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## Basilian Fathers SP 07-59A

### **Basilian Fathers, SP07-59A**

Public Hearing of the request of Basilian Fathers of Milford, Michigan, for Preliminary Site Plan, Stormwater Management Plan and Woodland Permit approval. The subject property is located in Section 16, at the northwest corner of Taft Road and Eleven Mile, in the RM-1, Low-Density, Low-Rise Multiple-family Residential District with a Planned Rezoning Overlay. The subject property is approximately 4.15 acres and the applicant is proposing the development of a residence for 14 Basilian priests.

### **Required Action**

Recommend approval/denial of the Preliminary Site Plan, Woodland Permit and Storm Water Management Plan

<b>REVIEW</b>	<b>RESULT</b>	<b>DATE</b>	<b>COMMENTS</b>
Planning	Approval recommended	06/10/08	Minor items to be addressed at the time of Final Site Plan submittal.
Landscaping	Approval recommended	06/10/08	<ul style="list-style-type: none"> <li>• <b>Planning Commission waiver for the berm required along the 11 Mile Road frontage.</b></li> <li>• <b>Planning Commission waiver for the berm required along the Taft Road frontage.</b></li> <li>• Minor items to be addressed at the time of Final Site Plan submittal.</li> </ul>
Wetlands	Approval recommended	06/13/08	Minor items to be addressed at the time of Final Site Plan submittal
Woodlands	Approval recommended	06/13/08	Items to be addressed at the time of Final Site Plan submittal
Traffic	<b>Approval not recommended</b>	06/13/08	<ul style="list-style-type: none"> <li>• <b>General site plan should be included in the plan set.</b></li> <li>• <b>Traffic signage, dimensioning, labeling, etc. should be shown on the plan.</b></li> <li>• Minor items to address at the time of Final Site Plan submittal.</li> </ul>
Engineering	Approval recommended	06/12/08	Minor items to be addressed at the time of Final Site Plan submittal.
Façade	<b>Approval not recommended</b>	06/16/08	<ul style="list-style-type: none"> <li>• <b>Section 9 waiver required for the use of split-faced c.m.u. on all facades or revise to meet ordinance standards.</b></li> <li>• Minor items to be addressed at the time of Final Site Plan submittal.</li> </ul>
Fire	Approval recommended	06/10/08	Minor items to be addressed at the time of Final Site Plan submittal.

## **Motions**

### **Approval – Preliminary Site Plan**

In the matter of Basilian Fathers, SP 07-59A, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Planning Commission landscape waiver for the berm required along the 11 Mile Road frontage;
- b. Planning Commission landscape waiver for the berm required along the Taft Road frontage;
- c. Applicant revising the plans at the time of final site plan review to address the comments in the traffic review letter;
- d. Applicant revising the façade to be in compliance with the façade ordinance and submitting a façade materials board;
- e. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- f. *(additional conditions here if any)*

for the following reasons... *(because the plan is otherwise in compliance with the Planned Rezoning Overlay Agreement, Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

### **Approval – Woodland Permit**

In the matter of Basilian Fathers, SP 07-59A, motion to **approve** the Woodland Permit, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

for the following reasons...*(because it is in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**Approval – Storm Water Management Plan**

In the matter of Basilian Fathers, SP 07-59A, motion to **approve** the Storm Water Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

for the following reasons...*(because it is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**Denial - Preliminary Site Plan**

In the matter of Basilian Fathers, SP 07-59A, motion to **deny** the Preliminary Site Plan, for the following reasons...(because it is not in compliance with the Ordinance.)

**Denial Woodland Permit**

In the matter of Basilian Fathers, SP 07-59A, motion to **deny** the Woodland Permit, for the following reasons...(because it is not in compliance with Chapter 27 of the Ordinance.)

**Denial - Storm Water Management Plan**

In the matter of Basilian Fathers, SP 07-59A, motion to **deny** the Storm Water Management Plan, for the following reasons...(because it is not in compliance with Chapter 11 of the Ordinance.)

## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

June 10, 2008

## Planning Review

Basilian Fathers Residence

SP #07-59A

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### Petitioner

Basilian Fathers of Milford, Michigan (Rev. James O'Neill, CSB)

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: Northwest corner of Taft Road and Eleven Mile Road
- Site Zoning: RM-1, Low-Density, Low-Rise Multiple Family with a Planned Rezoning Overlay
- Adjoining Zoning: North: R-1; East, West and South: RA, Residential Acreage
- Site Use(s): Vacant
- Adjoining Uses: North: vacant, existing house; East: existing house, Taft Road, vacant (across Taft Road); West: existing houses (duplexes); South: Parkview Elementary School, Novi Meadows School, bus garage
- Proposed Use: Residence for 14 Basilian Fathers
- Site Size: 4.15 acres
- Plan Date: 05/28/08

### Project Summary

The parcel in question is located on the west side of Taft Road and the north side of Eleven Mile Road in Section 16 of the City of Novi. The property totals 4.15 acres and is currently vacant. The applicant is proposing the development of a residence for 14 Basilian priests. The proposed residence would be approximately 18,000 square feet and contain 14 living units with common areas for the kitchen, parlor, dining area, chapel, offices, community room and two miscellaneous rooms.

This property was recently rezoned with a Planned Rezoning Overlay (PRO) from R-1, One-Family Residential to RM-1, Low-Density, Low-Rise Multiple Family. The Planning Commission gave a positive recommendation for approval of the concept plan and rezoning to City Council on January 23, 2008. The rezoning with PRO appeared before the City Council on February 4, 2008. At that meeting, City Council granted preliminary approval of the plan and rezoning. On May 12, 2008, City Council granted final approval of the Rezoning with PRO.

### Recommendation

Approval of the ***Preliminary Site Plan is recommended.*** The plan is in compliance with most Ordinance requirements and the conditions set forth in the Planned Rezoning Overlay agreement with only minor planning related items to be addressed at the time of Final Site Plan submittal.

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to the Planned Rezoning Overlay Agreement, Article 6 (RM-1. Low-Density, Low-Rise Multiple Family District), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements.

Items in **bold** below must be addressed by the applicant or Planning Commission before Preliminary Site Plan Approval may be granted.

1. Barrier Free Signage: One barrier free sign is required for each barrier free space. No barrier free signs are shown. **The applicant should include a barrier free sign for the proposed barrier free space on the Final Site Plan submittal.**
2. Photometric Plan: There are various items that should be corrected on the photometric plan. **The applicant should refer to the lighting review chart and make the appropriate changes on the Final Site Plan submittal.**
3. Dumpster Details: Dumpsters are required to have screening of not less than 5 feet on 3 sides of the dumpster. Interior bumpers or posts must also be shown. Screening should be 1 foot taller than dumpster. No dumpster details have been included. **The applicant should include dumpster details on the Final Site Plan submittal.**
4. Site Plan: **The applicant shall include a sheet within the next plan submittal titled "Site Plan" which shall show the overall site layout with all parking spaces, setbacks, etc. labeled as appropriate.** For this review, the "Utility Plan" (Sheet C-1.01) has been used as closest to the site plan for review of ordinance standards.

#### **Planned Rezoning Overlay**

The rezoning with a Planned Rezoning Overlay was granted final approval by City Council on May 12, 2008. The PRO acts as a zoning map amendment, creating a "floating district" with a conceptual plan attached to the rezoning of the parcel. As a part of the PRO, the underlying zoning is changed, in this case to RM-1 as requested by the applicant, and the applicant enters into a PRO Agreement with the City, whereby the City and applicant agree to any deviations to the applicable ordinances and tentative approval of a conceptual plan for development for the site. The following ordinance deviations were included in the PRO Agreement

1. The required front yard parking setback is 75 feet. The concept plan indicated a front yard parking setback of 66 feet. This ordinance deviation was included in the PRO Agreement. The Preliminary Site Plan shows the parking setback has been slightly adjusted and the plan now meets the requirements of the ordinance. This deviation is no longer necessary.
2. The required front yard accessory structure setback is 75 feet. The concept plan indicated a front yard accessory structure setback of 66 feet. This ordinance deviation was included in the PRO Agreement. The Preliminary Site Plan shows the accessory structure setback has been slightly adjusted and the plan now meets the requirements of the ordinance. This deviation is no longer necessary.
3. The required side yard accessory structure setback is 75 feet. 55 feet has been provided. This ordinance deviation has been included in the PRO Agreement.

When a PRO is proposed, applicants are required to demonstrate a public benefit above and beyond what would be associated with the normal development of the site. This public benefit is included in the PRO Agreement. The public benefits associated with the subject property are as follows:

1. The list of permissible permitted uses was limited as part of the PRO Agreement to a residence for 14 priests. *This was included in the PRO Agreement and is reflected on the plans.*
2. The developer agreed to extend the public sidewalk along both Taft Road and Eleven Mile Road on the adjacent property to the southeast of the subject property to complete the sidewalk connection. *This has been included on the site plan.*
3. The developer agreed to dedicate to the City of Novi road right-of-way along Eleven Mile Road (10 feet) and Taft Road (27 feet).

4. The developer agreed to grant the City a Conservation Easement over areas labeled "Existing Wooded Area" on the PRO concept plan. ***The applicant should clearly show this on the plan and be advised that the required conservation easement must be in place prior to Stamping Set approval.***

The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two years, the PRO concept plan expires and the agreement becomes void.

#### **Response Letter**

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the matter being reviewed by the Planning Commission**. Additionally, a letter from the applicant is requested to be submitted with the next set of plans submitted highlighting the changes made to the plans addressing each of the comments listed above.

#### **Street and Project Name**

This project may need approval from the Street and Project Naming Committee. Please contact Angela Pawlowski (248-735-5631) in the Community Development Department for additional information.

#### **Pre-Construction Meeting**

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. To give you an advance notice of the requirements and what must be in place prior to the Pre-Con, a sample Pre-Con checklist is attached. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, Planner

Attachments: Planning Review Chart  
Lighting Review Chart



**Planning Review Summary Chart**

Basilian Fathers Residence  
 Preliminary Site Plan  
 Site Plan #07-59A

Item	Required	Proposed	Meets Requirements?	Comments
Zoning	RM-1	No change	Yes	Property recently rezoned with a PRO agreement from R-1 to RM-1.
Permitted Uses (Article 6)	All uses permitted in RT district, multiple-family dwellings, independent and congregate care elderly living facilities, convalescent homes, assisted living facilities, hospice care facilities, child care centers and accessory buildings	Basilian Fathers Residence with 14 units and common living areas.	Yes	
Building Height (Sec. 2400)	2 stories, 35'	Approx. 33'	Yes	
Density (Section 2400)	5.4 to 10.9 units per acre	3.37 units per acre	Yes	
<b>Building Setbacks (Sec. 2400)</b>				
Front (South)	75 feet or the height of the main building, whichever is greater (for both RT and RM-1)	78 feet	Yes	
Exterior Side (East)		90 feet	Yes	
Interior Side (West)		101 feet	Yes	
Rear (North)		76 feet	Yes	
Maximum percent of lot area covered (Sec. 2400)	25% of lot area can be covered by all buildings (for both RT and RM-1)	<15%	Yes	
Maximum Density (dwelling units/net site area) (Sec. 2400)	RM-1 = 5.4 to 10.9	3.37	Yes	
Public Utilities	All public utilities must be available		Yes	
<b>Parking Setbacks (Section 2400)</b>				

Item	Required	Proposed	Meets Requirements?	Comments
Front (South)	75 feet	85 feet	Yes	The PRO plan showed a 66 foot front yard parking setback and this was included as a deviation in the PRO agreement. This deviation is no longer necessary.
Exterior Side (East)	75 feet	100 feet +	Yes	
Interior Side (West)	20 feet	31 feet	Yes	
Rear (North)	20 feet	23 feet	Yes	
Number of Parking Spaces (Sec. 2505)	1 parking space for each unit 14 units proposed = <b>14 parking spaces required</b>	20 spaces proposed	Yes	
Parking Space Dimensions (Sec. 2506)	90-degree spaces should be 9 feet wide by 19 feet deep with a 24-foot wide aisle; when adj. to landscaping, spaces can be 17 feet deep, with a 2 foot overhang into the landscaped area	Spaces appear to be sized appropriately throughout the site	Yes	
Barrier Free Spaces (Barrier Free Code)	1 van accessible barrier free space required	One van accessible barrier free spaces shown.	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8 feet wide with an 8 foot wide access aisle for van accessible	Van accessible space sized appropriately	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space	No signs shown.	<b>No</b>	<b>One sign should be shown for each barrier free space.</b>

Item	Required	Proposed	Meets Requirements?	Comments
Accessory Structures (Sec. 2503.2)	Accessory structures shall be set back the same as the parking setback and 10 feet from the main building unless structurally attached to the building.	Proposed carport setback 85 feet from the property line and 25 feet from the main building.	Yes	The PRO plan showed a 66 foot front yard accessory structure setback and this was included as a deviation in the PRO agreement. This deviation is no longer necessary.
Dumpster Requirements (Chapter 21, Section 21-145)	Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Screening should be 1 foot taller than dumpster.	No dumpster details provided.	No	<b>Applicant should provide dumpster details.</b>
Dumpster Setbacks (Sec. 2503.1.d)	Accessory structures shall be set back the same as the parking setback and 10 feet from the main building unless structurally attached to the building.	Proposed dumpster setback 55 feet from side yard.	No	This deviation was included in the PRO agreement.
Lighting (Section 2511)	Photometric plan required at the time of Preliminary Site Plan due to site being adjacent to residentially zoned property	Photometric plan included.		<b>Please see the lighting review chart.</b>
Sidewalks (City Code Sec. 11-276 (b))	A 5' wide sidewalk shall be constructed along 11 Mile Road as required by the City of Novi's Pedestrian and Bicycle Master Plan.  A 8' wide sidewalk shall be constructed along the property frontage on Taft Road as required by the City of Novi's Pedestrian and Bicycle Master Plan.	5' sidewalk shown along 11 Mile Road  8' sidewalk shown along Taft Road	Yes	

## Lighting Review Summary Chart

Basilian Fathers SP 08-23

Preliminary Site Plan

**Bolded items must be addressed at the time of Final Site Plan**

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> <li>• Photometric data</li> <li>• Fixture height</li> <li>• Mounting &amp; design</li> <li>• Glare control devices</li> <li>• Type and color rendition of lamps</li> <li>• Hours of operation</li> <li>• Photometric plan</li> </ul>	<b>No</b>	<b>Applicant should indicate hours of operation.</b>
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	<ul style="list-style-type: none"> <li>• Electrical service to light fixtures shall be placed underground</li> </ul>	<b>No</b>	<b>Applicant should include the required notes on the photometric plan.</b>

Item	Required	Meets Requirements?	Comments
	<ul style="list-style-type: none"> <li>• No flashing light shall be permitted</li> <li>• Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.</li> </ul>		
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes?	<b>Applicant should include average/minimum light level on the photometric plan.</b>
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> <li>• Parking areas 0.2 min</li> <li>• Loading and unloading areas 0.4 min</li> <li>• Walkways 0.2 min</li> <li>• Building entrances, frequent use 1.0 min</li> <li>• Building entrances, infrequent use 0.2 min</li> </ul>	Yes	
Maximum Illumination adjacent to Residential (Section 2511)	When site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

**LANDSCAPE REVIEW**



cityofnovi.org

## PLAN REVIEW CENTER REPORT

June 10, 2008

### Preliminary Landscape Review

Basilian Fathers Residence SP #07-59

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#### Petitioner

Basilian Fathers - Rev. James O'Neill, CSB

#### Current Project Zoning

RM-1, Low-Density, Low-Rise Multiple Family

#### Recommendation

Approval of the Preliminary Site Plan for SP#07-59 is recommended provided the Applicant receives the necessary Planning Commission waivers.

#### Ordinance Considerations

##### Residential Adjacent to Non-Residential (Sec. 2509.3.a)

1. This residential property abuts adjacent residentially zoned properties. No landscape buffer is required between the uses. Still, the Applicant is proposing to preserve a great deal of the surrounding thick native vegetation, which will serve as a good buffer between the area uses.

##### Adjacent to Rights-of-Way (Sec. 2509.3.b)

1. A 20' wide greenbelt with a 3' high berm and 2' crest will be required adjacent to parking areas. This occurs along the 11 Mile Road frontage. However, thick native vegetation exists to a depth of approximately 120' before the parking begins. This woodland will be permanently retained and serves as a good buffer for the site. Staff recommends that this area, along with the woodlands west of the building, be preserved by means of a conservation easement. **Staff supports a Planning Commission waiver for the berm installation provided the existing vegetation along the 11 Mile Road frontage is permanently maintained in its current state.** This condition should be noted on the plans.
2. A landscape berm would typically be required along the Taft Road frontage. There is no parking or buildings proposed in this area. Instead, the Applicant has chosen to place the attractively landscaped storm basin in this area. **Staff supports a Planning Commission waiver for the berm installation along Taft Road as the Applicant has proposed an attractive alternative in this undeveloped area.** Please also note that this area will be preserved in a natural state as the current Ordinance restricts against mowing within 25' of the upper edge of storm basins.
3. Twenty-five foot clear vision triangles have been shown on the plan for both entries.
4. One Canopy or Large Evergreen Tree is required per 35 LF of road frontage. The Applicant has met this requirement.
5. One Sub-canopy Tree is required per 20 LF of road frontage adjacent to parking and one tree per 25' when parking is not adjacent. The Applicant has met this requirement.

6. Canopy Street Trees are required in area between the sidewalk and roadways at one per 35 linear feet adjacent to parking and one per 45' when parking is not adjacent. The Applicant has met this requirement.

**Parking Area Landscape Requirements (Sec. 2509.3.c)**

1. The Applicant has met the landscape area and Canopy requirements for parking areas and access drives.

**Building Perimeter Landscaping (Sec. 2509.3.d)**

1. The Applicant has met all requirements for building foundation planting area.
2. The Applicant has provided landscape beds for the minimum of 60% of the building frontage as required.

**Multifamily Living Unit Canopy Trees (Sec. 2509.2.b.(i.))**

1. The Applicant has provided a minimum of 3 Canopy Trees per living unit in the proposed building as required.

**Storm Basin Landscape Requirements**

1. A total of 70% to 75% of the storm basin rim area is required to be planted with trees and large shrubs. The Applicant has met this requirement.
2. The detention basin will be seeded with a native seed mix as required.

**Plant List (LDM)**

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

**Plan Notes & Details (Sec. 2509. 4. 5. 6. & 7.)**

1. Plan Notations and Details meet the requirements of the Ordinance and Landscape Design Manual.

**General Requirements**

1. *Please provide an Irrigation Plan and Cost Estimate with the Final Site Plan.*
2. *Please add Miss Dig notation on all sheets.*
3. Please refer to Woodland and Wetland Reviews for further information.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. The appropriate section of the applicable ordinance is indicated in parenthesis. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.



Plan Review by: David R. Beschke, RLA – (248)-735-5621



**Landscape Review Summary Chart**

**Date: June 13, 2008**

Project Name: Basilian Fathers  
 Project Location: 11 Mile / Taft Road  
 Sp #: 07-59  
 Plan Date: 5/28/08  
 Review Type: Preliminary Landscape Plan  
 Status: **Approval recommended with necessary waivers.**

Item	Required	Proposed	Meets Requirement	Comments
Name, address and telephone number of the owner and developer or association.(LDM 2.a.)	Yes	Yes	Yes	Include on plan sheets.
Name, Address and telephone number of RLA (LDM 2.b.)	Yes	Yes	Yes	Include on plan sheets.
Legal description or boundary line survey.(LDM 2.c.)	Yes	Yes	Yes	Include on plan sheets.
Project Name and Address (LDM 2.d.)	Yes	Yes	Yes	Include on plan sheets.
A landscape plan 1"-20' minimum. Proper North. (LDM 2.e.)	Yes	Yes	Yes	
Consistent Plans throughout set.	Yes	Yes	Yes	All plan sheets much match.
Proposed topography. 2' contour minimum (LDM 2.e.(1))	Yes	Yes	Yes	Provide proposed contours at 2' interval for the entire site.
Existing plant material. (LDM 2.e.(2))	Yes	Yes	Yes	Show location type and size. Label to be saved or removed. Plan shall state if none exists.
Proposed plant material. (LDM 2.e.(3))	Yes	Yes	Yes	Identify all, including perennials.
Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W. (LDM 2.e.(4))	Yes	Yes	Yes	
Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))	Yes	Yes	Yes	
Clear Zone (LDM 2.3.(5) - 2513)	Yes	Yes	Yes	
Zoning (LDM 2.f.)	Yes	Yes	Yes	Include all adjacent zoning.
Sealed by LA. (LDM 2.g.)	Yes	Yes	Yes	Requires original signature.
<b>Plant List (LDM 2.h.) – Include all cost estimates.</b>				
Quantities	Yes	Yes	Yes	
Sizes	Yes	Yes	Yes	Canopy trees must be 3" in caliper. Sub-Canopy trees must be 2.5" in caliper.
Root	Yes	Yes	Yes	
Type and amount of mulch	Yes	Yes	Yes	Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.

Item	Required	Proposed	Meets Requirement	Comments
Type and amount of lawn	Yes	Yes	Yes	Include in cost estimate.
Acceptable species	Yes	Yes	Yes	Per the Landscape Design Manual.
Diversity	Yes	Yes	Yes	Max. 20% Genus, 15% Species.
<b>Planting Details/Info (LDM 2.i.) – Utilize City of Novi Standard Details.</b>				
Deciduous Tree	Yes	Yes	Yes	
Evergreen Tree	Yes	Yes	Yes	
Shrub	Yes	Yes	Yes	
Perennial/ Ground Cover	Yes	Yes	Yes	
Transformers (LDM 1.e.5.)	Yes	Yes	Yes	Show locations and provide 24" clear of plantings on all sides.
Cross-Section of Berms (LDM 2.j.)	NA			Provide all proposed dimensions.
ROW Plantings (LDM 1)	Yes	Yes	Yes	Include required calculations.
Walls (LDM 2.k.)	NA			
<b>Landscape Notations – Utilize City of Novi Standard Notes.</b>				
Installation date (LDM 2.l.)	Yes	Yes	Yes	Provide intended date.
Statement of intent (LDM 2.m.)	Yes	Yes	Yes	Include statement of intent to install and guarantee all materials for 2 years.
Plant source (LDM 2.n.)	Yes	Yes	Yes	Indicate Northern grown nursery stock.
Miss Dig Note (800) 482-7171	Yes	Yes	Yes	All plan sheets.
Mulch type.	Yes	Yes	Yes	Natural color, shredded hardwood mulch.
2 yr. Guarantee	Yes	Yes	Yes	
Approval of substitutions.	Yes	Yes	Yes	City must approve any substitutions in writing prior to installation.
Tree stakes guy wires.	Yes	Yes	Yes	No wire, hose or plastic.
Maintenance	Yes	Yes	Yes	Include a minimum of one cultivation in June, July and August for the 2-year warranty period.
Car Parking (Landscape) Setback (2400)	Yes	Yes	Yes	
<b>Parking Area Landscape Calculations (LDM 2.0.)</b>				
A. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			$A = x 10\% = sf$
B. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			$B = x 5\% = sf$
C. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use	NA			$C = x 1\% = sf$

Item	Required	Proposed	Meets Requirement	Comments
in any R district				
A. For: I-1 and I-2 Landscape area required due to # of parking spaces	Yes			A = 7% x = SF
B. For: I-1 and I-2 Landscape area required due to vehicular use area	Yes			B = 2% x = SF
C. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			C = 0.5% x = SF
Total A, B and C above = Total interior parking lot landscaping requirement	Yes	Yes	Yes	
Parking lot tree requirement	Yes	Yes	Yes	25 required and provided.
Perimeter greenspace Plantings	Yes	Yes	Yes	Perimeter trees provided at 1 per 35 LF.
<b>Parking Lot Plants</b>				
Max. 15 contiguous space limit	Yes	Yes	Yes	
Parking Land Banked	NA			
Interior Landscape requirements (LDM.2.p.)	Yes	Yes	Yes	
Snow Deposit (LDM.2.q.)	Yes	Yes	Yes	Depict adequate areas on plan.
Soil Type (LDM.2.r.)	Yes	Yes	Yes	Per USDA or borings.
Irrigation plan (LDM 2.s.)	Yes	Yes	No	Provide irrigation plan with final site plan.
Cost Estimate (LDM 2.t.)	Yes	Yes	Yes	Include final estimate of irrigation system at Final Site Plan submittal.
<b>Residential Adjacent to Non-residential</b>				
Berm requirements met (2509.3.a.)	NA			
Planting requirements met (LDM 1.a.)	Yes	Yes	Yes	
<b>Adjacent to Public Rights-of-Way</b>				
Berm requirements met (2509.3.b.)	Yes	Yes/No	Yes/No	Waiver required and supported.
Planting requirements met (2509.3.b.- LDM 1.b.)	Yes	Yes	Yes	
Street tree requirements met (2509.3.b)	Yes	Yes	Yes	
Detention Basin Plantings (LDM 1.d.(3))	NA			
<b>Subdivision requirements</b>				
R.O.W. and Street Trees (2509.3.f - LDM 1.d))	NA			
Single Family	NA			

Item	Required	Proposed	Meets Requirement	Comments
40 wide non-access greenbelt				
Street Trees				
Islands and boulevards				
Multi family	NA			
Condo Trees				
Street trees				
Foundations plantings				
Non-Residential	NA			
Interior street trees				
Evergreen shrubs				
Subcanopy trees				
Plant massing				
Basin plantings				
Loading Zone Screening (2507)	Yes	Yes	Yes	Located to rear of build & adjacent to same zoning.
Landscape Wall or Berm for OST loading zone screening (2302.A)	NA			
Wildlife Habitat Area (Wildlife Habitat Master Plan Map)	NA			
Subdivision Ordinance Appendix C - ROW Buffer Non-Access Greenbelt (402.B3, 403.F)	NA			
Subdivision Natural Features (403.C) Man-made Bodies of Water (403.D) Open Space Areas (403.E)	NA			

### Financial Requirements Review

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 18,267			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$ 274			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

### Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 47,870		Does not include street trees. Includes irrigation (estimated).
Landscape Financial Guaranty	YES	\$ 71,805 (150%)		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 2,872.20		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater.  This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 430.83		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 500		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	YES	\$ 4,400		\$400 per tree – Contact City Forester for Details
Street Tree Inspection Fee	YES	\$ 264		6% of the Street Tree Bond as listed above. – Contact City Forester for Details
Street tree Maintenance Fee	YES	\$ 275		\$25 per trees – Contact City Forester for Details
Landscape Maintenance Bond	YES	\$ 4,787		10% of verified cost estimate due prior to release of Financial Guaranty (initial permit received after October 2004)

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 2509, Landscape Design Manual and the appropriate items under the applicable zoning classification.
2. NA means not applicable.
3. Critical items that must be addressed are in bold.
4. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.
5. For any further questions, please contact:

David R. Beschke, RLA  
City of Novi Landscape Architect  
45175 W. Ten Mile Road  
Novi, Michigan 48375-3024  
(248) 735-5621  
(248) 735-5600 fax  
dbeschke@cityofnovi.org

**WETLANDS REVIEW**



Environmental Consulting & Technology, Inc.

June 13, 2008

Ms. Barbara McBeth  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Basilian Fathers Residence SP# 07-59A  
Wetland Review of the Preliminary Site Plan

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Basilian Fathers Residence Preliminary Site Plan (Plan) prepared by Zeimet Wozniak & Associates and dated May 28, 2008. I have also visited the site to inspect wetland boundaries flagged by King & MacGregor Environmental. The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the setback provisions in the Zoning Ordinance.

#### Existing Conditions

The proposed project site is a wooded area of about four-acres at the northwest corner of 11-Mile Road and Taft Road. The site is heavily wooded. Two small wetlands (less than 600-square feet each) are located on the property: one is at the northeast corner along Taft Road, the other is at the northwest corner. The wetland boundaries appear to be accurately flagged in the field and depicted on the Plan. The wetlands appear to be dominated by reed canary grass (*Phalarus arundinaceae*), some sedges (*Carex spp.*), and cottonwood (*Populus deltoides*) tree seedlings.

#### Proposed Impacts

There are no proposed impacts at the northwest wetland. Pretreated stormwater is proposed to be routed through the wetland near Taft Road. No cut or fill wetland impacts are proposed, however there appears to be some temporary impact to the wetland 25-foot natural features setback. These impacts are not quantified on the Plan.

#### Comments and Conditions

1. Any impacts, temporary or permanent, to the wetland or wetland setback at Taft Road need to be shown and quantified on the Plan.
2. Any restoration needed following disturbance to the wetland or setback needs to be described and a cost estimate provided.
3. The Taft Road wetland appears to be City and MDEQ-regulated due to a hydraulic connection to a larger wetland system on the east side of Taft Road. The proposed stormwater discharge likely requires an MDEQ. Please send a copy of the MDEQ wetland permit application to the City along with the next submittal.

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Permits

ECT believes the proposed project will require a Wetland Use Permit from the MDEQ, a Minor Wetland Use Permit from the City of Novi, as well as a Natural Features Setback Authorization for proposed permanent impacts to the 25-foot wetland buffer.

Recommendation

Because the proposed impacts appear relatively minor, ECT recommends **conditional approval** of the Preliminary Site Plan at this time, contingent upon satisfactory resolution of the above *Comments and Conditions*.

If you have any questions please contact our office

Respectfully,

**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



John A. Freeland, Ph.D., PWS  
Environmental Scientist

cc: Angela Pawlowski

**WOODLANDS REVIEW**



Environmental Consulting & Technology, Inc.

June 13, 2008

Ms. Barbara McBeth  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Basilian Fathers Residence  
Woodland Review of the Preliminary Site Plan (SP#07-59A)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed New Basilian Fathers Residence project preliminary site plan (Plan) prepared by CDPA Architects, Inc. dated May 28, 2008. The plan and supporting documentation were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The site includes 4.15 acres located at 45488 Eleven Mile Road, West of Taft Road in Section 16. The Plan proposes the construction of an approximately 18,000 square foot building with associated infrastructure and parking for 14 Basilian priests.

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on Wednesday, June 11, 2008. With the exception of a few missing trees that are shown on the *Grading and Stormwater Management plan* (Sheet C-1.03), ECT found that the *Natural Features Impact Plan* (Sheet N-1.1) accurately depicts existing site conditions. The surveyed trees have been marked with the survey numbers in white paint, but the paint is fading and not visible on all of the trees. Some trees, e.g. tree # 251, appeared not to have been marked but were recorded in the summary table of the *Natural Features Impact Plan*.

#### Plan Review

The Plan proposes the removal of 119 trees with dbh greater than or equal to 8 inches. This represents removal of 29% of the total number of regulated trees reported for the site (416). Per the *Landscape Plan* (Sheet L-1.1), 122, 2.5-inch caliper replacement trees are required, 51 of which are to be planted around the proposed residence and detention basin. An additional 61 credits are needed per Sheet L-1.1. However, this number is 6 credits short of meeting the 122 replacement requirement. Given that 51 tree replacements are proposed onsite and 122 replacements are needed, 71 tree credits should be paid into the City's Tree Fund: 71 replacement trees at \$400 each equal to \$28,400 total.

In general, it appears as if the Applicant is prepared to meet the requirements of the City of Novi Woodland Ordinance and tree replacement requirements but has not calculated the number of replacement trees correctly for the following reasons:

- 1) There are inconsistencies in numbers of trees and impacts between Sheets C-1.03 and N-1.1. Tree # 844 is located in the middle of the proposed driveway off of Eleven Mile Rd. on Sheet C-1.03 but is not shown in the plan drawing on Sheet N-1.1 and is indicated as being saved in the summary table on Sheet N-1.1. Tree # 844 should be included on the plan drawing on Sheet N-1.1 and denoted as being removed and requiring one tree replacement in the summary table.
- 2) Several trees, e.g. # 75, # 77, # 318, # 303, and # 307, are shown on the *Grading and Stormwater Management plan* (Sheet C-1.03) but are not shown on the plan drawing and are not included in the

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- 3) summary table on the *Natural Features Impact Plan* (Sheet N-1.1). These trees should be shown in the plan drawing on Sheet N-1.1 and indicated as being removed with the appropriate number of replacement trees in the summary table.
- 4) Per the canopy spread data provided in the summary table on Sheet N-1.1, the proposed sanitary sewer and its 20-ft. easement on the north central side of the project site will impact more trees than shown on the plan and in the table. Since grade changes and other disturbances within the drip line of a tree can negatively impact its root system, ECT believes that trees # 157-158, # 162-165, # 238-239, # 268-270, # 286-288, # 805-806, # 808, and # 830 will be negatively impacted by placement and ongoing maintenance of the sanitary sewer line. The Applicant may attempt to leave these trees onsite, but ECT requests that they are compensated for with the addition of 22 tree replacement credits.
- 5) The placement of the tree protection fence on Sheet N-1.1 appears to run within the drip lines of numerous trees to be saved. Tree protection fencing must be placed at or beyond the drip lines of trees to be saved. Once grading and fence placement is worked out in greater detail and considers the canopy spread of trees bordering the fenceline, more impacts/removals may occur and require additional tree replacement credits. Please see the *Revised Woodland Impacts* listed below:

#### Revised Woodland Impacts

According to the *Grading and Stormwater Management plan* (Sheet C-1.03) and the *Natural Features Impact Plan* (Sheet N-1.1), ECT suggests that the proposed Plan calls for the following impacts to on-site regulated trees:

- 138+ total regulated stems with 8-inch dbh or greater to be removed/impacted; 119 + #844 + 18 sanitary sewer impacts + number of stems for trees # 75, # 77, # 318, # 303, and # 307 that are shown on Sheet C-1.03 but not Sheet N-1.1 + any additional tree impacts where tree protection fence runs within the drip line
- 145+ replacement trees required; 122 + 1 for # 844 + 22 for sanitary sewer impacts + number of replacements for trees # 75, # 77, # 318, # 303, and # 307 + number of replacements for any additional tree impacts where tree protection fence runs within the drip line

#### Site Plan Compliance with Ordinance Chapter 37 Standards

The Plan appears to lack several items necessary for compliance with the Site Plan standards. The following information must be provided in the Plan:

- Full scientific (genus and species) and common names of the trees surveyed, in addition to diameter-at-breast-height (d.b.h.), condition, and save vs. removal status information for trees # 75, # 77, # 318, # 303, and # 307.
- Scale, north arrow, and legend on all plan drawings.
- More detailed location of tree protection barriers on plan relative to grading, other proposed impacts, and trees to remain.
- Statement as to the proposed grade changes and proposed drainage pattern changes for the site, including changes in water levels within protected woodlands.
- Clear labeling, location, and dimensions of private and public utilities and their associated easements, especially as it relates to the location of replacement trees onsite.
- Plan and cost estimate for replacement of regulated trees to be removed, including those to be paid into the City's Tree Fund.

### Tree Replacement Plan

The *Landscape Plan* (Sheets L-1.1 and L-1.2) provides the proposed replacement locations onsite for 51 replacements. The Plan calls for 14 sugar maple (*Acer saccharum*), 15 Sweetgum (*Liquidambar styraciflua*), 12 blackgum (*Nyssa sylvatica*), and 10 northern red oak (*Quercus rubra*). These trees are proposed along the northern and southern sides of the building and western edge of the detention basin. Approximately 10 of the trees appear to be located very near the edge of the detention basin. ECT recommends that the Applicant consider the design elevation of water in the basin to determine the likelihood of these trees being inundated during storm events. The northern red oaks, especially, will not tolerate inundation during the growing season.

The four sugar maples proposed at the southwest corner of the building are located less than five feet from the sidewalk and are spaced only 20 ft apart. These large trees should be set back at least 10 ft from the sidewalk and spaced at least 35 ft apart. In general, the plan proposes replacement trees planted too close together (20 ft or less), not allowing room for maturation of the plant material. Large deciduous trees like the four species proposed as replacements should be located a minimum of 35 ft apart.

Approximately half of the proposed replacements are located directly over underground utilities, beneath overhead utilities, and within or too close to their associated easements. These utilities include an overhead power line, water main, and stormwater main that will likely require ongoing maintenance that could disturb both the above- and belowground portions of the replacement trees. With the long-term viability of the trees in mind, woodland replacements should not be planted within 10 ft of overhead or belowground utilities or their associated easements. ECT encourages the Applicant to consider planting woodland replacements within the remaining regulated woodland, where tree density allows, and placing the remaining woodland under a conservation easement as a method of long-term protection of the site's natural resources.

The Plan states that 65 tree credits will be needed. However, it is ECT's opinion that 94+ tree replacement credits are required, given impacts indicated in the *Grading and Stormwater Management plan* (Sheet C-1.03) and the *Natural Features Impact Plan* (Sheet N-1.1) and assuming 51 replacements will be provided onsite. Given the current woodland density and unsuitable planting sites due to utilities and their easements, some woodland replacements may not be able to be located onsite but rather contributed to the City's Tree Fund.

### Recommendation

ECT recommends approval of the Preliminary Site Plan, contingent upon the Applicant addressing the missing information and corrections stated above in the Final Site Plan. Although the Applicant appears to be prepared to meet the requirements of the City of Novi Woodland Ordinance and the associated tree replacement requirements, revisions are needed to the tree replacement calculations and the total replacement cost to be paid into the City of Novi Tree Fund. Missing tree information, drawing scales and legends, retained tree protection, grade and drainage change, utility and easement information, and revised replacement tree and Tree Fund cost estimates should be included. Grade changes should be avoided within the drip lines of trees to be retained whenever possible. In consideration of the success of their establishment and long-term viability and limited space, replacement trees should not be planted within 10 ft of utilities or their associated easements and should be spaced appropriately for mature tree size, i.e. 35 ft minimum. The permanent water elevation of the detention basin should be compared with the proposed elevation of the replacement trees to determine likelihood of inundation.

The regulated woodlands onsite are part of a larger woodland complex in the heart of the City and provide essential ecological functions such as provision of wildlife habitat and interception and infiltration of precipitation. ECT strongly recommends that the Applicant reduces impacts to the regulated woodlands to the greatest extent possible. ECT also suggests that the Applicant considers locating replacement trees within the regulated

Ms. Barb McBeth  
June 13, 2008  
Page 4

woodland areas to remain where tree density allows and placing the remaining woodland under a conservation easement to protect essential ecological functions in the future.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Martha Holzheuer, Certified Arborist  
Landscape Ecologist

cc: Angela Pawlowski  
Kristen Kapelanski

**TRAFFIC REVIEW**

June 13, 2008

Ms. Barbara E. McBeth  
Deputy Director Community Development  
45175 West Ten Mile Road  
Novi, MI 48375-3024



**Re: Basilian Fathers – Preliminary – 1<sup>st</sup> Review**  
SP No. 07-59A  
OHM Job No. 163-07-0395

As requested, we have reviewed the preliminary site plan submitted for the proposed Basilian Fathers Residence. The plans were prepared by Zeimet, Wozniak & Associates and CDPA Architects, Inc. are dated May 28, 2008.

### **OHM RECOMMENDATION**

At this time, we do not recommend approval of the preliminary site plan. There are several items of concern, listed below, which should be addressed prior to being resubmitted.

### **DEVELOPMENT BACKGROUND**

- The site was granted approval of a PRO from R-1 to RM-1 on May 12, 2008.
- The property contains 4.15 acres.
- The applicant is proposing a 19,241 SFT building.
- The proposed building will serve as a residence for up to 14 priests for the Catholic Central HS.
- The building will also contain a chapel for the Basilian Fathers.

### **ROADWAY NETWORK**

The development is located west of Taft on the north side of 11 Mile Road. Taft Road is functionally classified as a minor arterial route with a posted speed of 35 mph. 11 Mile Road is considered a residential collector with a posted speed limit of 30 mph. Both Taft and 11 Mile fall within the jurisdiction of the City of Novi. The developer has proposed two driveways, one on the north side of 11 Mile, the other on the west side of Taft Road.

### **SITE PLAN CORRECTIONS**

1. General Site Plan: The plan set should include an overall site plan, containing basic site features, dimensioning, pavement markings, parking calculations, etc.
2. Traffic Signs: All proposed traffic signs should be shown and clearly labeled on the plans. This should include R7-8 signs ("Reserved Parking") and R7-8a plaques ("Van Accessible"). All signs should conform to the Michigan Manual of Uniform Traffic Control Devices (MMUTCD), and a note shall be added to this effect.
3. Sign Quantity Table: The plans should include a traffic sign quantity table, showing the sign code, a brief description, dimensions, and quantity for each proposed sign type.
4. Proposed Sidewalk: The concrete sidewalk along both Taft Road and 11 Mile Road should be extended through the site driveways. The sidewalk should remain level, and the driveway should be sloped (if necessary) to meet the sidewalk. See MDOT Detail R-29-E for clarification.



5. Sidewalk Along Right-of-Way (ROW): The plans show sidewalk along both 11 Mile Road and Taft Road, but do not clearly indicate that this is a proposed walk. While we note that, as part of the PRO, the developer has proposed to extend the sidewalk to the corner and to provide additional ROW, the plans should specify that this is not existing. Additionally, there are currently trees shown where the sidewalk is proposed; the plans should only show these trees on the topography plan sheet.
6. Pedestrian Connections: As shown, there is no pathway connecting the sidewalk along the right-of-way to the proposed Basilian Fathers Residence or Chapel. A pedestrian sidewalk connection should be added from both the Taft Road and 11 Mile Road sidewalks to the building.
7. Dimensioning/Labels: The plans should provide dimensions and labels for the following: driveway throat widths, driveway radii, sidewalk widths, parking stall lengths and widths, and the circulation aisle width in the parking lot area. Parking stalls adjacent to curbed areas should be measured to the face of curb, and should have a note indicating as such. Sidewalk ramps and the dumpster area should be clearly labeled. Street names should be shown on all plan sheets.
8. ADA Ramps: ADA-compliant sidewalk ramps should be provided. At all locations where ramps are present, a label indicating the type of ramp (as per the MDOT Special Detail for Sidewalk Ramps, R-28-F) should be added. We recommend that Type P ramps be used at the handicap accessible parking stalls. A copy of the most recent version of R-28-F should also be included in the plans.
9. Parking Calculations: Parking calculations should be shown on the plans. The parking calculation summary should include the number of handicap accessible spaces provided.
10. Exterior Doors: All exterior building doors should be shown on the site plan. There should be a sidewalk leading away from the building at each entrance/exit.
11. Gated Driveway: On Sheet L-1.1, it appears that the 11 Mile driveway may be gated. This area should be clearly labeled, and should be shown consistently on all plan sheets. Please clarify the intent.
12. Sight Distance: We note that clear sight distance triangles are shown on Sheets L-1.1 & L-1.2. However, it appears that the sight triangles were drawn from the sidewalk, instead of from the road. Given the separation between sidewalk and road, we recommend checking for adequate sight distance at both locations. As such, vehicles turning left out of the 11 Mile driveway may have an obstructed view. Please re-evaluate clear sight distance, and relocate any trees or obstructions accordingly.

If you have any concerns or questions, please feel free to contact us at 734-522-6711.

Sincerely,  
Orchard, Hiltz & McCliment, Inc.



Stephen B. Dearing, P.E., PTOE.  
Manager of Traffic Engineering



Sara A. Merrill  
Traffic Engineer

**ENGINEERING REVIEW**



cityofnovi.org

## PLAN REVIEW CENTER REPORT

June 12, 2008

### Engineering Review

Basilian Fathers Residence

SP #07-59

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#### Petitioner

Basilian Fathers of Milford, Michigan

#### Review Type

Preliminary Site Plan

#### Property Characteristics

- Site Location: Northwest corner of Taft and Eleven Mile Roads
- Site Size: 4.15 acres
- Plan Date: 5/28/2008

#### Project Summary

- Construction of an approximately 19,241 square-foot religious residence and associated parking. Site access would be provided by two drive approaches; one off of Taft Road and the other off of Eleven Mile Road.
- Water service would be provided by a temporary 12-inch extension from the existing 12-inch water main along the south side of Taft Rd up to the northeast corner of the site. The system will later be looped by a connection brought down from Grand River Avenue by the proposed Sri Venkateswara Temple. Three additional hydrants are also being proposed.
- Sanitary sewer service would be provided by a proposed 8-inch sanitary extension along the west side of Taft Road to the site (extending from the corner of the Andes Hills Condominium Site).
- Storm water would be collected by a single storm sewer collection system and temporarily detained onsite for bankfull. From there, the storm water will be detained at the City of Novi Grand River District Regional Detention Basin.

#### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

#### Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments** (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
4. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur.

Water Main

5. State whether a jack-and-bore or directional bore is being proposed across Eleven Mile Rd.
6. The water main extension along Taft Rd by the Sri Venkateswara Temple crosses Taft to the west side of the road and is stubbed short of the proposed connection. Explain in a response or on the plan the reason for the crossing. The water main shall connect to the Basilian site.
7. The proposed water main along Taft Rd does not show the connection to the north. Please show this on the next plan submittal.
8. Maintain a minimum of 10-foot horizontal clearance between utilities. The proposed gate well on the east side of the property is currently less than 10-feet from the proposed sanitary sewer.

Sanitary Sewer

9. Show the sanitary sewer basis of design for both the proposed development and future development. The pipe along Taft Rd shall be properly sized. Review the City of Novi Design and Construction Ordinance for calculations.
10. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
11. Provide a note on the Utility Plan and sanitary profile stating the sanitary lead will be buried at least 5 feet deep if a portion of the lead is proposed within the influence of pavement.
12. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the last sanitary structure proposed prior to connection to the existing sewer, and provide a watertight bulkhead in the downstream side of this structure.

Storm Sewer

13. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

#### Storm Water Management Plan

14. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
15. Consider over-excavating the proposed detention basin to provide a permanent pool for sedimentation to settle.
16. The swale along the west side of the property is accepting untreated parking lot runoff. This would be a perfect opportunity to use a bio-swale in order to pretreat the runoff.
17. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure from the public road right-of-way.
18. Provide manufacturers details and sizing calculations for the pretreatment structure within the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr), resulting in a flow rate of approximately 2.11 CFS. Higher flows shall be bypassed.
19. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.
20. Provide a detail for the proposed standpipe.

#### Paving & Grading

21. All approach drives shall be a minimum of 20-feet in width. Both proposed drives are currently 18-feet.
22. Show the proposed sidewalks/pathways on the plan and show the cross sections.
23. Provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.
24. Provide the standard Type 'M' approach at both the Taft and Eleven Mile Road driveway/intersection.

#### Off-Site Easements

25. Any off-site utility easements anticipated must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.

#### **The following must be submitted at the time of Final Site Plan submittal:**

26. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
27. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each

utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted at the time of Stamping Set submittal:**

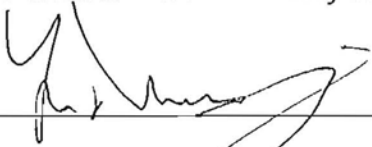
28. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
29. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
30. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
31. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

32. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
33. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
34. A permit for work within the right-of-way of Taft and Eleven Mile Roads must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
35. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
36. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
37. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting..
38. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.

39. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
40. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.

Please contact Lindon K. Ivezaj at (248) 735-5694 with any questions or concerns.



---

cc: Rob Hayes, City Engineer  
Kristen Kapelanski, Planner  
Tina Glenn, Water & Sewer Dept.

## FAÇADE REVIEW



# METCO SERVICES, INC.

ENGINEERS, ARCHITECTS, & SURVEYORS

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

June 16, 2008

City of Novi Planning Department  
45175 W. 10 Mile Rd.  
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: FACADE ORDINANCE – Preliminary Site Plan Review  
Basilian Fathers Residence  
SP07-59A  
Façade Region: 1 (Eleven Mile Road)  
Zoning District R-1  
Project Size: 18,500 Sq. Ft. (Approximate)

Dear Ms. McBeth:

The following is the Façade Review for Preliminary Site Plan review regarding the drawings prepared by CDPA Architects, dated 5-28-08 for compliance with Novi Ordinance 2520; the Façade Ordinance. The percentages of materials proposed are as shown below. A "check" by the percentage signifies that the range is within the ordinance guidelines, while an "x" indicates an overage. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column.

The applicant's submittal is incomplete in the sense that it is missing façade material calculations, roof pitch information, trash enclosure details and façade materials sample board. The 8 ½"x 11" color handout appears to have a different color scheme than supplied in the architectural package – We view the larger format (architectural drawings) to prevail. This review is based on our interpretation of the drawings as to what we believe the intent to be.

Drawings Dated 05-28-08	NORTH FACADE	SOUTH FACADE	EAST FACADE	WEST FACADE	ORDINANCE MAXIMUM
NATURAL BRICK	58.1% ✓	65.6% ✓	65.9% ✓	70.2% ✓	100% (30% Min.)
C.M.U. (Split-Faced)	22.3% X	22.3% X	20.0% X	16.3% X	0%
TRIM (Fascia)	19.6% ✓	12.1% ✓	14.1% ✓	13.5% ✓	15%

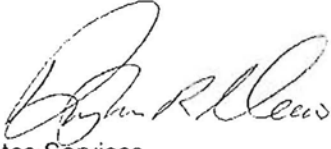
#### Recommendations:

1. The roof pitches do not graphically scale to be 6:12 or greater, therefore the shingles are not part of the façade material calculations (Section 2520, Item 5). Clarification is required.
2. The applicant will be required to obtain a section 9 waiver for the use of Split-Faced C.M.U. on all four facades because it is a prohibited material for Region 1. This material is designed with the intent to provide for a base of the building. A similar effect could be substituted with limestone which is allowed to be 50% or Cast Stone at 25%. Please select materials which are allowed per façade ordinance.
3. The City of Novi requires a Façade Inspection for all projects. The inspection will use the approved material sample board to check it against the actual materials delivered to the site. A materials sample board is required for this project for all visible selections.

It is therefore our recommendation that the design does not meet the intent and purpose of the ordinance and a Section 9 Waiver not be granted based on item #2.

If you have any questions regarding this matter, please contact me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, with the first name being the most prominent.

Metco Services  
Douglas R. Necci AIA

## FIRE REVIEW



248.349-2162  
248.349-1724 fax  
cityofnovi.org

June 10, 2008

CITY COUNCIL

Mayor  
David B. Landry

Mayor Pro Tem  
Kim Capello

Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

City Manager  
Clay J. Pearson

Fire Chief  
Frank Smith

Deputy Fire Chief  
Jeffrey Johnson

TO: Barbara McBeth, Deputy Director  
Community Development, City of Novi

RE: Basilian Fathers Residence

SP#: 07-59A Preliminary Site Plan

**Project Description:**

Proposed new construction of 19, 241 S.F., two story, multi-residential use building used for residential housing for 12 Catholic Central High School Priests. Project location is north of Eleven Mile Rd. and west of Taft. Rd.

- Two access points to this project are provided. Neither is gated.
- Two hydrants are provided with hydrant spacing less than 500'
- Access drive turning radius meets Novi's standards.

**Comments:**

According to the Michigan Building Code, this building is required to be protected with an automatic sprinkler system.

1. The Engineering plans shall show the location of the fire protection water main and the domestic water main. The two shall be separate and shall each have a control valve. The fire protection water main control valve shall be located within a well. *Novi DCS Section 11-64(a)(9) & NFPA 24.*
2. The Fire Department Connection shall be located in a visible location on the front side of the building within 100' of a hydrant.
3. The applicant is hereby notified that a Rapid Access KNOX Box will be required to be installed on this building. The location of this box shall be coordinated through my office. The box can be ordered directly from the KNOX Company at [www.knoxbox.com](http://www.knoxbox.com). The box shall be a 3200 series box with a hinged door. The applicant can choose either a recessed or surface mount style.

**Recommendation:**

The above plan has been reviewed and is **Recommended for Approval** with the above items being corrected on the next plan submittal.

Sincerely,

Michael W. Evans  
Fire Marshal

**DRAFT PLANNED REZONING OVERLAY AGREEMENT**

PLANNED REZONING OVERLAY (PRO) AGREEMENT  
FOR THE BASILIAN FATHERS' RESIDENCE

AGREEMENT, by and among the Basilian Fathers of Milford, Michigan whose address is 28724 Five Mile Rd., Livonia, MI 48154 (referred to as "Developer"); and the City of Novi, 45175 West Ten Mile Road, Novi, MI 48375-3024 ("City").

RECITATIONS:

- I. Developer is the owner of all legal and equitable title to the "Land" described on Exhibit A, attached and incorporated herein, and is the developer of a proposed Planned Rezoning Overlay ("PRO") encompassing the Land known as the Basilian Fathers' Residence.
- II. Developer, for purposes of improving and using the Land for an approximately 20,000 square foot, residential building for the religious order known as the Basilian Fathers, including individual sleeping quarters for a maximum of 14 person, with communal kitchen, dining and living areas and a chapel, has petitioned the City for an amendment of the Zoning Ordinance, as amended, so as to reclassify the Land from R-1, One-Family Residential District, to RM-1, Low Density, Low Rise Multiple Family Residential District. The R-1 classification shall be referred to as the "Existing Classification" and RM-1 shall be referred to as the "Proposed Classification."
- III. The Proposed Classification would provide the Developer with certain material development options not available under the Existing Classification, and would be a distinct and material benefit and advantage to the Developer.
- IV. At its meeting on January 23, 2008, the City Planning Commission reviewed and recommended approval to the City Council of the Developer's petition to amend the zoning district classification of the Land from the Existing Classification to the Proposed Classification under the terms of the Planned Rezoning Overlay (PRO) provisions of the City's Zoning Ordinance.
- IV. At its meeting on February 4, 2008, the Council granted tentative approval of the Rezoning with Planned Rezoning Overlay, finding that the proposed use as a

residence for a religious order was appropriate even though it was near single-family for the following reasons:

- A. The proposed use most closely resembles those uses permitted in the RM-1 District; in particular, independent and congregate elderly living facilities.
- B. The proposed residence would be compatible with the existing uses in the area and can be designed to incorporate both the residential elements of the nearby single-family homes and the institutional elements of the nearby church and schools.

Further, the proposed use is appropriate because it is proposed to be limited to a set number of permanent residents, with individual sleeping quarters but otherwise communal living areas. Further, Council has reviewed the Developer's proposed PRO Plan, attached hereto and incorporated herein as Exhibit B (the "PRO Plan"), which is a conceptual or illustrative plan for the potential development of the Land under the Proposed Classification, and not an approval to construct the proposed improvements as shown; subject to certain proposed PRO conditions offered or accepted by the Developer. City Council granted tentative approval of the Rezoning with Planning Rezoning Overlay, subject to certain conditions, as set forth in the official minutes of said meeting.

- V. In proposing the Proposed Classification to the City, Developer has expressed a firm and unalterable intent that Developer will develop and use the Land in conformance with the following undertakings by Developer, as well as the following forbearances by the Developer (each and every one of such undertakings and forbearances shall together be referred to as the "Undertakings"):

- A. Developer shall develop and use the Land solely for an approximately 20,000 square foot residential building to be used as a residence for a religious order including 14 individual sleeping quarters with communal kitchen, dining and living areas, and a chapel for the Basilian Fathers (with appropriate parking and site improvements). In accordance with the PRO Plan, Developer shall forbear from developing and/or using the Land in any manner other than as authorized and/or limited by this Agreement.
- B. Developer shall develop the Land in accordance with all applicable laws and regulations, and with all applicable ordinances, including all applicable height, area, and bulk requirements of the Zoning Ordinance as relates to the Proposed Classification, except as expressly authorized herein. The PRO Plan is acknowledged by both the City and Developer to be a conceptual plan for the purpose of depicting the general area contemplated for development. Certain minor deviations from the provisions of the City's ordinances, rules, or regulations that are depicted

in the PRO Plan are approved by virtue of this Agreement; however, except as to such specific deviations enumerated herein, the Developer's right to develop the residential building under the requirements of the Proposed Classification shall be subject to and in accordance with all applications, reviews, approvals, permits, and authorizations required under applicable laws, ordinances, and regulations, including, but not limited to, site plan approval, storm water management plan approval, woodlands and wetlands permits, façade approval, landscape approval, and engineering plan approval, except as expressly provided in this Agreement. The building layout shall be substantially similar (as determined by the City) to that submitted as part of the Developer's final approval request, as depicted in Exhibit B.

- C. In addition to any other ordinance requirements, Developer shall seek, obtain approval for, and use best management practices and efforts with respect to all storm water and soil erosion requirements and measures throughout the site during the design and construction phases, and subsequent use, of the development contemplated in the Proposed Classification.
- D. The following deviations from the standards of the zoning ordinance are hereby authorized pursuant to §3402.D.1.c of the City's zoning ordinance.
  - 1. A 9-foot parking setback deviation (75 feet required, 66 feet provided).
  - 2. A 9-foot deviation for front yard accessory structure setback (75 feet required, 66 feet provided).
  - 3. A 20-foot deviation for side yard accessory structure setback (75 feet required, 55 feet provided).
- E. The following PRO Conditions shall apply to the Land and/or be undertaken by Developer:
  - 1. The permitted use on the land shall be limited to a residential use for a religious order, for a maximum of 14 permanent residents, with individual sleeping quarters, and communal kitchen, dining and living areas, and a chapel in accordance with this Agreement and the PRO conditions offered by the Developer.
  - 2. Developer shall extend the 5-foot wide public sidewalk along Eleven Mile Road, and the 8-foot wide public sidewalk along Taft Road, as shown on the PRO plan.



3. Developer shall dedicate to the City of Novi road right-of-way along Eleven Mile Road (ten feet) and Taft Road (27 feet).
4. Developer will grant the City a Conservation Easement over certain undeveloped portions of the Land in an effort to preserve the mature tree stand, identified as the "Existing Wooded Area" on the attached Exhibit B.

VII. For the purpose of confirming the rights and obligations in connection with the improvements and other obligations to be undertaken in connection with the development of the Land, the parties have entered into this PRO Agreement.

NOW THEREFORE, as an integral part of the grant of rezoning of the Land, and as an integral part of the approval of the PRO, and inconsideration of the mutual covenants contained herein, IT IS HEREBY AGREED AS FOLLOWS:

1. The Land shall be developed only in accordance with: (i) this PRO Agreement, including a Conservation Easement over the Existing Wooded Area identified on the attached Exhibit B; (ii) the PRO Plan; (iii) the terms and conditions listed in the minutes of the January 23, 2008, Planning Commission meeting; (iv) the terms and conditions listed in the minutes of the February 4, 2008, City Council meeting; and (v) the terms and conditions listed in the minutes of the \_\_\_\_\_, 2008, City Council meeting. Furthermore, all development of the Land shall be subject to and in accordance with all applicable City ordinances and any City approvals of a final site plan for the Land, and unless expressly stated otherwise in this Agreement, shall also be subject to all other approvals and permits required under applicable City ordinances and State laws.
2. The permitted land use shall be as described on the PRO Plan, to wit, an approximately 20,000 square foot, residential building for housing 14 priests, including individual sleeping quarters, with communal kitchen, dining and living areas, and a chapel. In the event Developer attempts to or proceeds with actions to complete improvement of the Land in any manner other than as shown on Exhibit B, the City shall be authorized to revoke all outstanding building permits and certificates of occupancy issued for such building and use.
3. Upon the Proposed Classification becoming final following entry into this Agreement:
  - A. The Undertakings shall be carried out by Developer on and for the Land;
  - B. Developer shall act in conformance with the Undertakings;
  - C. The Developer shall forbear from acting in a manner inconsistent with the Undertakings; and

- D. The Developer shall commence and complete all actions necessary to carry out all of the PRO Conditions.
4. Developer acknowledges and agrees that the City has not required the Undertakings. The Undertakings have been voluntarily offered by Developer in order to provide an enhanced use and value of the Land, to protect the public safety and welfare, and to induce the City to rezone the Land to the Proposed Classification so as to provide material advantages and development options for the Developer.
  5. All of the Undertakings represent actions, improvements, and/or forbearances that are directly beneficial to the Land and/or to the development of and/or marketing of the office or retail building on the Land. The burden of the Undertakings on the Developer is roughly proportionate to the burdens being created by the development, and to the benefit which will accrue to the Land as a result of the requirements represented in the Undertakings.
  6. In addition to the provisions in Paragraph 2, above, in the event the Developer, or its respective successors, assigns, and/or transferees proceed with a proposal for, or other pursuit of, development of the Land in a manner which is in material violation of the Undertakings, the City shall, following notice and a reasonable opportunity to cure, have the right and option to take action using the procedure prescribed by law for the amendment of the Master Plan and Zoning Ordinance applicable to the Land to amend the Master Plan and zoning classifications of the Land to a reasonable classification determined appropriate by the City, and neither the Developer nor its respective successors, assigns, and/or transferees, shall have any vested rights in the Proposed Classification and/or use of the Land as permitted under the Proposed Classification, and Developer shall be estopped from objecting to the rezoning and reclassification to such reasonable classifications based upon the argument that such action represents a "downzoning" or based upon any other argument relating to the approval of the Proposed Classification and use of the Land; provided, this provision shall not preclude Developer from otherwise challenging the reasonableness of such rezoning as applied to the Land.
  7. By execution of this Agreement, Developer acknowledges that it has acted in consideration of the City approving the Proposed Classification on the Land, and Developer agrees to be bound by the provisions of this Agreement.
  8. After consulting with an attorney, the Developer understands and agrees that this Agreement is authorized by and consistent with all applicable state and federal laws and Constitutions, that the terms of this Agreement are reasonable, that it shall be estopped from taking a contrary position in the future, and, that the City shall be entitled to injunctive relief to prohibit any actions by the Developer inconsistent with the terms of this Agreement.

DRAFT  
5/8/2008

- 9. This Agreement shall be binding upon and inure to the benefit of the parties to this Agreement and their respective heirs, successors, assigns and transferees, and an affidavit providing notice of this Agreement may be recorded by either party with the office of the Oakland County Register of Deeds.
- 10. The Zoning Board of Appeals (ZBA) shall have no jurisdiction over the Property or the application of this Agreement until after site plan approval and construction of the development as approved therein.
- 10. No waiver of any breach of this Agreement shall be held to be a waiver of any other or subsequent breach. All remedies afforded in this Agreement shall be taken and construed as cumulative, that is, in addition to every other remedy provided by law.
- 11. This Agreement shall be governed by the laws of the State of Michigan, both as to interpretation and performance. Any and all suits for any and every breach of this Agreement may be instituted and maintained in any court of competent jurisdiction in the County of Oakland, State of Michigan.
- 12. This Agreement may be signed in counterparts.

WITNESSES:

OWNERS:

BASILIAN FATHERS OF  
MILFORD, MICHIGAN

\_\_\_\_\_  
Print Name:

\_\_\_\_\_  
By:  
Its:

\_\_\_\_\_  
Print Name:

STATE OF MICHIGAN     )  
                                  ) ss.  
COUNTY OF OAKLAND    )

On this \_\_\_\_ day of \_\_\_\_\_, 2008, before me appeared \_\_\_\_\_, on behalf of the Basilian Fathers of Milford, Michigan, who states that he has signed this document of his own free will duly authorized on behalf of the company.

\_\_\_\_\_  
\_\_\_\_\_, Notary Public  
\_\_\_\_\_ County

DRAFT  
5/8/2008

Acting in Oakland County  
My Commission Expires: \_\_\_\_\_

WITNESSES:

CITY OF NOVI

\_\_\_\_\_  
Print Name:

By: \_\_\_\_\_  
David B. Landry, Mayor

\_\_\_\_\_  
Print Name:

By: \_\_\_\_\_  
Maryanne Cornelius, Clerk

\_\_\_\_\_  
Print Name:

\_\_\_\_\_  
Print Name:

STATE OF MICHIGAN     )  
  ) ss.  
COUNTY OF OAKLAND    )

On this \_\_\_\_ day of \_\_\_\_\_, 2008, before me appeared David B. Landry and Maryanne Cornelius, who stated that they had signed this document of her own free will on behalf of the City of Novi in their respective official capacities, as stated above.

\_\_\_\_\_  
\_\_\_\_\_, Notary Public  
\_\_\_\_\_ County  
Acting in Oakland County  
My Commission Expires: \_\_\_\_\_

Drafted by:  
Kristin Bricker Kolb  
30903 Northwestern Highway  
Farmington Hills, MI 48334

When recorded return to:  
  
Maryanne Comelius, Clerk  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375-3024

EXHIBIT "A"

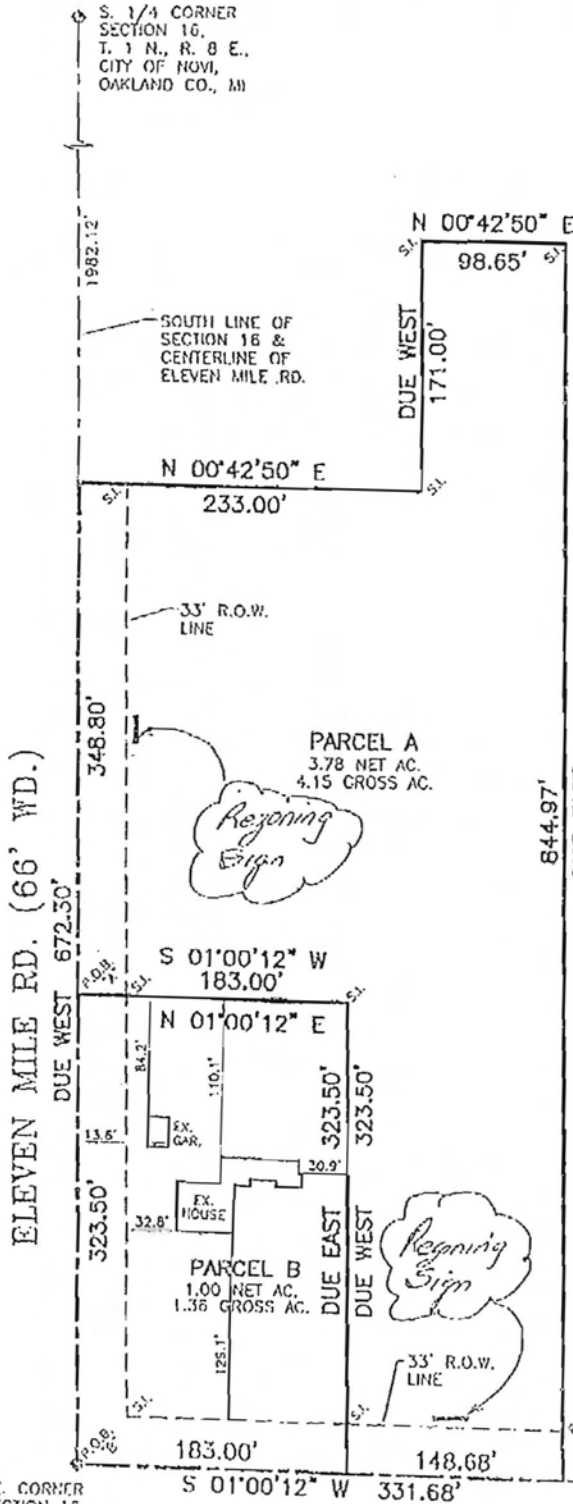
New Legal Descriptions  
Parcel A

A parcel of land in the Southeast  $\frac{1}{4}$  of Section 16, T. 1 N., R. 8 E., City of Novi, Oakland County, Michigan, described as:

Commencing at the Southeast corner of said Section 16; thence Due West 323.50 feet along the South line of said Section 16, said line also being the centerline of Eleven Mile Road (66 feet wide) to the POINT OF BEGINNING; thence continuing along said South line of Section 16 Due West 348.80 feet; thence N.  $00^{\circ} 42' 50''$  E. 233.00 feet; thence Due West 171.00 feet; thence N.  $00^{\circ} 42' 50''$  E. 98.65 feet; thence Due East 844.97 feet to a point on the East line of said Section 16; thence S.  $01^{\circ} 00' 12''$  W. 148.68 feet along said East line of Section 16, said line also being the centerline of Taft Road (66 feet wide); thence Due West 323.50 feet; and thence S.  $01^{\circ} 00' 12''$  W. 183.00 feet to the POINT OF BEGINNING. Containing 4.15 gross acres of land (3.78 net acres), more or less. Subject to the rights of the public over the South 33 feet for Eleven Mile Road (66 feet wide) and the East 33 feet for Taft Road (66 feet wide). Also subject to any and all easements or rights of way of record, if any.

# CERTIFICATE OF SURVEY

S. 1/4 CORNER  
SECTION 16,  
T. 1 N., R. 8 E.,  
CITY OF NOVI,  
OAKLAND CO., MI



## LEGAL DESCRIPTIONS & WITNESSES

SEE ATTACHED

## LEGEND

RECORDED	R.
MEASURED	M.
PROBATED	P.
CALCULATED	C.
SET BACK	S.B.
FOUND IRON	F.I.
FOUND CONC. MCH.	F.C.M.
POINT OF BEGINNING	P.O.B.



## SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE LAND ABOVE PLATTED AND/OR DESCRIBED ON 6/24/03 AND THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WAS LESS THAN 1/5000 AND THAT ALL REQUIREMENTS OF P.A. 132 OF 1970 HAVE BEEN COMPLIED WITH.

*Greg L. Ash*  
GREG L. ASH, P.L.S. #28400

EAST LINE OF  
SECTION 16 &  
CENTERLINE OF  
TAFT ROAD

E. 1/4 CORNER  
SECTION 16,  
T. 1 N., R. 8 E.,  
CITY OF NOVI,  
OAKLAND CO., MI

SE. CORNER  
SECTION 16,  
T. 1 N., R. 8 E.,  
CITY OF NOVI,  
OAKLAND CO., MI

TAFT RD. (66' WD.)



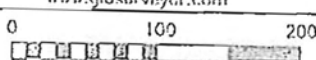
6134 COTFREDSON RD.  
PLYMOUTH, MI 48170  
PHONE: (734) 416-9650  
FAX: (734) 416-9657  
www.glasurveyor.com

CLIENT:  
DAVID & KAREN KURTZ  
45870 ELEVEN MILE RD.  
NOVI, MI 48374

DATE:  
07/30/03

JOB NO.  
278-004

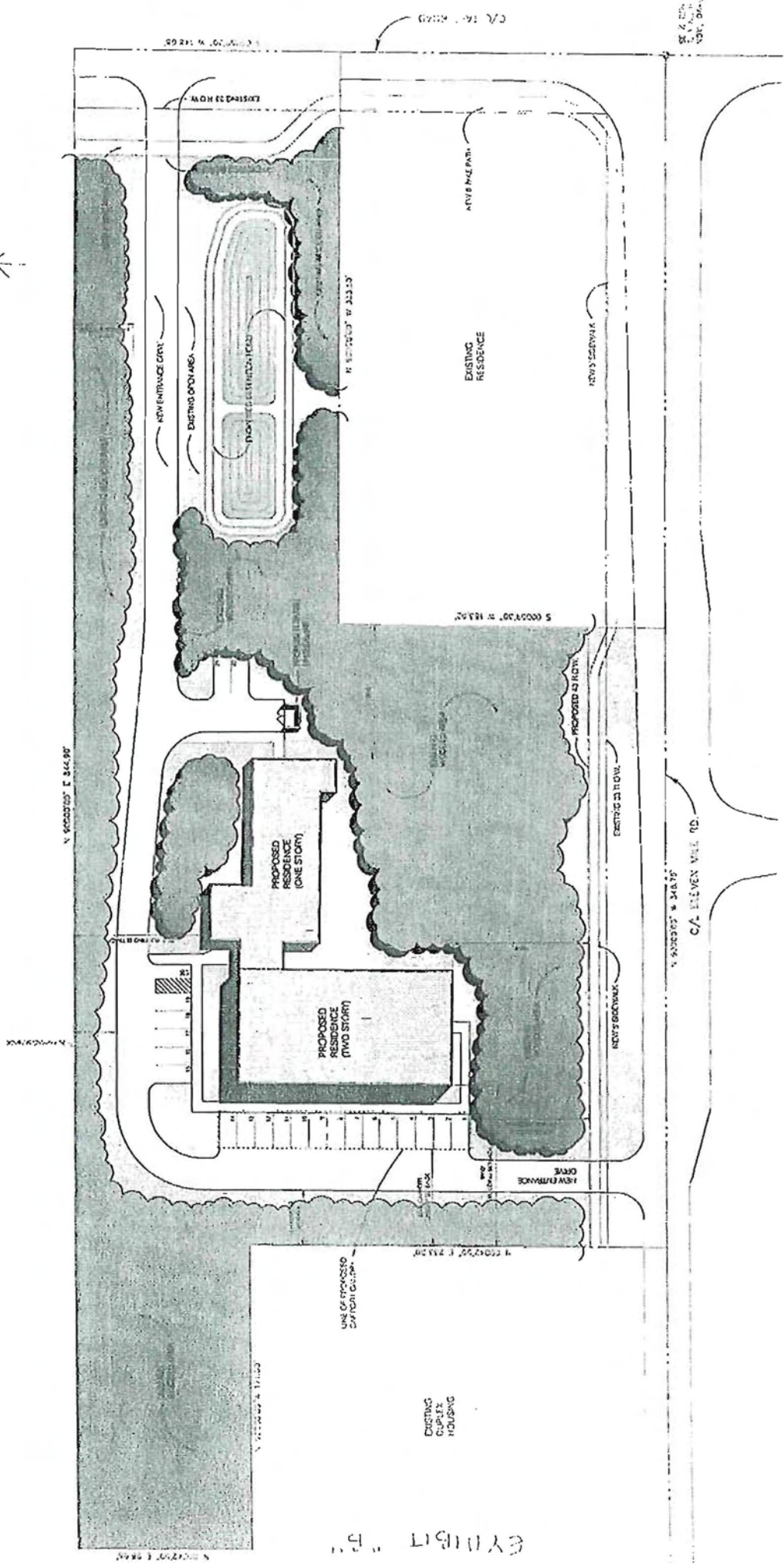
SCALE:  
1" = 100'



SHEET:  
1 OF 3

DRAWN BY:  
GASz

NORTH  
↑



EYEBIT "B"

2021 11 01 11:33

C/A. SEVEN MILE RD.

N. HEDGECOCK ST.

N. HEDGECOCK ST. E 844.90'

S 6000.00' W 163.43'

N. HEDGECOCK ST. E 844.90'

C/A. SEVEN MILE RD.

LINE OF PROPOSED SURFACE CURVE

N 5500.00' E 233.28'

N 5500.00' E 233.28'

EXISTING DUPLEX HOUSING

N 5500.00' E 233.28'

**APPLICANT RESPONSE LETTER(S)**



June 19, 2008

Stacy E. Peterson, AIA  
John P. Argenta, AIA  
Najim N. Saymuah, AIA

City of Novi  
Community Development Department  
45175 West Ten Mile Road  
Novi, Michigan 48375-3024

Attention: Kristen Kapelanski  
Planner

Re: Basilian Father Residence  
Novi, MI  
Architect's Project No. 07-140

Dear Ms. Kapelanski:

We have received your Plan Review Center Report dated June 10, 2008 for the above project and respond to your comments, by item, as follows:

A. PLANNING REVIEW

1. A barrier free sign at the designated barrier free parking space will be included in the Final Site Plan Submittal.
2. The requested changes will be made to the Photometric Plan as requested prior to the Final Site Plan Submittal.
3. Dumpster details will be included on the Final Site Plan submittal.
4. A separate "Site Plan" sheet showing requested information will be included in the Final Site Plan submittal.
5. PRO: Conservation easement will be noted on wooded areas and the required Conservation Easement will be in place prior to Stamping Set approval.

B. FACADE REVIEW

1. Roof pitches, although not noted, are 4.5/12, and not subject to facade review.
2. The split-face CMU shown on the base of the building will be deleted and all brick will be used on the facades.
3. A material sample board for the face brick will be presented to the Planning Commission along with shingle samples.

In addition, facade material calculations roof pitches and trash enclosure details will be included on the Final Site Plan submittal as required.

C. FIRE DEPARTMENT

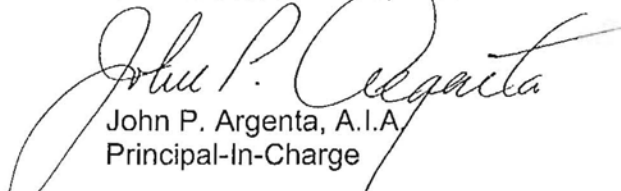
1. Engineering plans will indicate location of fire protection water main and domestic water main with control valves and locations as requested on the Final Site Plan submittal.
2. Fire Department Connection will be shown on Final Site Plan submittal as requested.
3. Rapid Access Knox box will be installed on building as required by Fire Department.

Additionally, please note that the access drive to the site from Eleven Mile Road is to be gated with a Rapid Access Knox box. This will be noted on the Final Site Plan submittal.

If you require any further information, please call me.

Sincerely,

CDPA ARCHITECTS, INC.

A handwritten signature in cursive script that reads "John P. Argenta". The signature is written in black ink and is positioned over the typed name and title.

John P. Argenta, A.I.A.  
Principal-In-Charge

JPA/lm

Enclosure

pc: File

**Z EIMET W OZNIAK**  
& ASSOCIATES  
Civil Engineers & Land Surveyors

40024 Grand River Avenue, Suite 100 • Novi, Michigan 48375  
(248) 442-1101 • Fax (248) 442-1241  
www.zeimetwozniak.com

June 18, 2008

Kristen Kapelanski  
City of Novi  
45175 West Ten Mile Road  
Novi, Michigan 48375

Re: Basilian Fathers Residence  
Engineering Review of the Preliminary Site Plan

Dear Ms. Kapelanski:

We are in receipt of the City of Novi engineering review of the preliminary Site Plan for the Basilian Fathers Residence. We agree with the majority of the comments and will include them in our next submittal. We would like to address the following two comments:

1. A watermain connection to the north has been requested. We are not proposing a watermain connection north to the proposed Sri Venkateswara Temple. At the April 8, 2008 meeting with the engineering staff at the City of Novi, we were instructed only to extend the watermain across the frontage of the Basilian Fathers Residence site along Taft Road.

The proposed watermain is shown at the proposed Sri Venkateswara site so that the sanitary sewer location can be designed correctly and that the watermain stubs on both site plans can be shown correctly for possible future connections if and when the vacant property between the two site plans is developed.

2. The driveways are shown to be 18-feet wide. A 20-foot wide driveway has been requested. Please note that this is a private residential driveway and 18 feet is adequate; adding additional driveway width will require more trees to be removed and is not necessary. We respectfully request to keep the driveway width at 18 feet.

If you have any questions or comments, please feel free to contact me.

Very truly yours,



Thomas E. Zeimet, PE

TEZ/bf

pc: John Argenta, CDPA  
Steve Deak, Deak Planning  
Woody Held, King & MacGregor  
Greg Kreutzer

**Z EIMET W OZNIAK**  
& ASSOCIATES  
Civil Engineers & Land Surveyors

40024 Grand River Avenue, Suite 100 • Novi, Michigan 48375  
(248) 442-1101 • Fax (248) 442-1241  
www.zeimetwozniak.com

June 18, 2008

Kristen Kapelanski  
City of Novi  
45175 West Ten Mile Road  
Novi, Michigan 48375

Re: Basilian Fathers Residence  
Traffic Review of the Preliminary Site Plan

Dear Ms. Kapelanski:

We are in receipt of the OHM traffic review of the preliminary Site Plan for the Basilian Fathers Residence. We agree with the majority of the comments and will include them in our next submittal. We would like to address the comment requesting a pedestrian sidewalk connection from both the Taft Road and Eleven Mile Road sidewalks to the building. Please keep in mind that this is a residential home for the Basilian fathers. The priests have access to the sidewalk located along Taft Road and Eleven Mile Road by walking on their residential driveway just as a single family residential home would. Further, the priests do not want to encourage pedestrian traffic from Taft and Eleven Mile Roads to cut through their property as this is a private residence. Additionally, adding a sidewalk adjacent to the driveway will require more trees to be removed.

We respectfully request that the sidewalk from the Taft Road and Eleven Mile Road sidewalk to the building not be required.

If you have any questions or comments, please feel free to contact me.

Very truly yours,



Thomas E. Zeimet, PE

TEZ/bf

pc: John Argenta, CDPA  
Steve Deak, Deak Planning  
Woody Held, King & MacGregor  
Greg Kreutzer

z:\07142Letter2w



PLANNING +  
DESIGN, LLC

■ land planning  
■ site design  
■ landscape architecture

June 19, 2008

Ms. Kristen Kapelanski, Planner  
City of Novi Planning Department  
45175 W. Ten Mile Road  
Novi, Michigan 48375

Re: **Basilian Fathers residence SP 07-59A**

Dear Ms. Kapelanski:

We have reviewed the Preliminary Site Plan Review for the Basilian Fathers Residence per the review packet dated June 10, 2008. Our responses to the review comments are listed below:

**A. Landscape Review**

1. No buffer is required as noted due to preserved vegetation.
2. The permanently preserved vegetation along 11 Mile Road will be noted on the plans as requested pursuant to receiving the berm waiver as noted.
3. The vegetation along Taft Road will be preserved in a natural state with no mowing within 25' of the upper edge of the detention basin and will be noted on the plans as requested pursuant to receiving the berm waiver as noted.
4. Noted.
5. Noted.
6. Noted.
7. Noted.
8. Noted.
9. Noted.
10. Noted.
11. Noted.
12. Noted.
13. Noted.
14. Noted.
15. Noted.
16. An Irrigation plan and cost estimate will be provided with the Final Site Plan.
17. Miss Dig notations shall be added to all sheets.
18. Woodland Review comments are addressed below.

**B. Woodland Review**

1. Tree impacts will be re-evaluated per comments and inconsistencies per comments on revised Final Site Plans.
2. Missing and inconsistent trees will be updated on revised plans for Final Site Plan review.
3. Sheet N-1.1 shall be revised per comments.
4. Tree impacts within the drip line shall be re-evaluated per comments on revised Final Site Plans as requested.
5. Tree protection fencing will be revised per comments.
6. Tree stems will be added to tree impact and replacement calculations on the revised Final Site Plans.
7. Additional trees noted for impact will be updated on the revised Final Site Plans.
8. Tree inventory list shall be updated and amended as request on the Final Site Plan submittal.
9. Scale, north arrow and legend will be added to the Final Site Plans.
10. Additional detail shall be provided as necessary for the Final Site Plans.
11. See engineer's response for grading and water level information.

Page 2  
Basilian Residence Responses  
June 19, 2008

12. Utility and associated easements will be clarified on the Final Site Plans.
13. The cost estimate for replacement trees and fund for the City's Tree Fund will be revised on the Final Site Plans.
14. The location and separation of replacement trees will be revised as requested for the Final Site Plans.

I hope this information is helpful in your review of Basilian Fathers Residence Landscape and Woodland replacement plans. If you have any questions, please feel free to contact me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Deak', written in a cursive style.

Steve Deak, RLA, ASLA  
Deak Planning + Design, LLC



King & MacGregor  
Environmental  
Inc.

June 18, 2008

Ms. Barbara McBeth  
Deputy Director of Community Development  
**City of Novi**  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Basilian Fathers Residence SP# 07-59-A  
Wetland Review of the Preliminary Site Plan

Dear Ms. McBeth:

We are in receipt of the June 13, 2008 review letter authored by Dr. John Freeland of ECT, Inc which recommended conditional approval of the Preliminary Site Plan. In response to his Comments and Conditions, we offer the following:

1. Plans will be revised to show temporary and/or permanent impacts to wetland or wetland setback areas.
2. Plans will be revised to reflect restoration of temporarily disturbed wetland or wetland setback areas and cost estimates for the restoration will be provided.
3. A MDEQ application for permit will be submitted for impacts to state regulated wetlands and a copy will be provided to the City.

If you have any questions, comments or need additional information please feel free to call or contact me via email at [wheld@king-macgregor.com](mailto:wheld@king-macgregor.com).

Sincerely,

**King & MacGregor Environmental, Inc.**  
Woody L. Held

Cc: Andy Wozniak (Zeimet Wozniak)

40595 Koppnick Rd.  
Canton, MI 48187  
Phone: 734/354-0594  
Fax: 734/354-0593

Other Michigan Offices:  
Grand Rapids  
East Lansing  
Traverse City  
St. Clair Shores

P:\2008\08000\08088 Basilian Residence\ECT review response ltr 06.18.08.doc

e-mail: [kme@king-macgregor.com](mailto:kme@king-macgregor.com)

**REDUCED SITE PLAN**





**CIDPA**  
**ARCHITECTS**  
 CIDPA ARCHITECTS, INC.  
 20000 Telegraph Rd.  
 Farmington Hills, Michigan 48334  
 TEL: (248) 343-2447  
 FAX: (248) 343-2474  
 Email: cidpa@cidpaarch.com

**ZUMUT W. ROSS**  
 ARCHITECT  
 10000 W. GRAND AVENUE, SUITE 100  
 FARMINGTON HILLS, MICHIGAN 48334  
 TEL: (248) 343-2447  
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 Email: zumut@zumutross.com

**DEAK**  
**ROSSIN LLC**  
 10000 W. GRAND AVENUE, SUITE 100  
 FARMINGTON HILLS, MICHIGAN 48334  
 TEL: (248) 343-2447  
 FAX: (248) 343-2474  
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**King & MacGregor**  
 Environmental Inc.  
 10000 W. GRAND AVENUE, SUITE 100  
 FARMINGTON HILLS, MICHIGAN 48334  
 TEL: (248) 343-2447  
 FAX: (248) 343-2474  
 Email: king@kingmacgregor.com

Project Name:  
**BASILIAN**  
**RESIDENCE**  
**SECTION 16**  
 NOVI, MICHIGAN

Client:  
 BISHOPIAN ELEMENTARY SCHOOL  
 27275 WILSON RD.  
 FARMINGTON HILLS, MI 48334  
 (248) 343-3000

Date	2017.2
Drawn	
Checked	
Reviewed	
Approved	
Scale	
Sheet No.	
Sheet Title	SITE PLAN

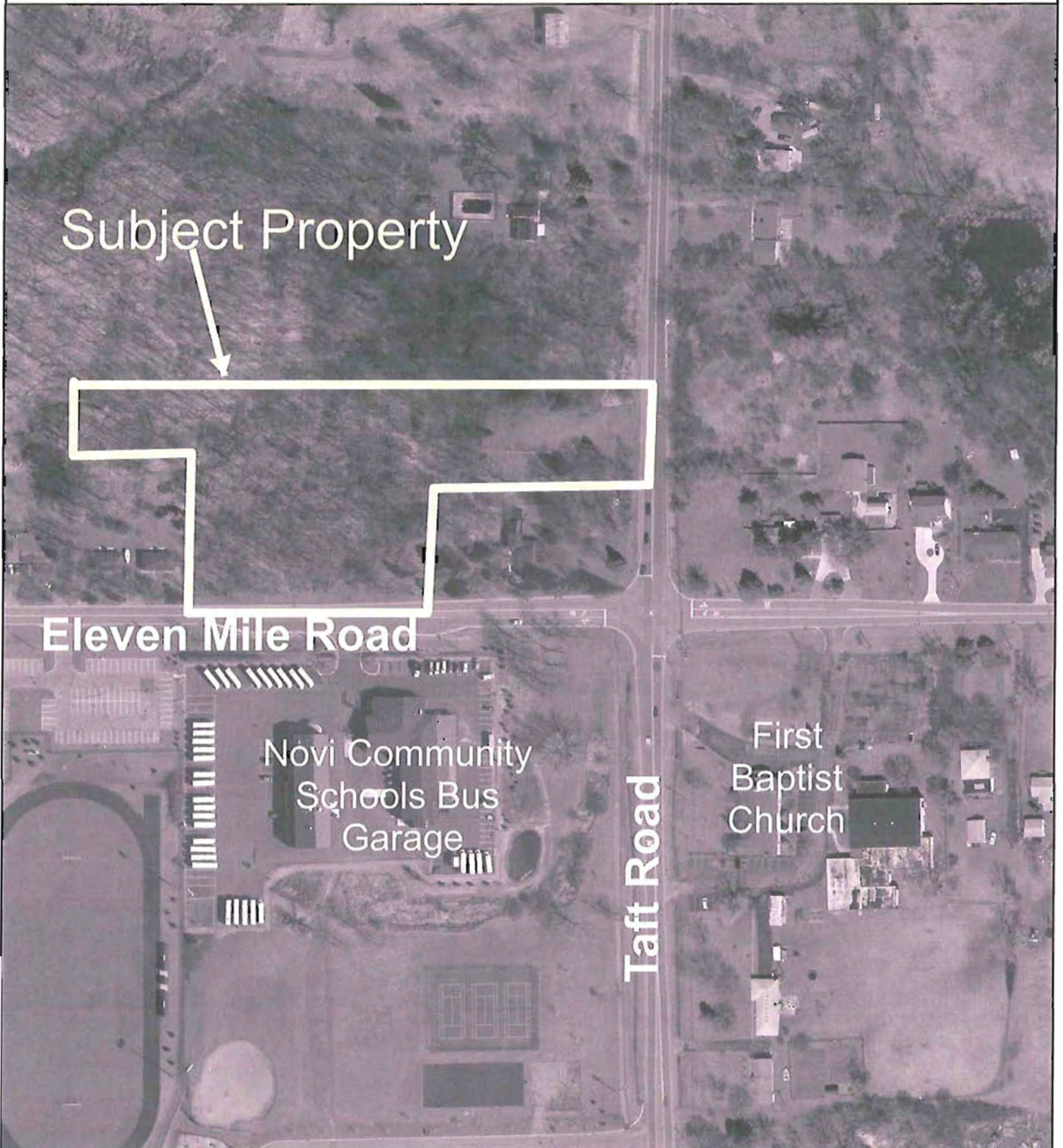
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 Sheet Number:  
 Date Printed:

**MAPS**

**Location/Air Photo  
Zoning  
Future Land Use  
Natural Features**

# Basilian Fathers Residence SP#07-59A

## Location



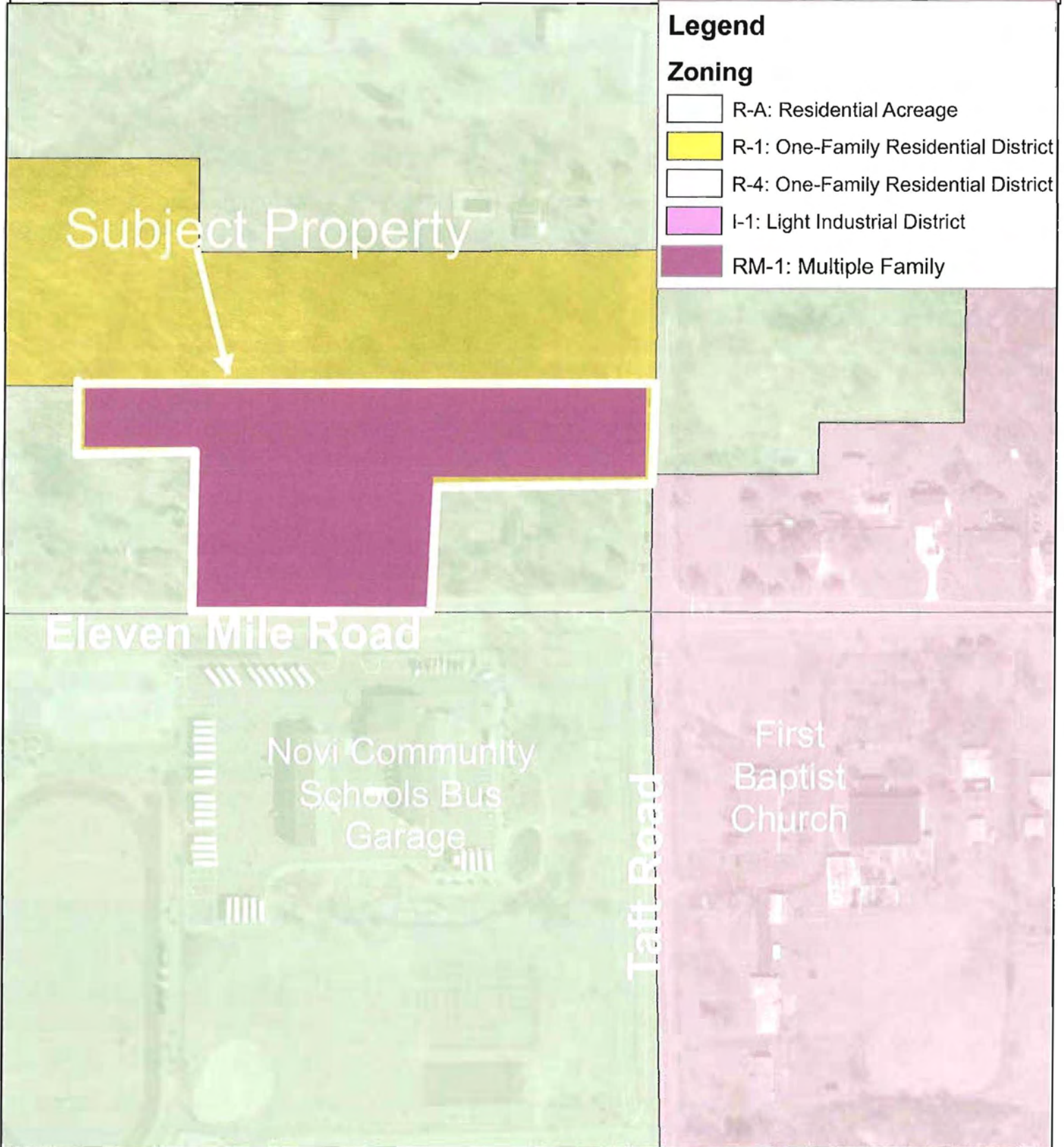
**CITY OF NOVI**  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLAN REVIEW CENTER  
NOVI CITY HALL/CIVIC CENTER  
45175 W. TEN MILE ROAD  
NOVI, MI 48375-3024  
(248) 347-3279  
WWW.CI.NOVI.MI.US  
MAP AUTHOR: KRISTEN KAPELANSKI



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# Basilian Fathers Residence SP#07-59A

## Zoning



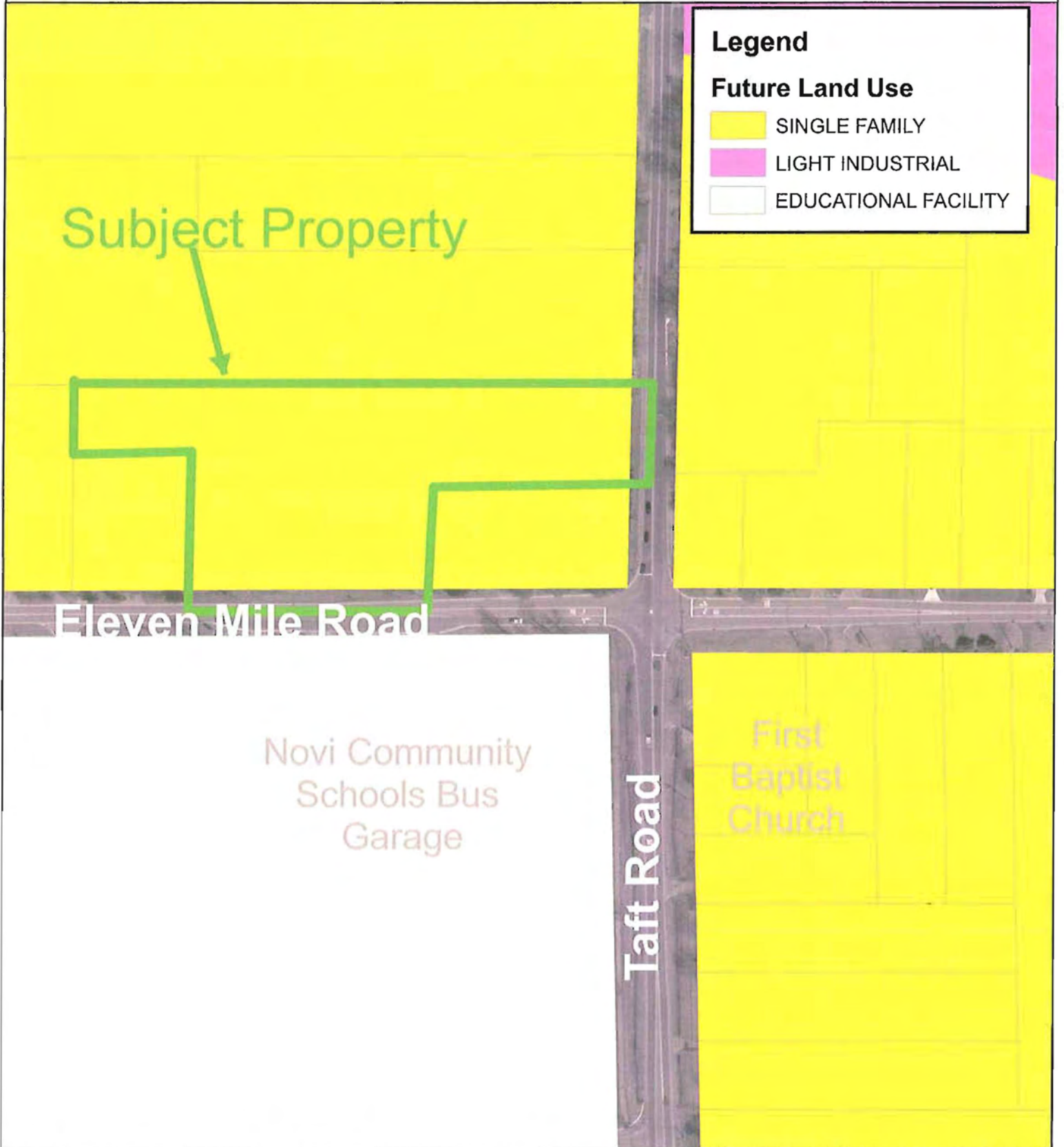
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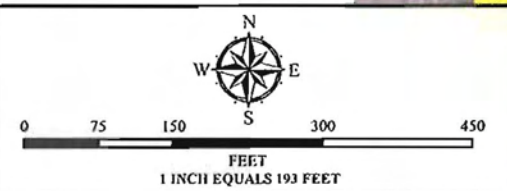
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# Basilian Fathers Residence SP#07-59A

## Future Land Use



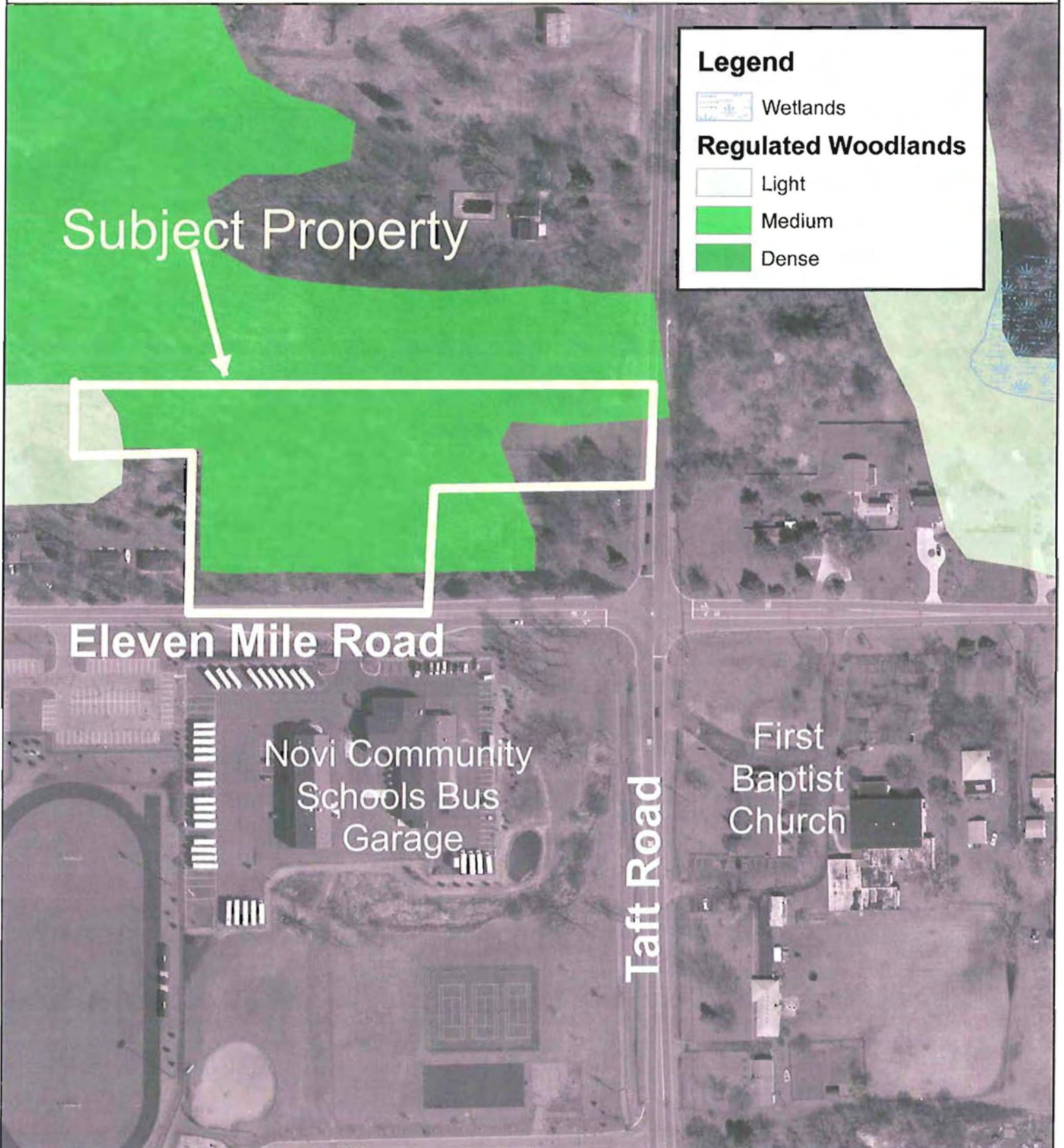
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MAP AUTHOR: KRISTEN KAPELANSKI



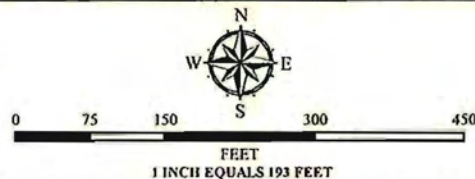
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# Basilian Fathers Residence SP#07-59A

## Natural Features



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