sec. 2509.3.b.)

1. Street Trees have been provided at one per 35 LF under the current Ordinance.
2. Please note that a permit would be required from the RCOC for planting and site work within the Haggerty right-of-way.

Parking Landscape (Sec. 2509.3.c.)

1. A total of 7,262 SF of interior parking landscape area is required. The Applicant has met this requirement.
2. A total of ninety-seven (97) Parking Lot Canopy Trees are required. The Applicant has met this requirement.
3. Snow storage areas have been shown on the plans.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. The Applicant has met this requirement.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required at the entire building foundation with the exception of access areas. The Applicant has met this requirement.
2. A total of 14,908 SF of building foundation landscape is required. The Applicant has met this requirement. Please identify all shrubs and perennials.

Plant List (LDM)

1. The Plant List meets the requirements of the Landscape Ordinance and Landscape Design Manual. All related costs have been provided.

Landscape Notes (LDM)

1. Landscape Notations meet the requirements of the Landscape Ordinance and Landscape Design Manual.

Planting Details (LDM)

1. The Planting Details meet the requirements of the Landscape Ordinance and Landscape Design Manual.

Irrigation (Sec. 2509 3.f.(6)(b))

1. *Please submit an Irrigation Plan with subsequent submittals.*

General Comments

1. Dumpster enclosures have been located to the rear of the building and have been properly screened.
2. Loading zones have been appropriately located to the rear and within the "courtyard" of the building. Please see the Traffic and Planning Reviews for comments regarding loading zone configurations.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.



Reviewed by: David R. Beschke, RLA

TRAFFIC REVIEW

June 23, 2008

Ms. Barbara E. McBeth
Deputy Director Community Development
45175 West Ten Mile Road
Novi, MI 48375-3024



Re: Mackenzie North – Preliminary – 1st Review
SP No. 08-25
OHM Job No. 163-08-0122

As requested, we have reviewed the preliminary site plan submitted for the proposed Mackenzie North Tech Center. The plans were prepared by AR Decker & Associates, Inc. and are dated May 12, 2008.

OHM RECOMMENDATION

At this time, we recommend approval of the preliminary site plan, subject to the items listed below being addressed prior to final plan submittal.

DEVELOPMENT BACKGROUND

- The site is currently zoned as OST (Office Service Technology).
- The property contains approximately 6.1 acres.
- A single-story 55,187 SFT office building is proposed.

ROADWAY NETWORK

The development is located west of Haggerty on the north side of 13 Mile Road. Haggerty Road is functionally classified as an arterial route with a posted speed of 45 mph. and is under the jurisdiction of the Road Commission of Oakland County (RCOC). 13 Mile Road is considered a minor arterial with a posted speed limit of 40 mph, and falls within the jurisdiction of the City of Novi. The developer has proposed two driveways on Mackenzie Drive, and a single cross-access stub to the west.

SITE PLAN CORRECTIONS

1. Plan Sheet Inconsistencies: We note several inconsistencies between the architectural and engineering plan sheets, SP-1 and SP.101. These inconsistencies include the number of parking spaces provided (as stated in the parking calculations), the size and number of proposed loading zones, use of "No Parking Loading Zone" signs, and presence of sidewalk ramps near access aisles for handicap parking.

We also note inconsistencies between the details on SP-1 and SP.102. For example, the bottom sign height for the handicap parking signs varies by plan sheet. Details for the dumpster enclosure are also shown on both plan sheets, and appear to vary slightly.

In order to minimize these inconsistencies, and to eliminate confusion during construction, we recommend that the architectural and engineering site plan sheets be consolidated into a single overall site plan. Details should also only be shown in a single location, and should not be duplicated on multiple sheets. All ramp types should be clearly labeled on the site plan sheet, and all traffic signs should be shown on a single sheet.

2. Retaining Wall: The plans should include a detail for the proposed retaining wall. Also, the distance between the curb and retaining wall should be clearly dimensioned on the site plan. If this dimension

is less than 10', then there should be guardrail provided in areas where active traffic circulation is adjacent to the retaining wall.

3. Truck Turning Template: We note that there appear to be multiple bays for each proposed loading zone. However, we believe that it may be difficult to maneuver in/out of the loading bay nearest the interior corners of the building (near the "Loading Zone" labels on SP-1). We also question whether a large truck would be able to turn from the main circulation aisle (around the site perimeter) into the parking/loading area on the north side of the building.

Please provide a truck turning movement template demonstrating that commercial vehicles would be able to make this turn, and would be able to maneuver in/out of the aforementioned loading zone spaces.

4. Loading Zone: On Sheet SP-1, there are several areas with cross-hatching shown, but not labeled. It is unclear whether the pavement in this area will be flush with the parking lot, and what the intended use will be. Please provide labels to clarify.
5. Traffic Signs: We note several proposed signs on the south side of Mackenzie Drive, on another site. We presume these signs are part of another site, and are not proposed specifically for the Mackenzie North site. If this is the case, the labels should be revised to indicate as such. (SP-1, SP.101)

Symbolic "Keep Right" (R4-7a) signs should be added on the north ends of both driveway splitter islands. The plans currently show these signs only on the south end (facing inbound site traffic). The sign table should be updated accordingly.

"No Parking Loading Zone" (R7-6) signs should be shown on Sheet SP-1, and should be added to the sign quantity table.


6. Sign Quantity Table: A traffic sign quantity table should include dimensions for each sign. Also, the following corrections in the table should be made: the proper spelling of "Accessible" should be used; the description for the R1-1 should simply read "Stop" in quotations; the sign code and description for the Fire Lane signs should be revised to read "R7-9a MOD No Parking Fire Lane".

If you have any concerns or questions, please feel free to contact us at 734-522-6711.

Sincerely,
Orchard, Hiltz & McCliment, Inc.



Stephen B. Dearing, P.E., PTOE.
Manager of Traffic Engineering



Sara A. Merrill
Traffic Engineer

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

June 20, 2008

Engineering Review

Mackenzie North Technology Centre
SP #08-25

Petitioner

Northern Equities Group

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: N. of 13 Mile Road, W. of Haggerty Road.
- Site Size: 6.09 acres
- Plan Date: May 12, 2008

Project Summary

- Construction of an approximately 55,187 square-foot office building and associated parking. Site access would be provided two approaches off of Mackenzie Drive.
- Water service would be provided by an 8-inch extension from the existing 8-inch water main along the south side of Mackenzie Drive. A 2-inch domestic lead and an 8-inch fire lead will be provided to serve the building, along with three additional hydrants.
- Sanitary sewer service would be provided by an existing stub in the southwest corner of the property left as part of Haggerty Corridor Corporate Park Phase II.
- Storm water would be collected by a single storm sewer collection system and detained at Basin E (per Haggerty Corridor Corporate Park Phase II).

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. A sheet index shall be provided on the cover sheet.
4. Show a hatched area on relevant sheets representing the ingress/egress easement (24 feet wide) from the Mackenzie Drive entrance to the secondary connection to the adjoining property.
5. Show and label the master planned half right-of-way widths for Mackenzie Drive.
6. Provide a traffic control plan for the proposed road work activity (City roads).
7. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
8. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
9. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur.

Water Main

10. A 20-foot (10-foot off center) easement shall be required for all water mains 8-inches or greater in diameter.
11. Profiles shall be required for all water mains with an 8-inche diameter or greater.
12. All hydrant leads greater than 25-feet in length shall have a minimum diameter of 8-inches.
13. Show and label the proposed stop box for the domestic water lead as well as the on the plan.
14. Consider leaving a short stub along the east side of the property. Otherwise, the water main stub along Haggerty Road shall terminate with a hydrant followed by a valve well. If the hydrant is not a requirement of the development for another reason the hydrant can be labeled as temporary allowing it can be relocated in the future.

Sanitary Sewer

15. Provide a sanitary easement for access up to the monitoring manhole.
16. Show all existing sanitary sewer easements.
17. Provide a sanitary sewer basis of design for the development on the utility plan sheet.
18. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5.

19. Provide a note on the Utility Plan stating the sanitary lead will be buried at least 5 feet deep if a portion of the lead is proposed within the influence of pavement.

Storm Sewer

20. Provide storm sewer profiles and calculations at the time of final site plan submittal.
21. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
22. Label the second storm sewer stub to the southwest corner of the site.
23. Any storm sewer conveying off-site drainage shall have a 20-foot (10-foot off center) storm water easement.

Storm Water Management Plan

24. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.

Paving & Grading

25. All pavements within the City of Novi right-of-way shall match the adjacent road cross section. The proposed cross section shows 4-inches of compacted sand between the 21AA aggregate base and 9-inch concrete section. This currently exceeds the existing Mackenzie Drive cross section. Consider revising.
26. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls comply with Michigan Barrier-Free regulations.
27. Detectable warning surfaces are required at all barrier free ramps, hazardous vehicular crossings and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the MDOT standard detail (R-28-F) for detectable surfaces.
28. Label specific ramp locations on the plans (or label as typical), and specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Department. Stamped concrete will not be acceptable.
29. Provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.
30. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and signs. Note on the plan any location where the 3-foot separation cannot be provided.
31. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance.
32. Label the required 4-Inch curb for all curb adjacent to a 17-foot stall.

Off-Site Easements

33. Any off-site utility easements anticipated must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.

The following must be provided at the time of Preliminary Site Plan resubmittal:

34. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be submitted at the time of Final Site Plan submittal:

35. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

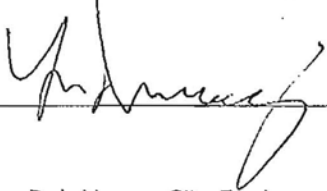
36. A draft copy of the private ingress/egress easement for shared use of the drive entry Mackenzie Drive must be submitted to the Community Development Department.
37. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
38. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
39. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

40. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
41. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
42. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
43. A permit for work within the right-of-way of Mackenzie Drive must be obtained from the City of Novi. The application is available from the City Engineering Department

- and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
44. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
 45. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
 46. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
 47. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
 48. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Lindon Ivezaj at (248) 735-5694 with any questions.



cc: Rob Hayes, City Engineer
Kristen Kapelanski, Planner
Tina Glenn, Water & Sewer Dept.

FAÇADE REVIEW

METCO SERVICES, INC.

ENGINEERS, ARCHITECTS, & SURVEYORS

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

June 19, 2008

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: FACADE ORDINANCE – Preliminary Site Plan Review
Mackenzie North Technology Centre
SP08-25
Façade Region: 1
Zoning District: OST
Size: (1) Building – 55,187 Sq. Ft.

Dear Ms. McBeth:

The following is the Façade Review for preliminary site plan review regarding the drawings prepared by Biddison Architecture, dated 5-01-08 for compliance with Novi Ordinance 2520; the Façade Ordinance. The percentages of materials proposed are as shown below. A "check" by the percentage signifies that the range is within the ordinance guidelines, while an "x" indicates an overage. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column.

Drawings Dated 5-01-08	NORTH FACADE	SOUTH FACADE	EAST FACADE	WEST FACADE	ORDINANCE MAXIMUM
NATURAL BRICK	87.9% ✓	81.0% ✓	82.6% ✓	82.6% ✓	100% (30% Min.)
CAST STONE	4.4% ✓	10.7% ✓	9.5% ✓	9.5% ✓	25%
FLAT METAL PANEL	7.7% ✓	8.3% ✓	7.9% ✓	7.9% ✓	50%

Recommendations:

1. The percentages of proposed materials are in compliance with the façade chart.
2. The materials sample board that was approved for the Mackenzie South Technology Centre (SP07-70) will be used for this proposal – materials to match exactly.
3. The trash enclosure utilizes face brick that will match the color, scale and texture of the building.
4. Roof appurtenances are screened from view.
5. The City of Novi requires a Façade Inspection for all projects. The inspection will use the approved material sample board to check it against the actual materials delivered to the site

It is our recommendation that the proposed building meets the intent and purpose of the façade ordinance and that a Section 9 Waiver is not required.

If you have any questions regarding this matter, please contact me at your convenience.

Sincerely,
Metco Services

Douglas R. Necci, AIA

FIRE REVIEW



248.349-2162
248.349-1724 fax

cityofnovi.org

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Kim Capello

Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

City Manager
Clay J. Pearson

Fire Chief
Frank Smith

Deputy Fire Chief
Jeffrey Johnson

June 17, 2008

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Mackenzie North Technology Center

SP#: 08-25, Preliminary Site Plan

Project Description:

55,187 S. F., Single Story, Office/High Tech Building

Comments:

None with this review.

Recommendation:

The above plan is **Recommended for Approval.**

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

APPLICANT RESPONSE LETTER(S)

July 1, 2008

City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

Attn: Ms. Kristen Kapelanski

Re: Mackenzie North Technology Centre
Site Plan Review # 08-25

The following are responses to comments for the listed review items. Please note the item numbers used correspond to the item numbers of each original comment.

City of Novi – Engineering Review – June 20, 2008

General:

1. A note will be included on the Construction plans.
2. Standard detail sheets have been included with the stamping sets.
3. A sheet index will be provided on the cover sheet.
4. The ingress/egress easement will be hatched so as to be more defined.
5. The half right-of-way width will be labeled.
6. It is assumed that the construction within the right-of way will occur prior to Mackenzie Drive being accepted as a City road, if this is not the case a traffic control plan will be included.
7. An estimated quantities table will be included with the stamping sets.
8. A utility crossing table will be included with the construction plans.
9. Light pole location and depth vs utilities will be indicated on the construction plans.

Water Main

10. Watermain easements will be indicated and dedicated as typically required.
11. All required watermain profiles will be provided with the construction plans.
12. All hydrant leads will conform to City standards.
13. The domestic water lead stop box will be indicated.
14. An additional hydrant (temporary) will be added to the end of the watermain extension along Haggerty Road.

Sanitary Sewer

1

15. The appropriate easements will be provided with the construction plans.
16. All existing sanitary sewer easements will be indicated.
17. The sanitary sewer basis of design will be included.
18. The sanitary sewer leads will conform to City standards.
19. The sanitary sewer lead will be noted to be at least five feet deep.

Storm Sewer

20. Storm sewer profiles and calculations will be provided with the submittal of construction plans.
21. A storm sewer structure table will be included with the construction plans.
22. All storm sewer stubs will be labeled within the construction plans.
23. All storm sewers conveying off-site drainage will have a twenty foot easement.

Storm Sewer Management Plan

24. The storm water management plan for this site will be designed to comply with the master planned storm water management plan for the overall Haggerty Corridor Corporate Park Phase 2 plans as approved by the City of Novi, Oakland County Drain Commission and the Michigan Department of Environmental Quality.

Paving & Grading

25. The proposed pavement section within the Mackenzie Road right-of-way will match the existing pavement.
26. All slopes will comply with barrier free requirements.
27. MDOT ramp details will be included and indicated on the construction plans.
28. All ramp locations and type of detectable warning surface will be included with the construction plans.
29. Since this is a new development the sidewalk grades may not match existing grade at the ends of the walk. However, since this developer owns the adjacent properties the grade at the ends of the walk will be adjusted to comply with the master grading plan.
30. The three foot minimum buffer between sidewalks and fixed object will be provided.
31. The City standard end island design will be adhered to.
32. The required four inch curb will be indicated in the parking stall detail as well as the curb detail.
33. All necessary easements on or off site will be submitted with the final stamping sets.

The remaining items in the engineering review will be addressed at the appropriate time.

OHM – Traffic Review – June 23, 2008

1. The inconsistencies will be reviewed and coordinated.
2. The retaining wall will be detailed and submitted to the building department for separate review and approval.
3. Due to the multiple types of trucks that these types of buildings receive there are many types of delivery vehicles used. More detail will be included with the construction plans.
4. Additional labeling will be included for these areas on the construction plans.
5. The traffic signs will be coordinated between the plans.
6. The sign quantity table will be revised as noted.

Please call to discuss any items that may still be of concern.

Sincerely,



Jason D. Sutton, P.E.
A.R. Decker & Associates

cc: Mr. Joe Drolshagen, Northern Equities Group (248-848-6700)

July 10, 2008

Kristen Kapelanski, AICP, PCP, Planner
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: **Mackenzie North Technology Centre**
SP #08-25
Preliminary Site Plan Review

Dear Ms. Kapelanski:

This office has reviewed and will address the comments on the following Preliminary Site Plan Review letters:

- **Planning Review Summary Chart** by City of Novi Planner Kristen Kapelanski dated June 20, 2008.
- **Traffic Review** by City of Novi Plan Review Consultants Stephen B. Dearing, P.E., PTOE, Manager of Traffic Engineering and Anita S. Katkar, P.E., Traffic Engineer from Orchard, Hiltz & McCliment, Inc. dated June 23, 2008.
- **Facade Review** by City of Novi Plan Review Consultant Douglas R. Necci AIA from Metco Services, Inc. dated June 19, 2008.

The comments have been addressed and are as follows:

Planning Review Summary Chart

Item #1: The refuse bins shall be no taller than 5'-0".

Item #2: The site photometric drawing shall be submitted as requested with the final site plan submittal with the requested notes added.

Traffic Review

Item #1: All items relating to the number of parking spaces in calculations, size and number of loading zones, use of no parking signs and their dimensions will be coordinated with the Civil Engineering drawings to be consistent for the final Site Plan Approval as requested. intersection.

Item #4: Traffic signs which are shown across Mackenzie Drive will be removed since those were part of the Mackenzie South site submission plan.

Facade Review

There are no comments to address regarding the facade review.

Please contact me if you have any further questions regarding this project.

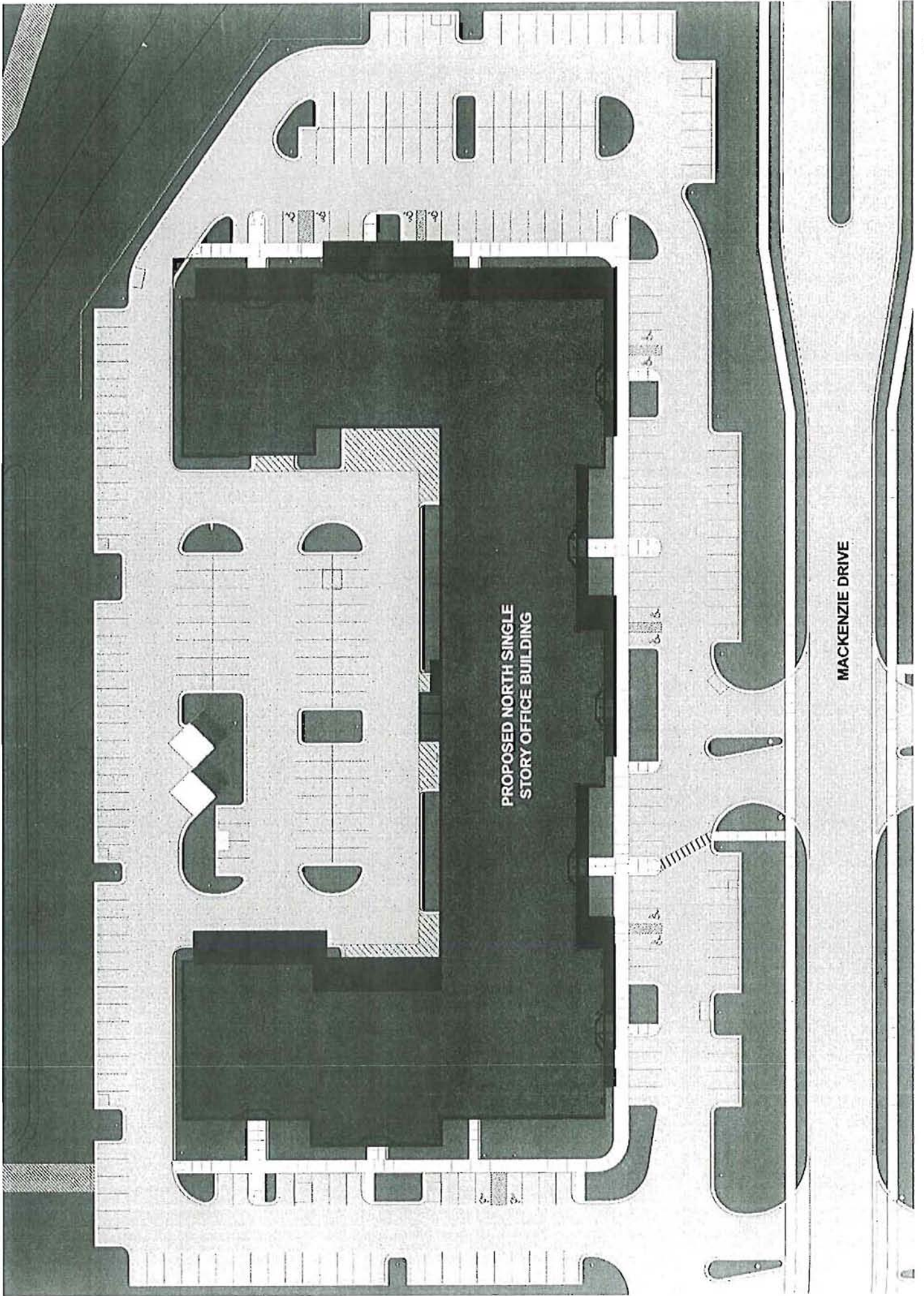
Sincerely,

Kevin L. Biddison, AIA
biddison architecture + design



27750 Stansbury Blvd. Suite 100
Farmington Hills, MI 48334
p 248•426•7700 f 248•426•7710

REDUCED SITE PLAN



PROPOSED NORTH SINGLE
STORY OFFICE BUILDING

MACKENZIE DRIVE

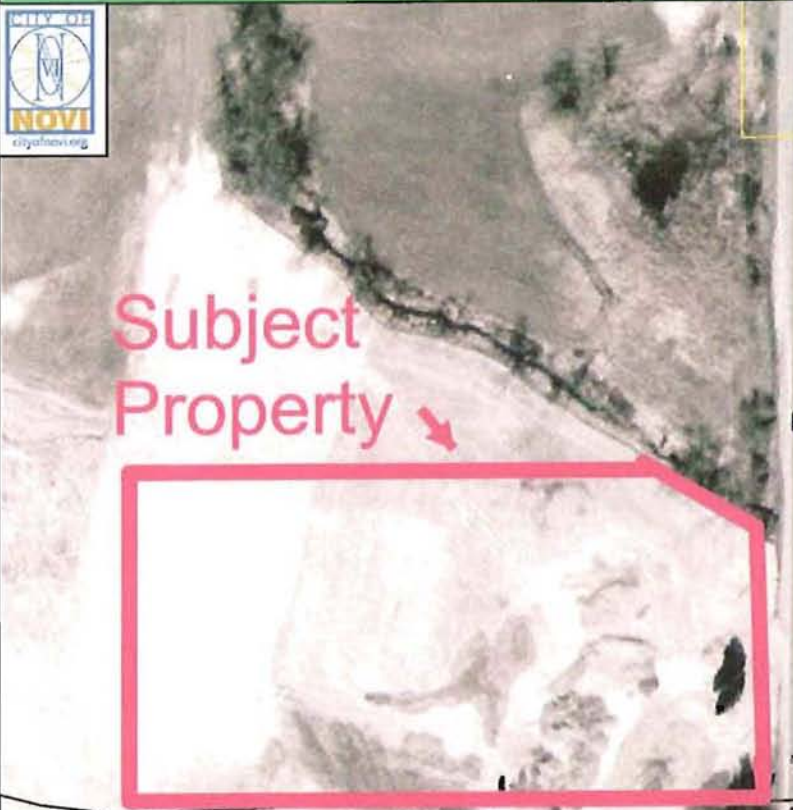
MACKENZIE NORTH TECHNOLOGY CENTRE



MAPS

**Location/Air Photo
Zoning
Future Land Use
Natural Features**

Mackenzie North Technology Centre SP 08-25
Location



Mackenzie Drive

Haggerty Road

CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

MAP AUTHOR: Kristen Kapelanski, Planner



1 INCH EQUALS 199 FEET

MAP PRINT DATE: date

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate, and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Mackenzie North Technology Centre SP 08-25

Zoning



Legend

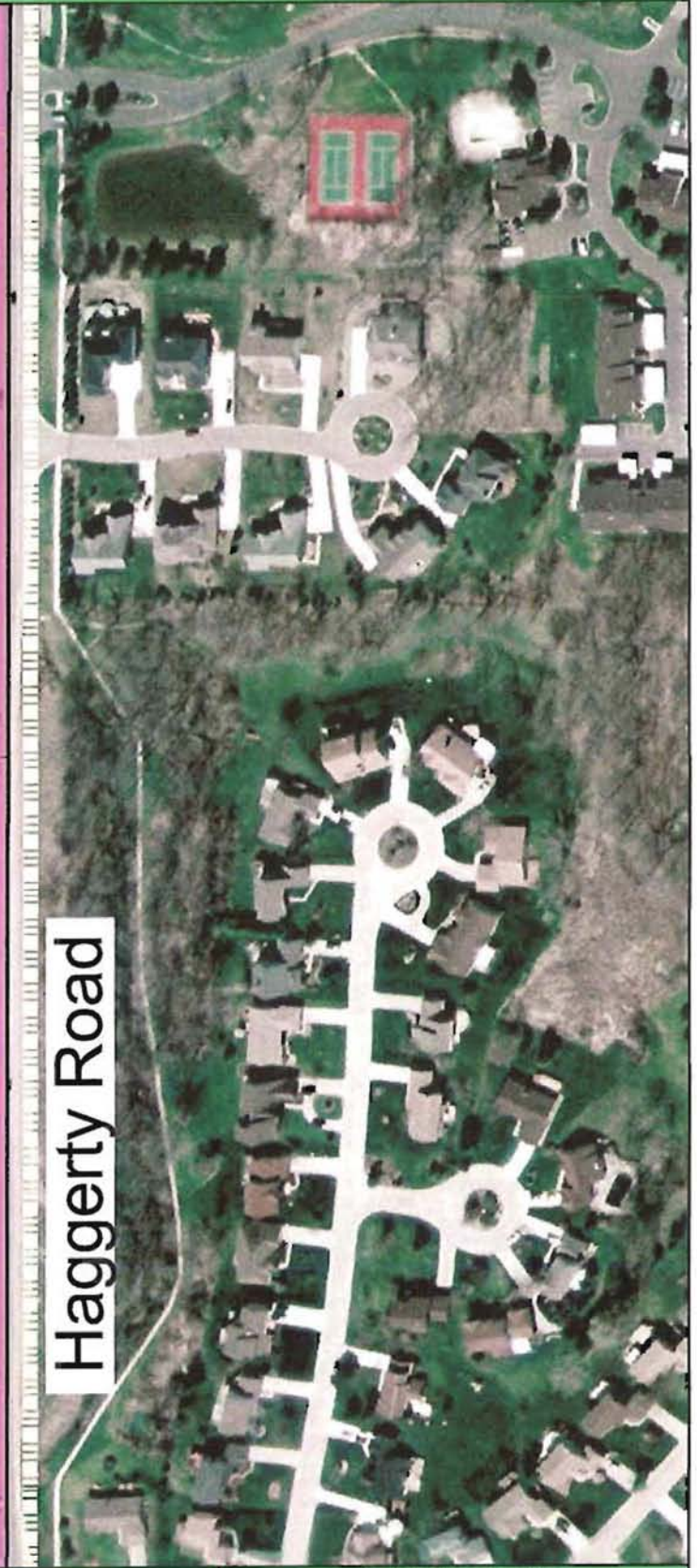
 OST: Office Service Technology

Subject Property 



Mackenzie Drive

Haggerty Road



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

MAP AUTHOR: Kristen Kapelanski, Planner



0 80 160 320 480

FEET

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Mackenzie North Technology Centre SP 08-25
Future Land Use



Legend

 OFFICE

Subject
Property ↘



Mackenzie Drive

Haggerty Road



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

MAP AUTHOR: Kristen Kapelanski, Planner



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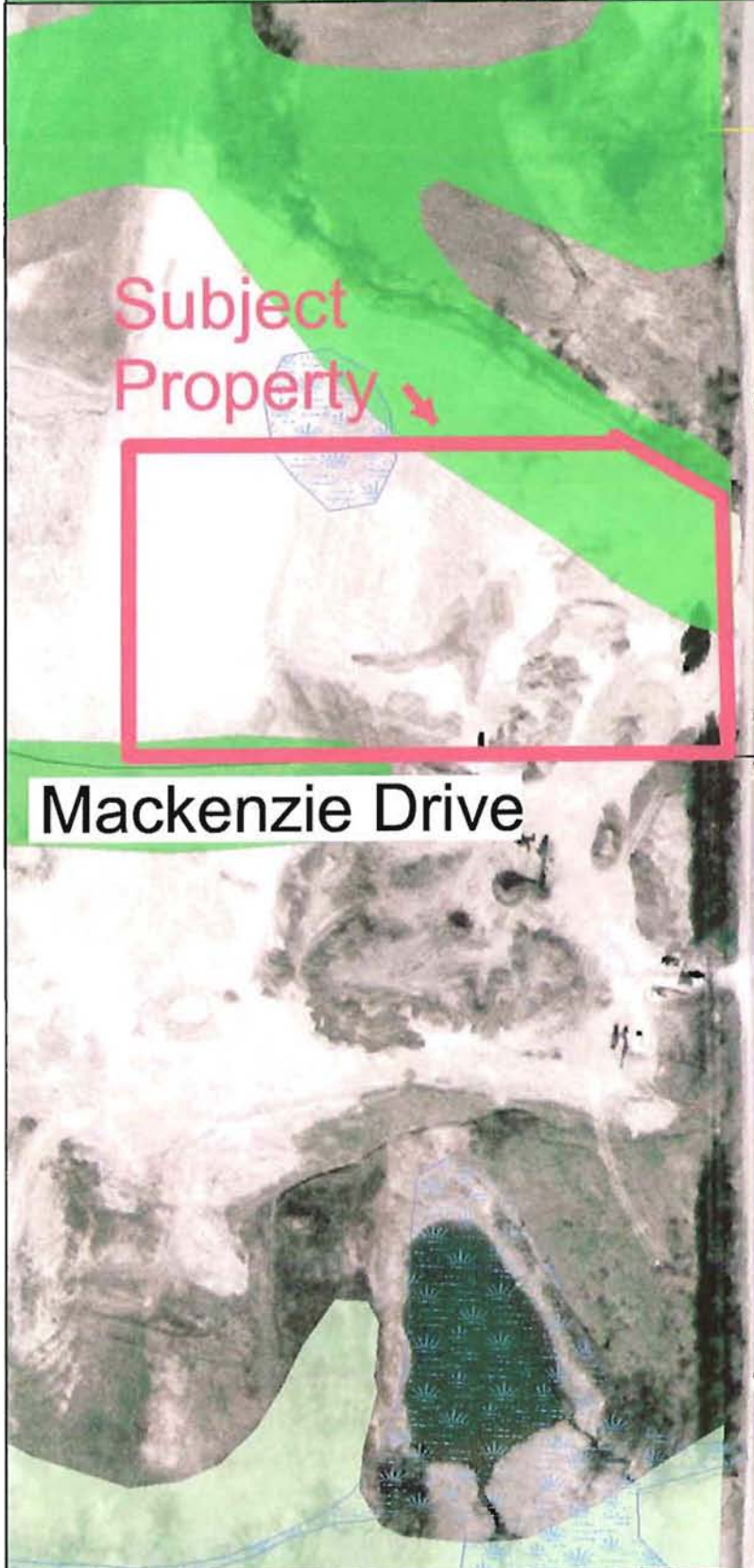
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Mackenzie North Technology Centre SP 08-25

Natural Features



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

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NOVI, MI 48375-3024
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MAP AUTHOR: Kristen Kapelanski, Planner



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Plans available for viewing at the
Community Development Department.