



CITY of NOVI CITY COUNCIL

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**Agenda Item 2
August 13, 2007**

SUBJECT

Consideration of the request of Hobbs and Black for Gold's Gym for Preliminary Site Plan approval of a 10,480 square foot addition and façade modification to the existing Fountain Walk Shopping Center. The subject property is located in Section 15, south of Twelve Mile Road, west of Donelson Drive, in the Twelve Mile Crossing at Fountain Walk development in the R-C, Regional Center District.

SUBMITTING DEPARTMENT: Community Development - Planning

CITY MANAGER APPROVAL: 

BACKGROUND INFORMATION:

The Community Development Department has had a number of meetings with the representatives of the Twelve Mile Crossing at Fountain Walk development to discuss the vision the new owners have for the center, and possible modifications to the site plan, which was initially approved by the City Council in 1999. On July 10, 2006, the applicant received Preliminary Site Plan approval from the City Council for the first two phases of redevelopment and on June 3, 2007 the applicant received approval for the third phase. These approvals included the reconfiguration of walkways, adding driveways between the buildings, the demolition of 48,000 square feet of building area, a new driveway entrance and parking lot modifications.

Gold's Gym plans to undergo renovations and remodeling of most of Building E, which is located near the center of the development, on the east side of the property north of the Great Indoors. The construction will require relocation of a couple of tenants in this part of the building, and will leave two corners of this building open for possible re-occupancy. The Preliminary Site Plan for Gold's Gym (SP07-31) includes enclosing two unloading/dumpster enclosure areas to add 3,250 square feet of building footprint, as well as the addition of 7,230 square feet for a second floor mezzanine. Other changes include the addition of a dumpster enclosure and loading areas to accommodate Gold's Gym as the new tenant for building E of the development. On July 25, 2007, the Preliminary Site Plan received a favorable recommendation from the Planning Commission subject to several conditions.

The applicant is requesting approval from the City Council of the Preliminary Site Plan. The applicant has agreed to make all of the changes recommended in the Staff and Consultant review letters, as incorporated in the Planning Commission's recommended conditions. Following the Planning Commission meeting, the applicant provided updated conceptual sketches that respond to the comments made at that meeting and in Staff review letters. The conceptual sketches accomplish the following:

- Screening of the dumpster enclosure and loading area from view of neighboring properties and road right-of-ways;
- Permitting unobstructed pedestrian flow; and
- Permitting unobstructed fire apparatus access to the pedestrian concourse between Buildings E and B (Great Indoors).

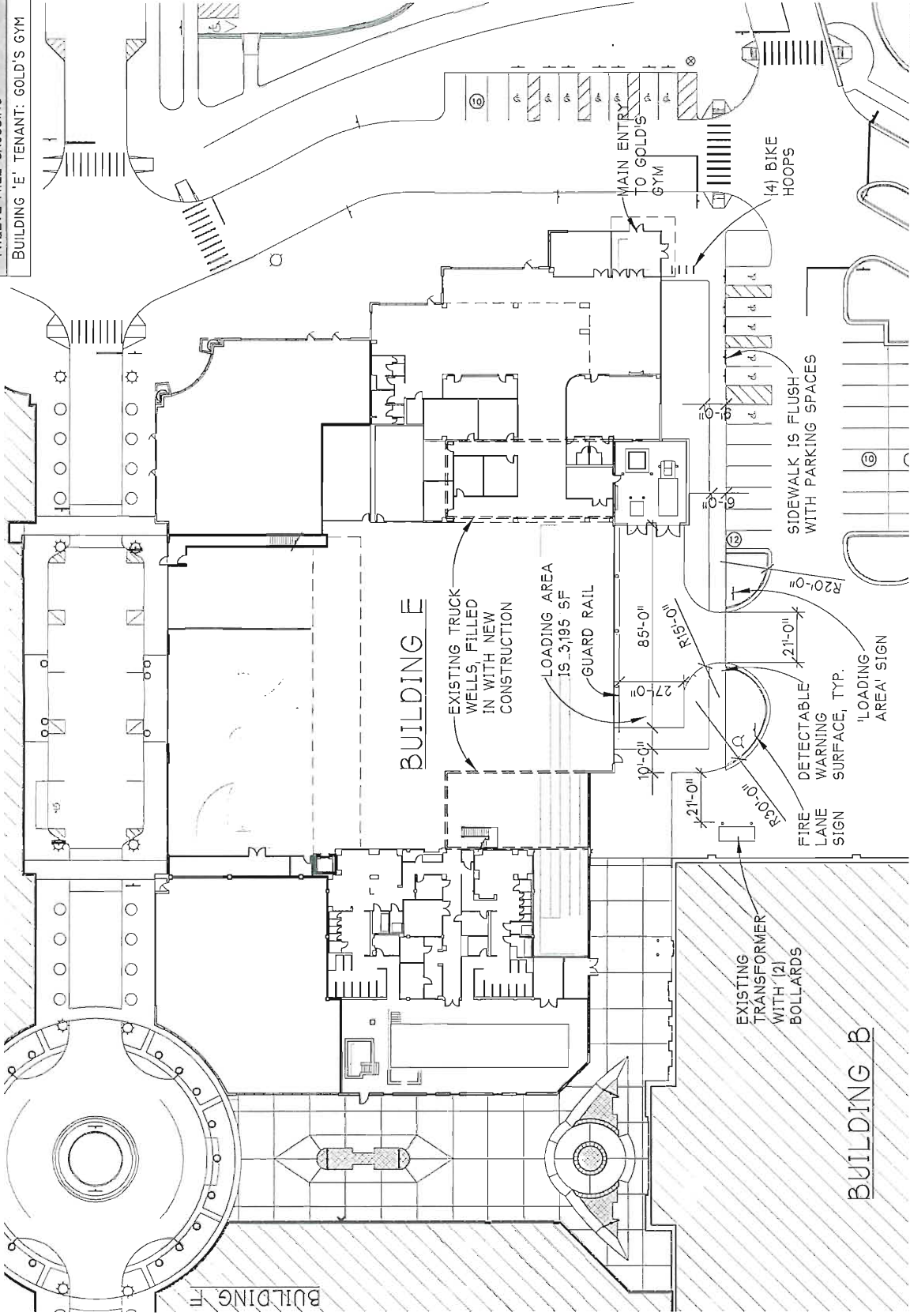
Please see attached reduced version of the revised site plan and building elevations. The City's Traffic Consultant and Staff have reviewed this modified proposal and recommend approval of the changes. Please note that the fire access remains the same as approved with the Phase III plan.

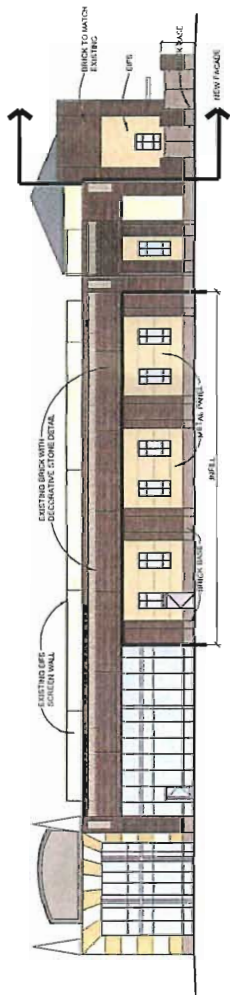
RECOMMENDED ACTION:

Approval of the request of Hobbs and Black for Gold's Gym for Preliminary Site Plan approval of a 10,480 square foot addition and façade modification to the existing Fountain Walk Shopping Center subject to the Planning Commission conditions and comments in the Staff and Consultant review letters.

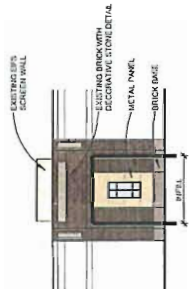
	1	2	Y	N
Mayor Landry				
Mayor Pro Tem Capello				
Council Member Gatt				
Council Member Margolis				

	1	2	Y	N
Council Member Mutch				
Council Member Nagy				
Council Member Paul				

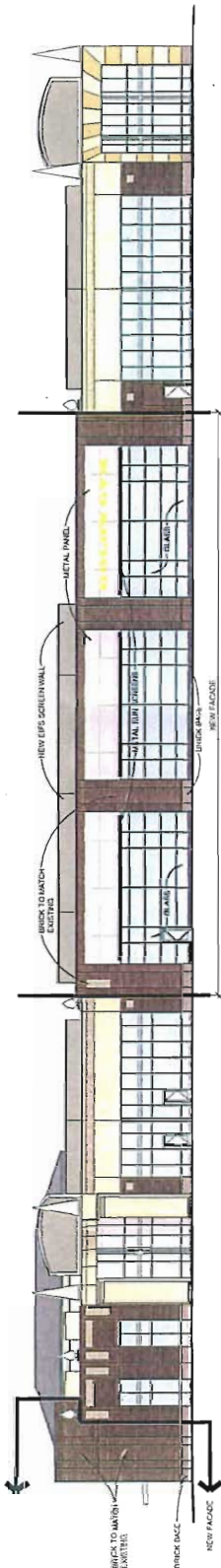




SOUTH ELEVATION
SCALE - 1/4"=30'
BY G. COOPER



SOUTHEAST ELEVATION
SCALE - 1/4"=30'
BY G. COOPER

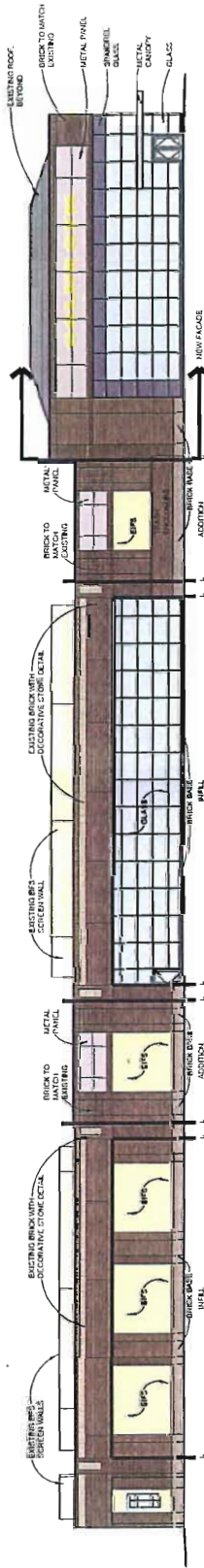


WEST ELEVATION
SCALE - 1/4"=30'
BY G. COOPER



NORTH ELEVATION

SCALE - 1/8" = 1'-0"



EAST ELEVATION

SCALE - 1/8" = 1'-0"

PROPOSED REVISED SITE PLAN

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

July 16, 2007

Planning Review

Gold's Gym
SP07-31

Petitioner

Hobbs & Black

Review Type

Combined Preliminary and Final Site Plan

Property Characteristics

- Site Location: Eastern portion of the existing Twelve Mile Crossing at Fountain Walk development, which is bounded by Donelson Drive, Cabaret Drive, Twelve Mile Road, and Fountain Walk Drive, in Section 15
- Site Size: 67.2 acres for the entire development
- Zoning: RC, Regional Commercial
- Surrounding Zoning: North: OS-1, Office Service and R-A, Residential Acreage; South: I-2, General Industrial; East: RC and C, Conference; and West: OST, Office Service Technology
- Surrounding Land Uses: North: Liberty Park Site Condominium, Manchester Professional Centre, and Stoneridge Office Park; East: West Oaks I & II and Doubletree Hotel; South: ITC transmission lines and further south the I-96 MDOT right-of-way; and West: Vacant Land approved for a Hilton Garden Inn, Telcom Credit Union, and Residence Inn
- School District: Novi Community Schools
- Proposed: 10,480 sq. ft. addition and façade change
- Plan Date: July 7, 2007

Project Summary

The applicant, Hobbs & Black, is requesting approval of a combined Preliminary and Final Site Plan for an addition to Building E of the Twelve Mile Crossing/Fountain Walk development. The development is a 679,000 sq. ft. retail center located on 67.2 acres and on the south side of Twelve Mile Road between Donelson Drive and Cabaret Drive. The addition proposed is 10,480 sq. ft. to accommodate the space requirements of a new tenant, Gold's Gym. The Plan proposes new dumpster enclosures and loading areas. The building addition will enclose the existing dumpster enclosure/unloading areas (court yards) located on the east side of the building. This addition will increase the ground floor area by 3,250 sq. ft. A 7,230 sq. ft. second floor (mezzanine) is also proposed to be built within the existing building. As part of an overall remodeling plan for the development, the City Council approved the Twelve Mile



New Street West Side Building B (Proposed Gold's Gym)

Crossing/ Fountain Walk phase one and phase two (SP06-25 and SP06-29) site plans which included the demolition of 48,000 sq. ft. of retail floor space and constructing a street with parking facilities in the interior court yard, in 2006. The demolition is complete and the street construction is in its final stages. In 2007, the Council approved the Preliminary Site Plan for an additional phase that included a new entrance off of Donelson Drive and parking lot modifications. The City is currently reviewing the Final Site Plan Stamping sets for this project.

Approval Process (Section 1703.4)

The required conditions of the RC district give authority for site plan approval to the City Council, following review and recommendation by the Planning Commission. After a Preliminary Site Plan Approval is granted by City Council, Final Site Plan Approval may be granted administratively. A Pre-Application meeting was held with the City's Professional Staff, and a number of items were discussed. At the advice of staff, as a way to expedite the development process, the applicant submitted plans for simultaneous review of both Preliminary and Final Site Plan Review. Upon a City Council approval (with Planning Commission recommendation) of the site plan, the applicant will be asked to submit sets of plans incorporating City Council's conditions of approval and requested changes as well as any modifications noted in the staff and consultant review letters.

Recommendation

The Planning Staff **recommends approval** of the combined Preliminary and Final Site Plan subject to the following conditions:

- The applicant receiving a ZBA variance to reduce the amount of required loading area;
- The redesign of the dumpster enclosures to better screen the enclosures from the view of neighboring properties and road right-of-ways and to permit unobstructed pedestrian flow;
- The redesign of the loading areas to remove loading areas from parking spaces, to better screen them from view of neighboring properties and road right-of-ways and to permit unobstructed pedestrian flow; and
- Minor corrections at the time of Stamping Set Site Plan submittal.

Comments:

The combined Preliminary and Final Site Plan was reviewed under the general requirements of Article 17, Regional Commercial (RC) District and Section 2400, the Schedule of Regulations of the Zoning Ordinance, and other sections of the ordinance, as noted. Items in **bold** need to be considered by the Planning Commission and City Council at the time of Preliminary and Final Site Plan Review and the items underlined need to be addressed on the Stamping Set submittal.

- 1. Schedule of Regulations** The Site Plan demonstrates general compliance with the standards of Section 2400, the Schedule of Regulations, relating to building and parking setbacks.
- 2. Parking Spaces** (Section 2505) If restaurant, cinema and entertainment uses do not exceed 20% of the floor area of the entire development, 3,058 parking spaces are required. The applicant has provided 3,993 spaces. The applicant is asked to provide use area calculations and parking calculations for the entire site. The applicant has provided an adequate number of barrier free parking spaces.
- 3. Loading Space** (Section 2507) Building E has 315 feet of frontage on the site's internal access road, therefore 3,150 sq. ft. of loading area is required. The applicant proposes removing 3,250 sq. ft. of unloading area and replacing it with three unloading areas totaling 2,814 sq. ft. which is 786 sq. ft. short of the required amount. **The applicant is asked to redesign the site to provide ample loading area or seek a ZBA variance.** Area 1 comprises 1,008 sq. ft. and is located where parking spaces are located along the internal road just west of the building. This area is not permitted to be a loading area since the Zoning Ordinance requires loading areas to be exclusive of parking spaces. Area 2 is 882 sq. ft. in area, 21 foot wide and 42 feet deep and proposed to be located east of the building in a pavement area just north of the adjacent Building B (Great Indoors). The area was depicted in the Phase 3 Final Site Plan as an access area to an existing dumpster enclosure/loading area. This space is only large enough to accommodate small box vans. Area 3 is 924 sq. feet in area, 22 feet wide and 42 feet deep. It is located in an area approved for access to the existing dumpster enclosure/loading area and 20 x 22 feet of proposed sidewalk. This area is also only large enough to accommodate small box vans. The proposed loading area also restricts pedestrian movement. Staff can support a Zoning Board of Appeals variance to reduce the required loading area if adequate space is provided



Existing Northeast Dumpster Enclosure/Loading Area

to accommodate two 60 foot trucks (1,200 sq. ft.) and the loading areas are relocated to eliminate pedestrian circulation and parking space conflicts.

4. Dumpster Enclosures (Chapter II, Section 21-145 and Section 2503.2.F) The Site plan proposes two dumpster enclosures, both are located along the east side of the building in areas that were approved for sidewalks on the Phase 3 Site Plan. The walkway in front of the enclosures was reduced to 5 foot and 6 foot. When the doors to the enclosures are opened they will block the pedestrian flow along the sidewalk. The northern enclosure will be highly visible from the new entrance drive. The Planning Staff recommends moving the enclosures to a location that will not interfere with pedestrian circulation. The enclosures proposed do not match the building façade and they are not depicted on the façade elevations. The applicant is asked to provide the enclosure façade on the façade elevations and to match the brick uses on the building by including the foundation treatment found on the building. In addition, since this side of the building will be in full view of the new entrance, the applicant may want to consider providing additional architectural details to dress up the service facilities. As an example, the existing enclosures are gated by decorative metal gates and not wood as proposed.

5. Pedestrian Circulation (Section 2516.2.b (3)) The site layout approved for the Phase 3 remodel of Twelve Mile Crossing at Fountain Walk included maintaining a 12 to 30 foot wide



Pedestrian Aisle Between Buildings B & F with Pedestrian Rest Area

sidewalk adjacent to the east side of the proposed Gold's Gym building. This sidewalk provides access to a pedestrian rest area and to the new street along the west side of the proposed Gold's Gym. Currently this sidewalk area is also posted as a "No Parking Fire Lane" area. The proposed location of the dumpster enclosures and the north loading zone reduce the service width of the sidewalk. The Planning Staff recommends moving the enclosures and loading areas to a location that would reduce pedestrian and loading zone conflicts.

- 6. Outdoor Lighting** In order to properly evaluate the site lighting, fixture and photometric details need to be provided for all existing and previously approved lighting within the site plan area. This information is required to insure that the proposed outdoor lighting meets the City's minimum illumination standards. As submitted, the City's minimum illumination standards are not met. The applicant is asked to submit a complete outdoor lighting plan.
- 7. Other Issues** Several minor items need to be corrected on the Final Stamping Plan Set (See Planning Review Summary chart for details).



View of Current Dumpster Enclosure/Loading Area Doors Looking West from West Oaks Drive

8. Response Letters A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters and attached charts, is requested prior to the matter being reviewed by the Planning Commission. Additionally, a letter from the applicant is requested to be submitted with the Final Site Plan Stamping Set highlighting the changes made to the plans addressing each of the comments listed above, in other review letters and with any conditions of City Council approval.

Please contact Mark Spencer at (248) 735-5607 or mspencer@cityofnovi.org with any questions or concerns.

Prepared by Mark Spencer, *AICP*, Planner

Attachment: Planning Review Chart

Lighting Chart

PLANNING REVIEW SUMMARY CHART

Review Date: 7/2/07
Project Name: Gold's Gym Twelve Mile Crossing
Project Number: SP07-31 Preliminary and Final Site Plan
Plan Date: 7/5/07

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary and Final Site Plan. Underlined items need to be addressed on the Final Stamping Set Site Plan.

Item	Required	Proposed	Meets Requirements ?	Comments
Master Plan	Regional Commercial	No change	Yes	
Zoning	RC, Regional Commercial	No change, uses permitted	Yes	
Permitted Uses (Section 1701)	Regional and community shopping centers that can include retail, services, restaurants & indoor recreation facilities	Fitness Center	Yes	
Intent of District	The RC Regional Center Districts are intended to permit major planned commercial centers that will, by virtue of their size, serve not only the local community, but the surrounding market area as well.	Additional 10,480 sq. ft. 3,250 sq. ft. first floor and 7,230 second floor	Yes	
Building Height (Section 2400, Schedule of Regulations & 2503.2.E)	45 feet maximum	39.2 feet existing Building addition and façade change	Yes	
Building Setback				
Front east (2400 & 2908)	100 feet	Over 350 feet	Yes	
Side east exterior (2400 & 2908)	100 feet	No change proposed	Yes	
Side west interior (2400 & 2908)	100 feet	No change proposed	Yes	
Rear (2400 & 2908)	100 feet	No change proposed	Yes	

Item	Required	Proposed	Meets Requirements ?	Comments
Parking Setback				
Front east (2400 h)	20 feet front 10 feet sides	No change proposed	Yes	
Side south (2400)	20 feet front 10 feet sides	No change proposed	Yes	
Side north (2400)	20 feet front 10 feet sides	No change proposed	Yes	
Rear west (2400)	20 feet front 10 feet sides	No change proposed	Yes	
Number of Parking Spaces (2505)	4.5 spaces per 1,000 sq. ft. GLA If more than 20% of the total floor area is used for restaurant, cinema and entertainment uses exceeds 20% a shared parking study must be undertaken to determine the appropriate parking. 669,123 sq. ft. (floor area based on Phase 3 submittal) + 10,470 sq. ft. (new floor area) = 679,573 sq. ft. x 4.5 spaces/1,000 sq. ft. = 3,058 spaces required	3,993 provided – No changes proposed	Yes?	<u>Provide use calculations for entire development – Provide correct building areas that include the proposed expansion</u>
Parking Space Dimensions and Maneuvering Lanes (2506)	9' x 19' parking space dimensions and 24' wide drives. 9' x 17' parking spaces allowed along 7' wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.	9' x 19' and 9' x 17' provided - no changes proposed	Yes	
End Islands (Section 2506.13)	End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic	No changes proposed	Yes	

Item	Required	Proposed	Meets Requirements ?	Comments
	circulation aisles. The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.			
Barrier Free Spaces (Barrier Free Code)	20 plus one for each 100 spaces over 1,000 – $20 + (2,993/100) = 49.93 = 50$ <u>required</u>	95 existing – No changes proposed	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle for standard barrier free spaces, and 8' wide with an 8' wide access aisle for van accessible spaces	8' wide with 5' or 8' aisle provided – No changes proposed	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	No changes proposed	Yes	
Loading Spaces (Section 2507)	10 sq. ft. for every one foot of building frontage – may not encroach on parking, travel lanes or pedestrian ways – Located in rear yard or interior side yard – Aesthetically and effectively screened from view of neighboring properties and streets – 315 ft. (frontage on internal street) x 10 ft. = 3,150 sq. ft.	Removal of 3,250 sq. ft. of unloading area – Replaced with three loading areas totaling 2,814 sq. ft.	No	Provide 3,150 (additional 786) sq. ft. of loading/unloading area or obtain a ZBA variance – Loading areas problematic blocking sidewalk & includes parking spaces – Northeast unloading area may not screened from view of public road – Redesign suggested
Dumpster (Chapter II, Section 21-145 and Section 2503.2.F)	<ul style="list-style-type: none"> o Enclosure not required if no outdoor storage of trash o Locate in rear yard o Min. 10 ft. from 	Dumpsters relocated onto pedestrian way – <u>5 foot and 6 foot access in front of enclosure will be blocked when gates</u>	No	Redesign provide adequate pedestrian circulation when dumpster gates are open and screened from right-of-way – Provide on enclosure elevations on

Item	Required	Proposed	Meets Requirements ?	Comments
	<ul style="list-style-type: none"> buildings or attached to building o Must meet parking setback requirement or min. 10 ft. o If rear adjacent to right-of-way them must meet front yard setback o Materials must match building o Bollards required to protect enclosure walls o Provide on façade drawings 	<p>left open – Enclosures brick <u>does not include the foundation treatment of the buildings</u> - <u>Bollards partially provided</u> -</p>		<p>façade drawings – <u>Provide matching brick by including foundation treatment - Provide internal bollards that protect all walls and equipment - Suggest further screening of north enclosure from right-of-way</u></p>
Exterior lighting (Section 2511)	Photometric plan and exterior lighting details needed at time of	No changes proposed	No	See Lighting Review
Sidewalks (City Code Section 11-276(b))	A 5'-8' wide sidewalk shall be constructed along all major thoroughfares as required by the City of Novi's Pedestrian and Bicycle Master Plan –	No changes proposed to external sidewalk system	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot.	Connected	Yes	
Pedestrian Connectivity	The Planning Commission shall consider the following factors in exercising its discretion over site plan approval ... Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets (Section 2516.2.b (3)).	Dumpster enclosures relocated to sidewalk area on east side of building	Yes	Dumpster enclosure doors will block sidewalk - Applicant may want to consider decorative paving or other method of delineating pedestrian path adjacent to dumpster enclosures

Item	Required	Proposed	Meets Requirements ?	Comments
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided		
Design and Construction Standards Manual	General layout and dimension of proposed physical improvements, showing the following: Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, indicate square footage of pavement area (and all existing and proposed underground utilities).	Provided	Yes	
Development Sign	Signage is proposed and a permit will be required.	2 building signs proposed	Yes?	<u>Contact Alan Amolsch at 248-347-0463 for permit information</u>

Prepared by Mark Spencer, AICP (248) 735-5607 or mspencer@cityofnovi.org

Lighting Review Summary Chart

Gold's Gym

Review Date: 07/13/07

Final Site Plan: SP07-31

Plan Date: 7/5/07

Bolded items must be addressed at the time of Final Stamping Set

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	No	See Below
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	No	Depict all existing lighting
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data ___ Fixture height <input checked="" type="checkbox"/> Mounting & design ___ Glare control devices <input checked="" type="checkbox"/> Type and color rendition of lamps <input checked="" type="checkbox"/> Hours of operation ___ Photometric plan ___	Yes/No	Depict details for all existing lighting – Include existing in photometric plan – Provide note for hours of operation – Provide fixture manufacture cut sheet showing bulb placement and shielding
Required Notes (Section 2511.3.b)	- Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited	No	Provide required notes

Item	Required	Meets Requirements?	Comments
	operations shall be permitted after a site's hours of operation.		
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Unknown	Provide calculations
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	No	Include existing illumination – Meet all required illumination
Cut off Angles (Section 2511.3.i & m)	All cut off angles of fixtures must be 90 degrees – City may waive cutoff requirement when historic or decorative fixtures used	Unknown	Provide fixture manufacture cut sheet showing bulb placement and shielding

TRAFFIC REVIEW

July 18, 2007

Ms. Barbara E. McBeth
Deputy Director Community Development
45175 West Ten Mile Road
Novi, MI 48375-3024



Re: Gold's Gym – Final – 1st Review
SP No. 07-31
OHM Job No. 163-07-0283

As requested, we have reviewed the final site plan submitted for the proposed Twelve Mile Crossing Gold's Gym development. The plans were prepared by Hobbs + Black Associates, Inc. and are dated July 5, 2007. At this time, we offer the following comments:

OHM RECOMMENDATION

At this time, we recommend approval of the final site plan, subject to the items listed below being addressed prior to "stamping" plan submittal.

DEVELOPMENT BACKGROUND

- The site is currently zoned as RC (Regional Center).
- The property contains approximately 67.21 acres.
- The land use within the site includes Health Club with the gross floor area of 52,789 Sq. Ft.

ROADWAY NETWORK

The development is located west of Donelson Drive on the south side of 12 Mile Road. 12 Mile Road is a paved road functionally classified as major arterial route with a posted speed of 45 mph. and is under the jurisdiction of the Road Commission of Oakland County (RCOC). Donelson Drive is considered a non-residential collector with a posted speed limit of 25 mph, and falls within the jurisdiction of the City of Novi. The developer has proposed one access point to the development off of the Donelson Drive.

SITE PLAN ISSUES AND CONCERNS

1. Loading Zones:

- We note that a landscaping island is erroneously denoted as "loading area" on sheet A-100. Such anomaly should be corrected.
- The parallel parking spaces west of the proposed development are marked on sheet A-002 as loading zone adjacent to the building. Such loading zone is redundant, would detract from parallel on-street style parking. The City of Novi Zoning Ordinance Section 2507.4 clearly prevents such practice. Hence, such loading zone should be eliminated from the plan.
- We do not believe that the north loading zone on the east side of the proposed development is suitable for vehicles larger than the step vans. The City of Novi Zoning Ordinance Section 2507.2 states that within RC district, loading space shall be at a ratio of ten (10) square feet for each front foot of the building. Such requirement should be checked and implemented for this loading zone.

2. ADA Ramps and Details:

- The pedestrian pathway between the dumpster and the northeast loading area shall be dimensioned. Such pathway should be at least 5' wide to maintain the access to the pedestrians, even when the dumpster area doors are open. The dumpster area is shown to

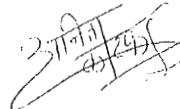
- have outward opening doors.
- ADA compliant ramps must be provided at each accessible parking stall. We recommend that Type 5 Parallel Sidewalk Ramps (as described in the MDOT Standard Details for Sidewalk Ramps) be used along the bank of handicap parking stalls.
 - The type of proposed ADA compliant ramps should be clearly labeled on the plan sheet and the most current MDOT detail for the proposed ADA compliant ramps should be attached with the plan set.
3. Site Plan Boundaries: We noted that the details with respect to the signing and parking on this site are not shown on this plan set as such details are reviewed and approved as part of different project. Hence, we recommend that the boundaries of the site plan for this development and that for the approved site plans should be clearly delineated and labeled.
4. We have also briefly reviewed the concept plan provided by Mark Spencer, the City of Novi Planner for the proposed development. This concept plan is drawn for the east of the proposed building with regards to the loading areas and refuse locations. We find the site plan prepared by Hobbs + Black Associates, Inc. and the concept plan provided by Mark Spencer to be equally safe and efficient with respect to the refuse pick-up and the loading area. However, the concept plan prepared by the City planning staff consolidates the refuse area at one location near existing transformer and pad. Although this plan eliminates eight (8) parking spaces, it provides efficiently maneuverable loading area. We also recommend for the concept plan that a screen wall should be provided around the proposed refuse area and longer loading zone should be provided by extending it to further north. The sketch of the concept plan by the City's planning staff is attached with this review.

If you have any concerns or questions, please feel free to contact us at 734-522-6711.

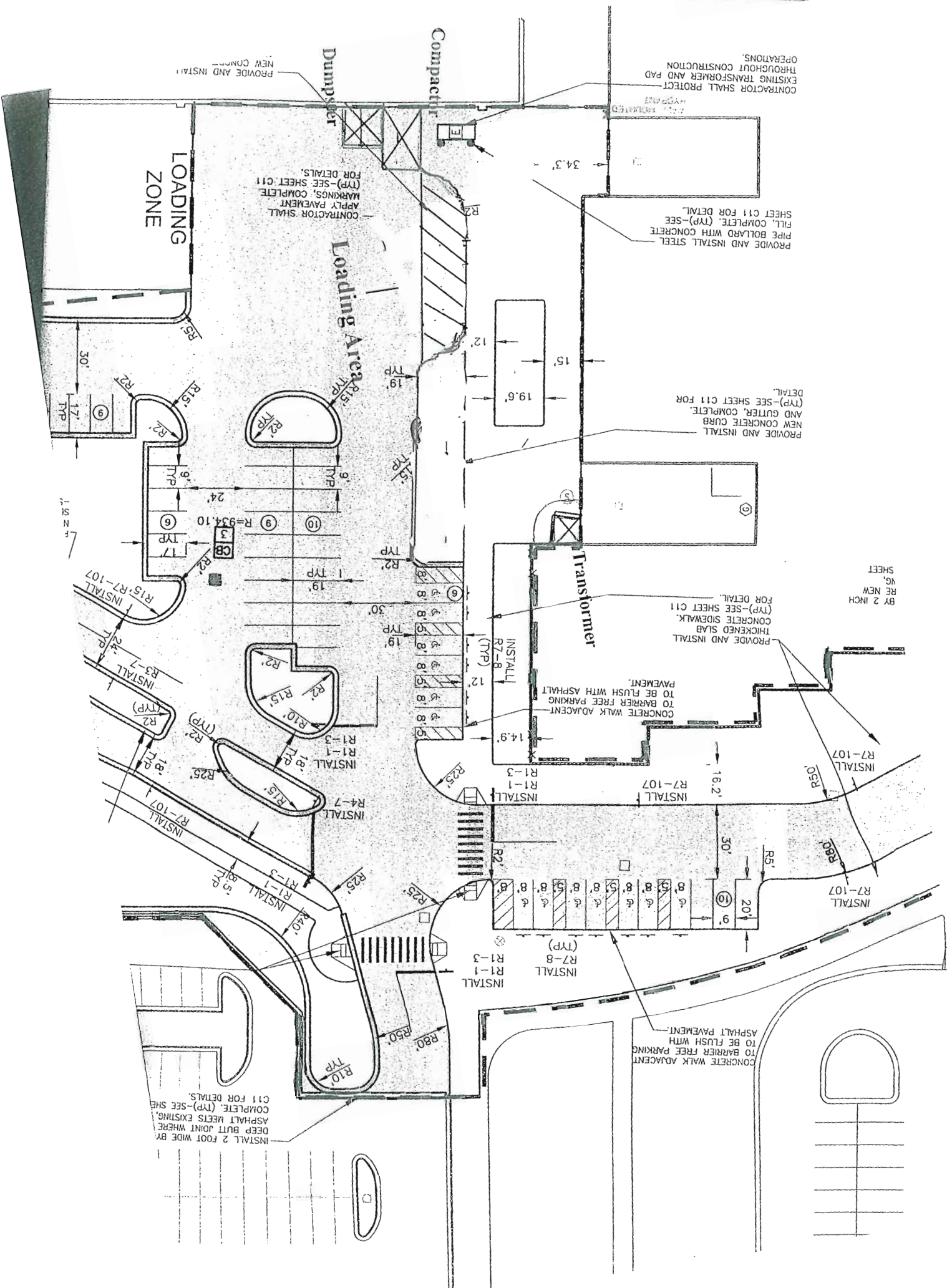
Sincerely,
Orchard, Hiltz & McCliment, Inc.



Stephen B. Dearing, P.E., PTOE.
Manager of Traffic Engineering



Anita S. Katkar, P.E.
Traffic Project Engineer



LOADING ZONE

Loading Area

Transformer

Compactor

Dumpster

CONTRACTOR SHALL PROTECT EXISTING TRANSFORMER AND PAD THROUGHOUT CONSTRUCTION OPERATIONS.

PROVIDE AND INSTALL STEEL PIPE BOLLARD WITH CONCRETE FILL. COMPLETE. (TYP)-SEE SHEET C11 FOR DETAIL.

PROVIDE AND INSTALL NEW CONCRETE CURB AND GUTTER, COMPLETE. (TYP)-SEE SHEET C11 FOR DETAIL.

PROVIDE AND INSTALL THICKENED SLAB CONCRETE SIDEWALK TO BE FLUSH WITH ASPHALT CONCRETE WALK ADJACENT TO BARRIER FREE PARKING PAVEMENT.

BY 2 INCH RE NEW VG, SHEET

CONCRETE WALK ADJACENT TO BARRIER FREE PARKING TO BE FLUSH WITH ASPHALT PAVEMENT.

INSTALL 2 FOOT WIDE BY DEEP BUTT JOINT WHERE ASPHALT MEETS EXISTING, COMPLETE. (TYP)-SEE SHEET C11 FOR DETAILS.

CONTRACTOR SHALL APPLY PAVEMENT MARKINGS, COMPLETE (TYP)-SEE SHEET C11 FOR DETAILS.

PROVIDE AND INSTALL NEW CONCRETE

1.50 INCH



ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

July 16, 2007

Engineering Review

Gold's Gym, Twelve Mile Crossing
SP #07-31

Petitioner

Gold's Gym

Review Type

Preliminary/ Final Site Plan

Property Characteristics

- Site Location: Fountain Walk/Twelve Mile Crossing
- Site Size: 2.0 acres
- Plan Date: July 9, 2007

Project Summary

- Reconstruction of a portion of parking lot and the enclosure of two courtyards to accommodate a new tenant.
- Water, sanitary sewer, and storm sewer would not be modified.

Recommendation

Approval of the Preliminary/Final Site Plan is recommended, with items to be addressed at Stamping Set submittal.

Comments:

The Preliminary/Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances and the Storm Water Management Ordinance with the following exceptions, which can be addressed at Stamping Set submittal:

General

1. Provide an itemized construction cost estimate for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work.
2. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
3. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls comply with Michigan Barrier-Free regulations.

4. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
5. Provide the City's standard detail sheet for paving (rev. 12/15/00) at the time of the Stamping Set submittal.

Utilities

6. Show and label the water main and easement east of the building on the plans.
7. If the proposed compactor has potential to accept food wastes, show on the plans how the drainage from the compactor will be managed (i.e. sanitary lead, covered enclosure, etc). If food wastes will not be disposed of in this compactor, provide a note on the plans stating this.

Paving & Grading

8. Indicate the limits of any areas where new pavement is proposed. Clearly distinguish between proposed improvements and existing features of the site.
9. Provide details for all proposed pavement and curbs.
10. Detectable warning surfaces are required at all barrier free ramps and hazardous vehicular ways. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the MDOT standard detail (R-28-F) for detectable surfaces, and label specific locations on the plans. Specify the product proposed to be used for the detectable warning surface for barrier free ramps on the plans. The product shall be approved by the Engineering Department. Stamped concrete will not be acceptable.

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal. Partial submittals will not be accepted).

11. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

The following must be addressed prior to construction:

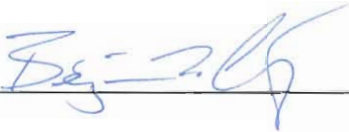
12. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). A grading permit fee in the amount of \$143.75 must be paid to the City Treasurer's Office.
13. If applicable, material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Chris Robbins at 248-844-5400 for more information.
14. Construction Inspection Fees in an amount to be determined must be paid to the City Treasurer's Office.

15. Any applicable water and sanitary sewer fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Department at 248-735-5642 to determine the amount of these fees.

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:

16. The amount of the incomplete site work performance guarantee for this development will be determined (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
17. Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.

Please contact Benjamin Croy, PE at (248) 735-5635 with any questions or concerns. Contact Angie Pawlowski at (248) 735-5631 prior to submission of Stamping Sets.



cc: Rob Hayes, City Engineer
Mark Spencer, Planning Dept
Tina Glenn, Water & Sewer Dept.
Sheila Weber, Treasurer's
Byron Hanson; Spalding DeDecker

FAÇADE REVIEW

METCO SERVICES, INC.

ENGINEERS, ARCHITECTS, & SURVEYORS

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

July 18, 2007

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan Review**
Gold's Gym, Twelve Mile crossing
SP-07-31
Façade Region 1
Zoning District RC
Size: 52,789 sq.ft.

Dear Ms. McBeth:

The following is the Façade Review for preliminary site plan review regarding the drawings prepared by Hobbs + Black Architects, dated 07-05-07 for compliance with Novi Ordinance 2520; the Façade Ordinance. The percentages of materials proposed are as shown below. A "check" by the percentage signifies that the range is within the ordinance guidelines, while an "x" indicates an overage. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column.

This project is remodel of an existing building as part of the Twelve Mile Crossing complex (formerly Fountain Walk). Only two facades (East and North) fall under the jurisdiction of the Façade Ordinance, because these facades may be seen from Donelson Drive. The entire length of the effected facades will need to meet the ordinance guidelines.

Drawings Dated 07-05-07	NORTH FACADE	SOUTH FACADE	EAST FACADE	WEST FACADE	ORDINANCE MAXIMUM
NATURAL CLAY BRICK	44.2% ✓		61.7% ✓		100% (30% Min.)
LIMESTONE (DECORATIVE)	5.8% ✓		5.8% ✓		50%
SPLIT-FACED CMU	2.4% X		.6% X		0%
FLAT METAL PANEL	9.2% ✓		11.0% ✓		50%
SPANDREL GLASS	6.4% ✓		4.1% ✓		50%
COLUMNS (MOLDED TRIM)	9.5% ✓		0.0% ✓		15%
E.I.F.S.	22.5% ✓		16.8% ✓		25%

Recommendations:

1. The applicant will be required to obtain a Section 9 waiver for the use of existing Split-Faced Concrete Masonry Units. In this case, the Split-Faced C.M.U. is used in a way that simulates a stone base. The proposed design also incorporates the use of clay brick as a base material but a different color than the existing C.M.U. (this brick is used where new material is proposed). The rest of the materials on the building do not exceed the prescribed percentages allowed by the ordinance.
2. The trash screening enclosure indicates brick to match the building and stained wood swinging doors. The previous design had metal doors with a unique design pattern. Since these doors are completely visible and close to the main entry, we would suggest an upgrade in the proposed door materials.
3. The materials on the sample board are in compliance with the Façade Ordinance.

It is therefore our recommendation that the design meets the intent and purpose of the ordinance and a Section 9 Waiver to be granted, contingent upon compliance with item 2.

If you have any questions regarding this matter, please contact me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, with the first name being the most prominent.

Douglas R. Necci AIA

FIRE REVIEW



www.cityofnovi.org

Novi Fire Department

42975 Grand River Avenue
Novi, MI 48375

248.349.2162 fax 248.349.1724

July 6, 2007

Revised July 19, 2007

TO: Barbara McBeth, Director of Planning
Planning & Community Development, City of Novi

RE: Gold's Gym, Twelve Mile Crossing, SP07-31, Final Site Plan – **Rev. 1**
Fire Department Review

Dear Ms. McBeth,

The above plan has been reviewed and is **NOT RECOMMENDED for APPROVAL** due to the following deficiencies:

1. There is a fire apparatus access drive along the pedestrian concourse between the 'E' building and the Great Indoors building. The proposed south east loading area prohibits access to this access drive.
2. The applicant needs to address the current location of the existing sprinkler riser room. The riser room is currently located in what is proposed to be a locker room. They need to address where it will be relocated to and how to run the feed and supply pipes.

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

APPLICANT'S FIRST SET of RESPONSE LETTERS

24 July 2007

HOBBS+BLACK ARCHITECTS

City of Novi
Attn: Mark Spencer
45175 W. Ten Mile Road
Novi, MI 48375



In response to Plan Review Center Report dated July 16 2007

We received your comments on 20 July 2007. Please see our responses below. Item numbers correspond to item numbers from your review. Once you have had an opportunity to review our responses, we would be happy to meet with you if necessary.

Planning Review

- 1) We concur that the Site Plan demonstrates general compliance with the standards of Section 2400, the Schedule of Regulations, relating to building and parking setbacks, and requires no further action.
- 2) We do not anticipate that restaurant, cinema, and entertainment uses will exceed 20% of the floor area of the entire development at this time, and are providing roughly 900 more parking spaces than required.
- 3) We have added a larger loading area on the east side of the building (see sketch A-0). Together the loading areas provide more than the required 3,150 square feet.
- 4) We propose to keep the dumpster enclosures in the location currently shown on the drawings for the following reasons: First, these locations are safer for the employees since they would not need to go out into the loading area behind Building B where semi trucks could be turning. Both proposed enclosures have access to employees through single doors separate from the large gates, so employees can deliver the trash from the sidewalk and avoid leaving the large gates open. Second, the owner does not view the southeast concourse as a pedestrian area and does not want to encourage pedestrians to go in this direction. There are no tenants facing this exterior corridor and therefore no reason for pedestrians to go here. Finally, the area to the north of Building B is needed for semi trucks to maneuver, so we can't take space away from area. As for the enclosures, we will match the brick treatments from the building and change the doors to metal as requested. Elevations of these areas are attached for your reference (see sketches A-1 through A-6).
- 5) As stated in #4, we do not want to encourage pedestrians in this area. We have altered the paving layout to provide for a 5'-0" sidewalk that will not be obstructed by the trash enclosure doors.
- 6) We will provide an updated photometric plan that meets all requirements as part of the Final Stamping Set.
- 7) We will make the minor changes requested in the Planning Review Summary as needed in the Final Stamping Plan Set.

Engineering Review

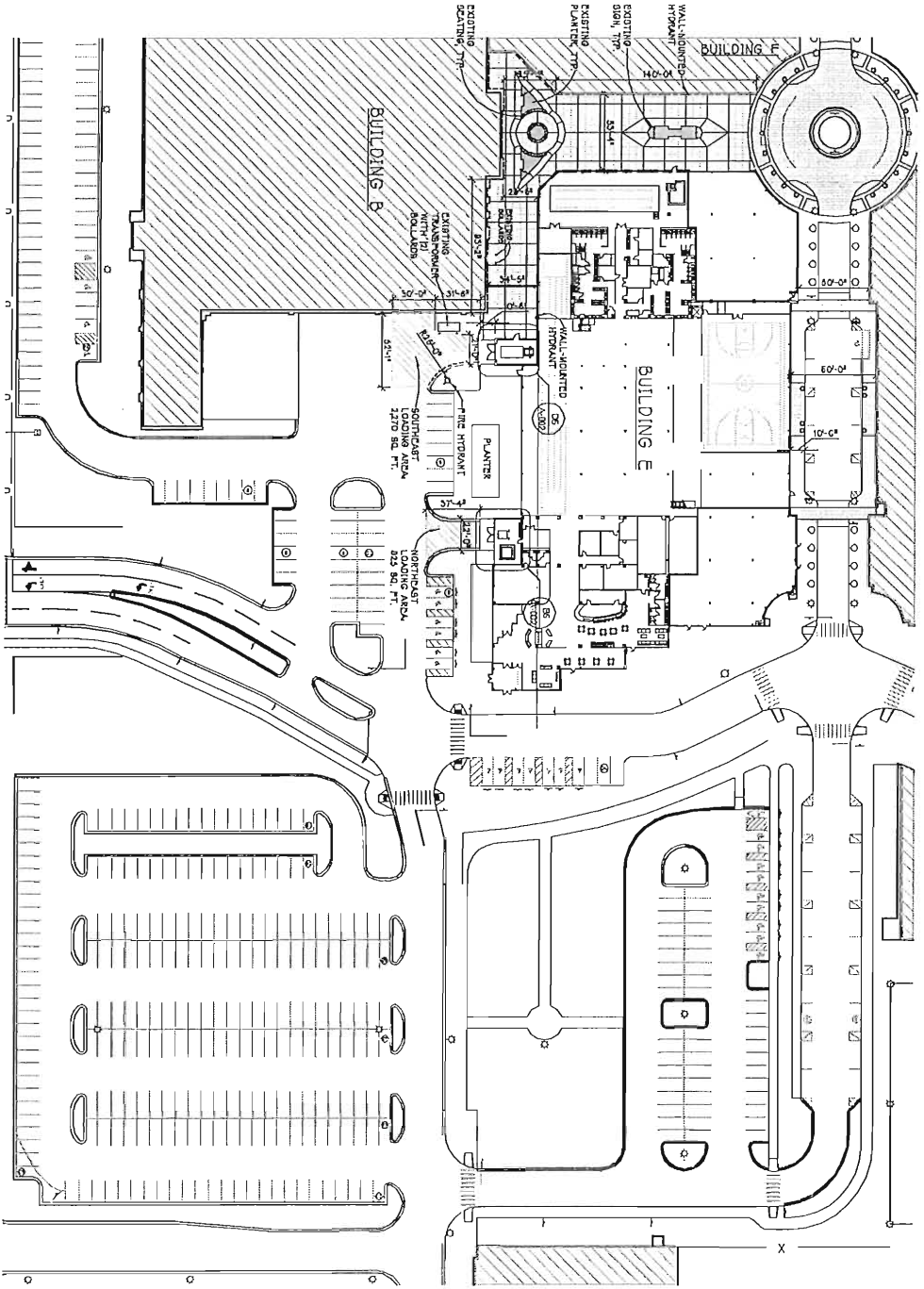
We understand that the Preliminary/Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances and the Storm Water Management Ordinances with minor exceptions, which we will address in the Final Stamping Set.

P:\2007\07406\DOC\SP\Planning\SP-response_7-24-07.doc

HOBBS+BLACK ASSOCIATES INC Architects, Planners & Interior Designers
P.734.663.4189 F.734.663.1770 100 N. State Street Ann Arbor, Michigan 48104 www.hobbs-black.com

ANN ARBOR | LANSING | PHOENIX | TOLEDO

NOTE: THE OVERALL SITE LAYOUT WAS RECENTLY APPROVED BY THE CITY OF NOVI, AND NO CHANGES TO THE PARKING OR LANDSCAPING ARE PROPOSED IN THIS SUBMISSION.



C1
A-002

ARCHITECTURAL SITE PLAN
SCALE - 1"=80'

A-0

PROJECT: GOLD'S GYM AT TWELVE MILE CROSSING
DESCRIPTION: FINAL SITE PLAN APPROVAL

PROJECT NO: 07-406

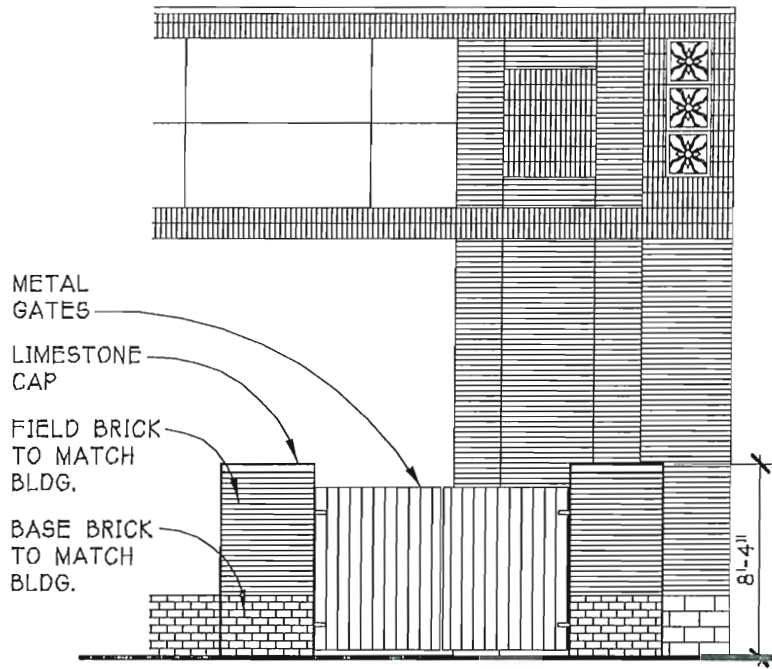
ISSUE TYPE:

ISSUE DATE: 7-24-07

DRAWN BY: --



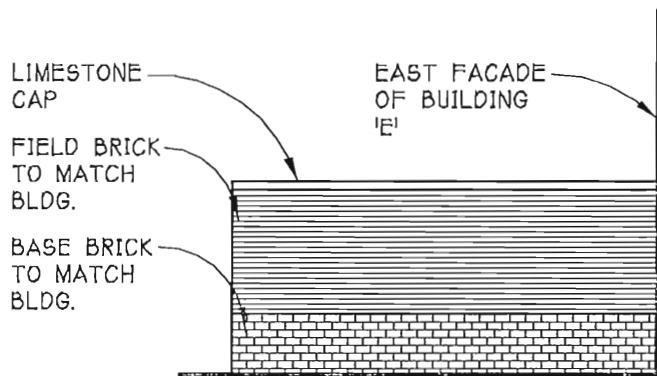
PLANNING & DESIGN ASSOCIATES, INC.
12000 W. BROAD ST., SUITE 100
TROY, MI 48068
313.487.1200
WWW.PDA-INC.COM



BUILDING 'E' TRASH ENCLOSURE E. ELEV.

SCALE - 1/8"=1'-0"

DB48AE01



BUILDING 'E' TRASH ENCLOSURE N. ELEV.

SCALE - 1/8"=1'-0"

DB48AE01

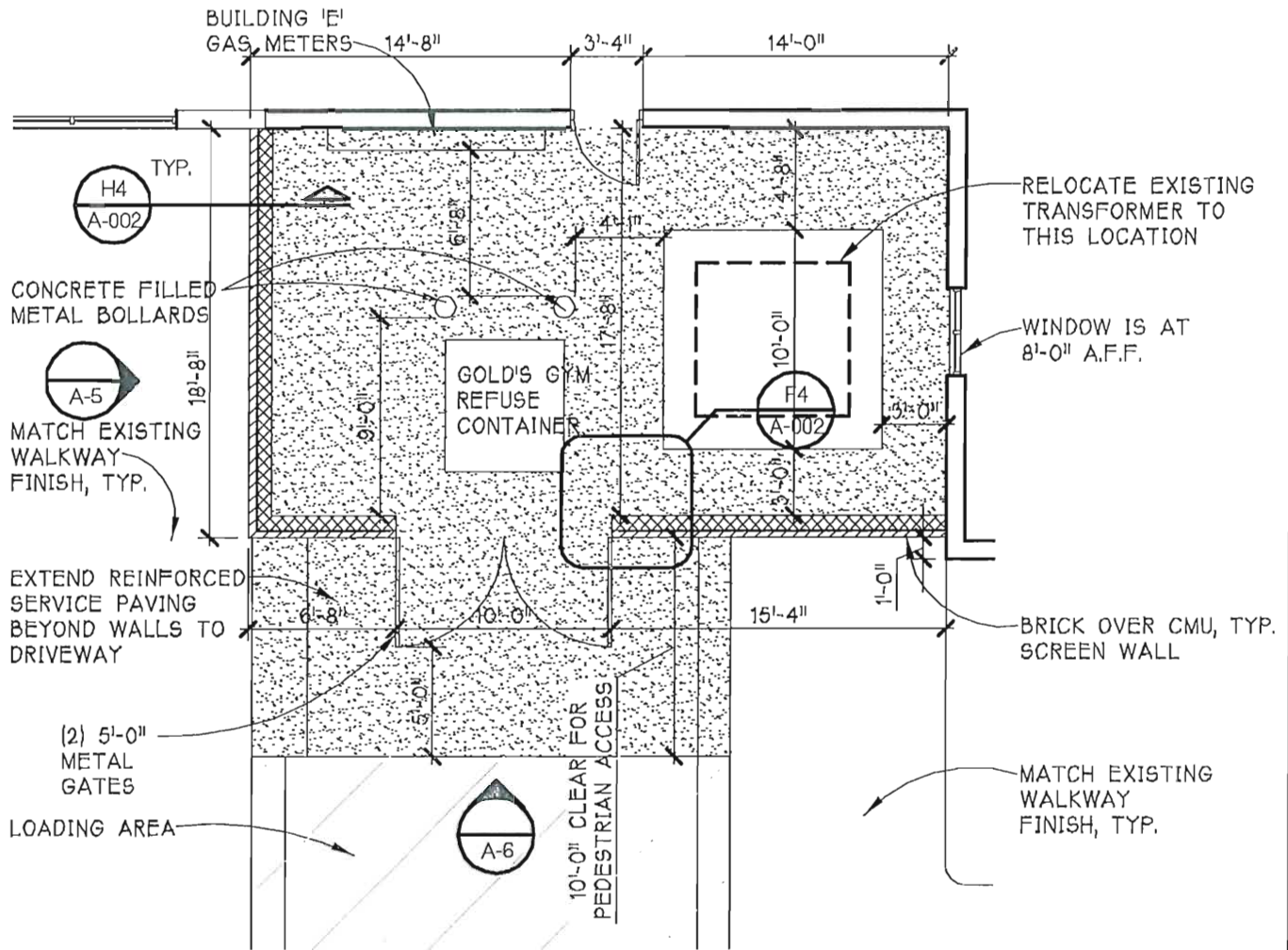
Date: 07/24/07 10:00:00 AM
 User: J. L. Black
 Project: GOLD'S GYM AT TWELVE MILE CROSSING
 Sheet: A-2



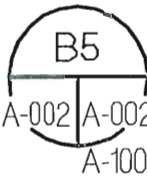
PROJECT: **GOLD'S GYM AT TWELVE MILE CROSSING**
 DESCRIPTION: **FINAL SITE PLAN APPROVAL**

SHEET NO.:
A-2

PROJECT NO: 07-406	ISSUE TYPE:	ISSUE DATE: 7-24-07	DRAWN BY:
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GOLD'S GYM TRASH ENCLOSURE

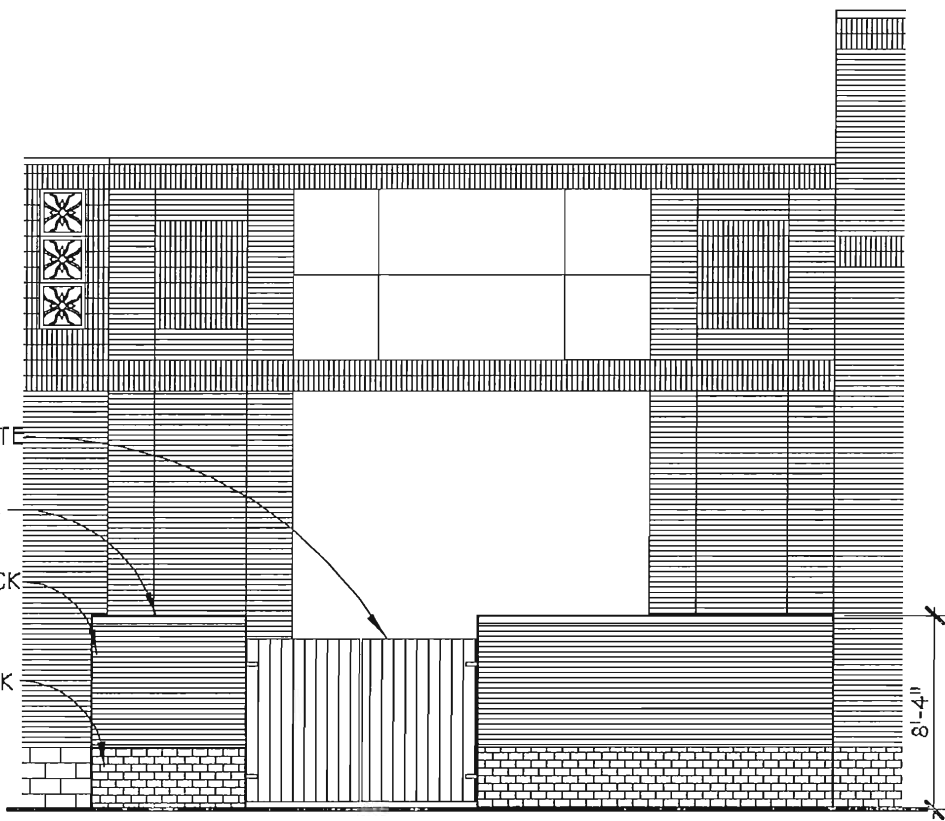


SCALE - 1/8" = 1'-0"
DB66AD01

HOBBS+BLACK ARCHITECTS, INC. 10000 12th Street, Suite 100, Golden, CO 80601
 Phone: 303.440.4333 Fax: 303.440.4334 www.hobbsblack.com



PROJECT: GOLD'S GYM AT TWELVE MILE CROSSING		SHEET NO.: A-4	
DESCRIPTION: FINAL SITE PLAN APPROVAL			
PROJECT NO.: 07-406	ISSUE TYPE:	ISSUE DATE: 7-24-07	DRAWN BY:

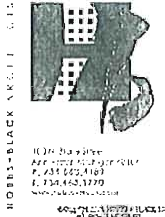


GOLD'S GYM TRASH ENCLOSURE E. ELEV.

SCALE - 1/8"=1'-0"

DB4BAE01

Hobbs + Baker Architects, Inc. 10000 W. Irving Blvd. Suite 100 Dallas, TX 75238
 Phone: 214.292.1100 Fax: 214.292.1105



PROJECT:
GOLD'S GYM AT TWELVE MILE CROSSING
 DESCRIPTION:
FIAL SITE PLAN APPROVAL

SHEET NO.:

A-6

PROJECT NO:
07-406

ISSUE TYPE:

ISSUE DATE:
7-24-07

DRAWN BY:

APPLICANT'S SECOND RESPONSE LETTER

Spencer, Mark

From: Kristen Schleick [kschleick@hobbs-black.com]
Sent: Tuesday, July 31, 2007 1:15 PM
To: Spencer, Mark
Cc: 'Brian Bagnick'
Subject: Gold's Gym at Twelve Mile Crossing
Attachments: Golds-site_7-31-07.pdf

Hello Mark,

We have a solution for the trash enclosure (see attached) that should address all of the concerns on operations, appearance, pedestrian walkways, and emergency access to the pedestrian concourse. We lost 2 parking spaces in this design, but the net total on site is well above requirements. This plan includes trees and landscaped areas to match the amounts previously approved for Phase III.

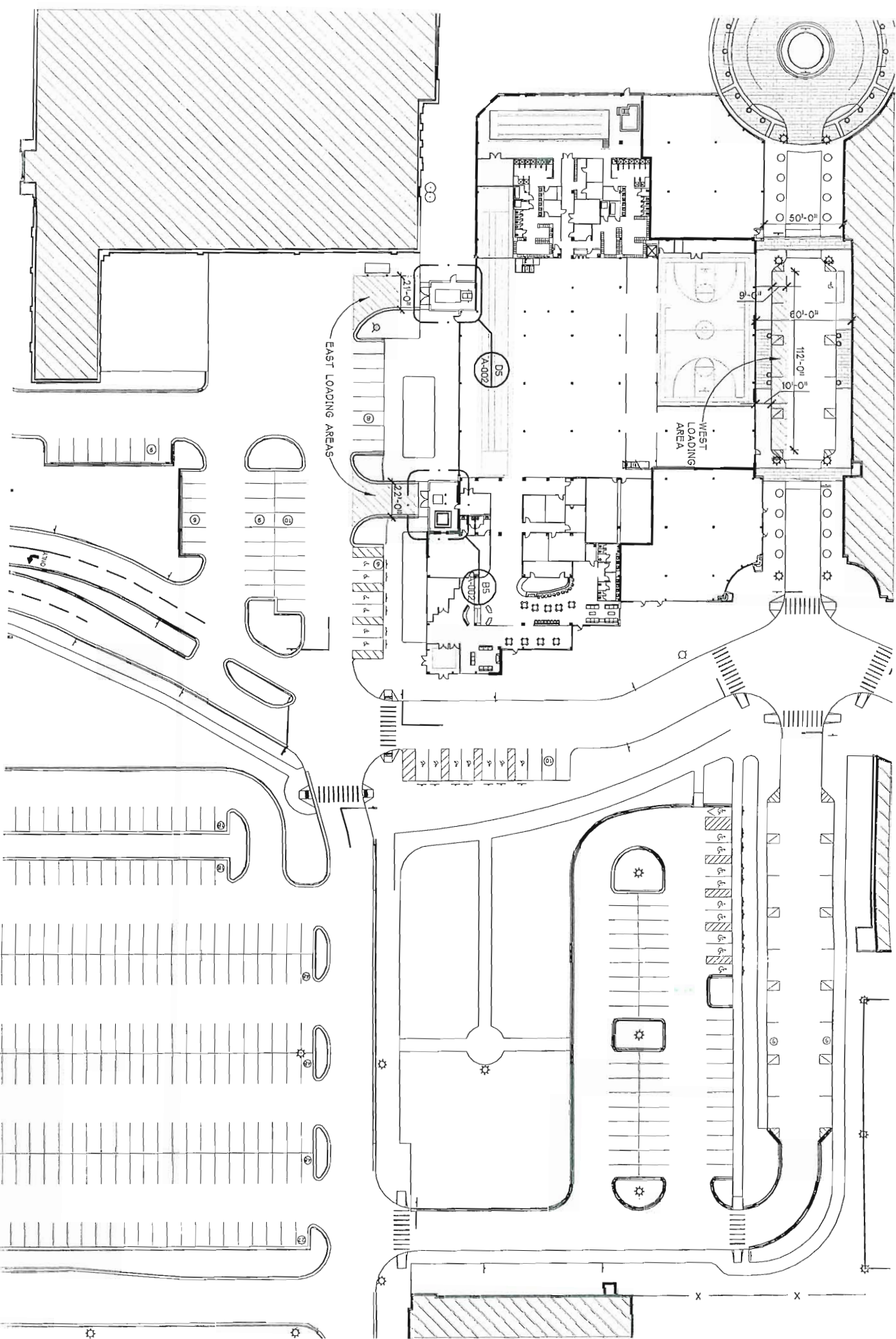
If this design is acceptable, we will include it in the Final Stamping Set. Please let us know if you need anything else in preparation for this project going to City Council. Thank you,

Kristen A.G. Schleick, AIA, AICP
Project Architect

HOBBS+BLACK ARCHITECTS
100 N. State Street, Ann Arbor, MI 48104
ph. 734.663.4189 fax 734.663.1770 www.hobbs-black.com

<<...>>

ORIGINAL REDUCED SITE PLAN



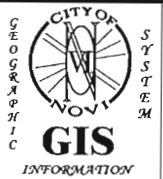
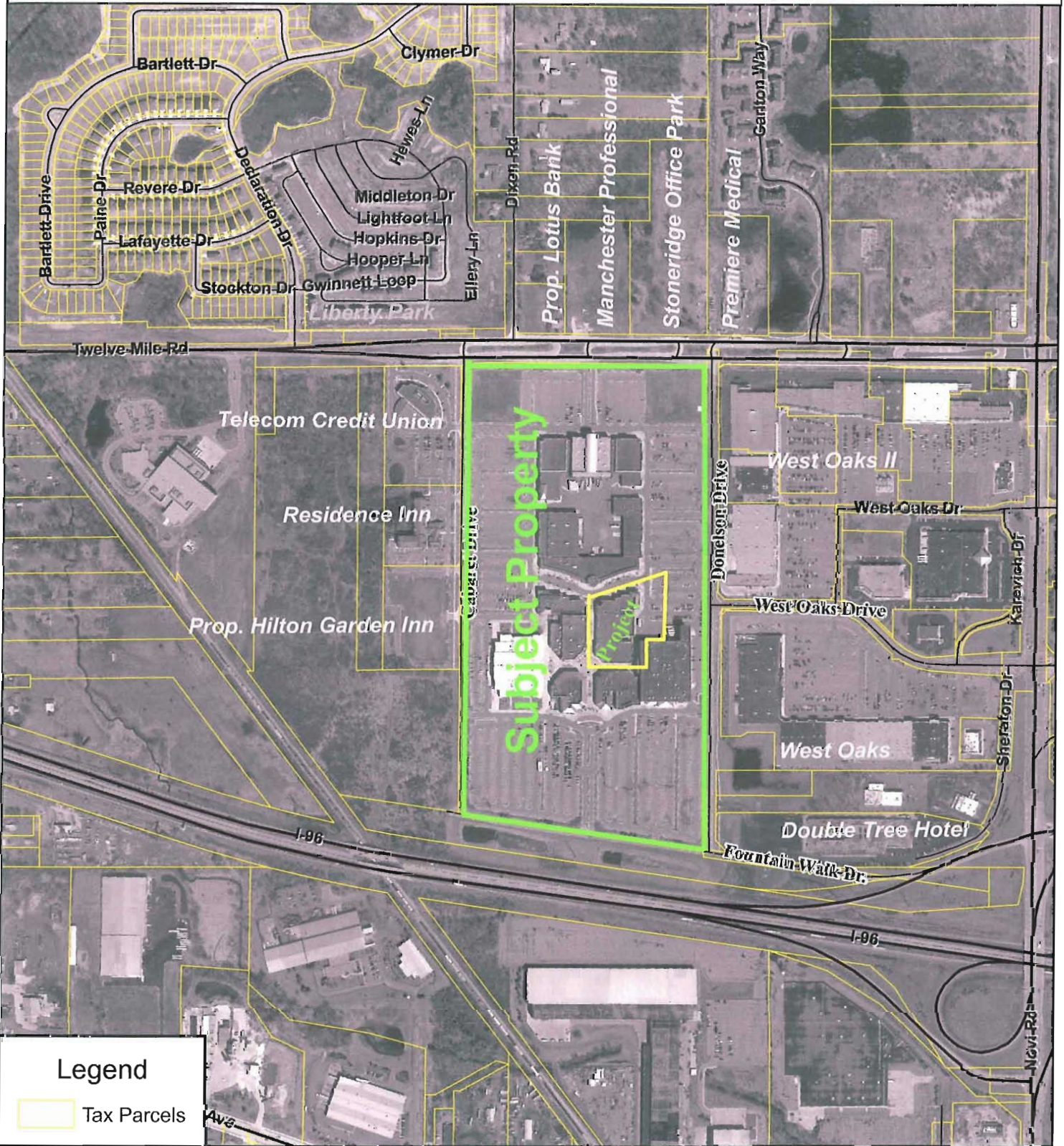
Original Site Plan

MAPS

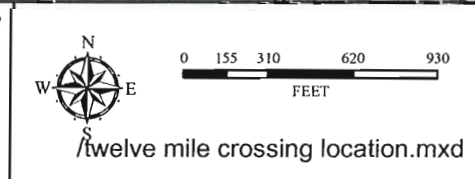
**Location/Air Photo
Future Land Use
Zoning**

Twelve Mile Crossing at Fountain Walk Gold's Gym

Location Map

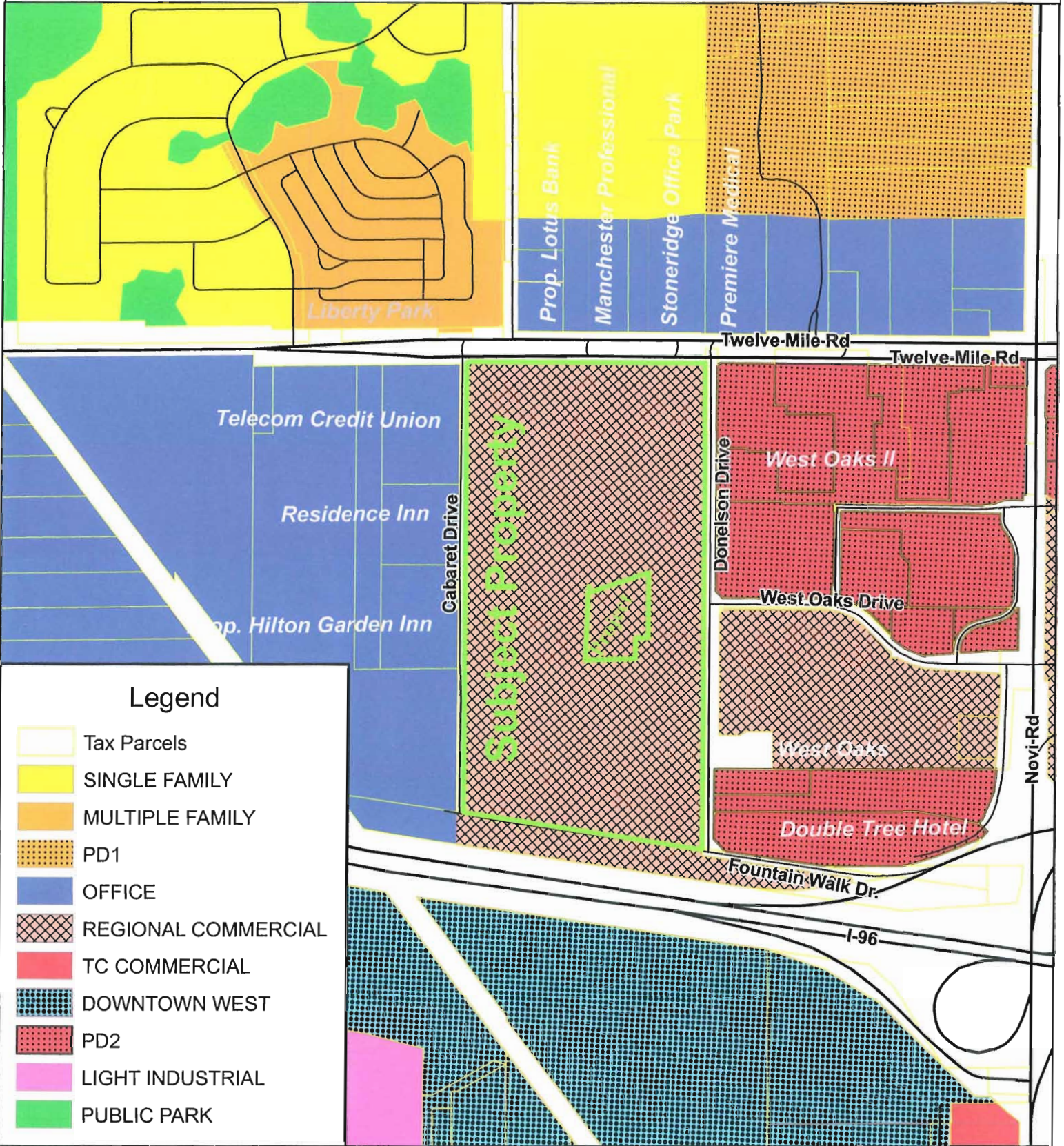


CITY OF NOVI PLAN REVIEW CENTER
 Created by Mark Spencer
 4/27/07
 NOVI PLANNING DEPARTMENT
 45175 W. TEN MILE ROAD
 NOVI, MI 48375-3024
 (248) 347-0475
 WWW.CI.NOVI.MI.US

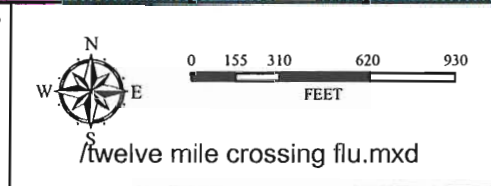


MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Twelve Mile Crossing at Fountain Walk Gold's Gym Future Land Use Map



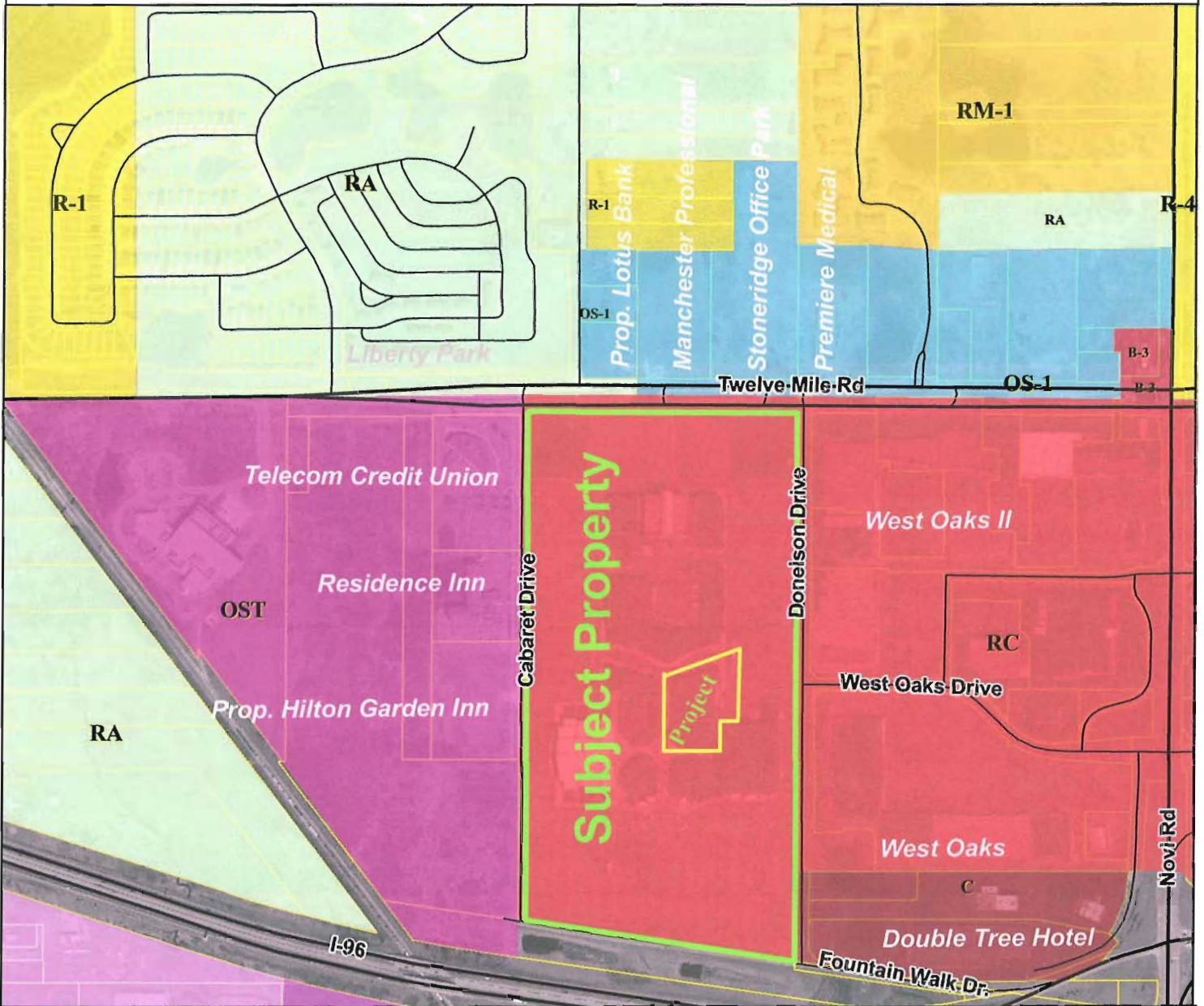
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Twelve Mile Crossing at Fountain Walk Gold's Gym

Zoning Map



Legend

Tax Parcels	RM-1: Low-Density Multi Family	I-2: General Industrial
Zoning Districts	B-3	OS-1: Office Service
R-1: One-Family Residential	C: Conference	OST: Office Service Technology
R-4: One-Family Residential	EXPO: EXPO	RC: Regional Center
R-A: Residential Acreage	I-1: Light Industrial	TC: Town Center



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twelve mile crossing zoning.mxd

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**PLANNING COMMISSION MINUTES
JULY 25, 2007**



DRAFT COPY

PLANNING COMMISSION
REGULAR MEETING
GOLD'S GYM, SP07-31, EXCERPT
WEDNESDAY, JULY 25, 2007 7:00 PM
COUNCIL CHAMBERS - NOVI CIVIC CENTER
45175 W. TEN MILE, NOVI, MI 48375
(248) 347-0475

CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

ROLL CALL

Present: Members John Avdoulos, Victor Cassis, Andrew Gutman, Michael Lynch (7:08 PM), Michael Meyer, Mark Pehrson, Wayne Wrobel

Absent: Member Brian Burke (excused)

Also Present: Barbara McBeth, Deputy Director of Community Development; Mark Spencer, Planner; Kristen Kapelanski, Planner; David Beschke, Landscape Architect; Ben Croy, Civil Engineer; Alan Hall, Façade Consultant; Dr. John Freeland, Wetland Consultant; Kristin Kolb, City Attorney

MATTERS FOR CONSIDERATION

1. GOLD'S GYM, SP07-31

Consideration of the request of Hobbs and Black for a recommendation to City Council for Preliminary Site Plan approval and approval of a Section Nine Façade Waiver. The subject property is located in Section 15, south of Twelve Mile, east of Donelson Drive, in the Twelve Mile Crossing at Fountain Walk development. The subject property is located in the RC, Regional Center District, and the Applicant is proposing a 10,480 square-foot addition and façade change.

Planner Mark Spencer described the project. The project is in the eastern portion of the existing Twelve Mile Crossing at Fountain Walk development, which is bounded by Donelson Drive, Cabaret Drive, Twelve Mile and Fountain Walk Drive.

To the north are Liberty Park, Manchester Professional Centre and Stoneridge Office Park. To the east are West Oaks I & II and Doubletree Hotel. To the south are the ITC transmission lines and further south is the I-96 MDOT right-of-way. To the west are vacant land approved for a Hilton Garden Inn, Telcom Credit Union and a Residence Inn.

The Zoning Map and Master Plan for Land Use designate this property for Regional Commercial. The properties to the north are master planned for Multiple family Residential and Office. The zoning is R-A and OS-1. The easterly Master Plan designations are Regional Commercial and Planned Development Option 2. The south is zoned RC and C (Conference) and master planned for Regional Commercial and the I-96 ROW. The west is zoned OST and master planned for Office. This is an existing developed site and there are no regulated woodlands, wetlands or natural features on the site.

As part of an overall remodeling plan for the development, the City Council approved the Twelve Mile Crossing at Fountain Walk Phases 1, 2 and 3. Phase 3 included a new entrance off of Donelson Drive and parking lot modifications.

The Applicant is requesting approval of a combined Preliminary and Final Site Plan for an addition to Building E of the Twelve Mile Crossing at Fountain Walk development. The entire development is a 679,000 square foot retail center located on 67.2 acres and on the south side of Twelve Mile between Donelson Drive and Cabaret Drive. The addition proposed is 10,480 square feet and will accommodate the space requirements of a new tenant, Gold's Gym. The plan proposes new dumpster enclosures and loading areas. The building addition will enclose the existing dumpster enclosure/unloading areas located on the east side of the building. This addition will increase the ground floor area by 3,250 square feet. A 7,230 square-foot second floor mezzanine is also proposed to be built within the existing building. The developer also proposes to make some façade changes and a small amount of landscaping will also be removed.

In the RC District the Planning Commission reviews and makes a recommendation for Preliminary Site Plan Approval and the City Council makes has the authority to grant approval. As usual, the Final Site Plan Approval

may be granted administratively.

The Site Plan demonstrates general compliance with the standards of Section 2400, the Schedule of Regulations, regarding building and parking setbacks. Typically, loading areas are only permitted in rear yards or near the rear of the building. The buildings in this development include internal fronts. Building E has 315 feet of frontage on the site's internal access road, therefore 3,150 square feet of loading area is required. The Applicant proposes removing the existing unloading area and replacing it with three unloading areas totaling 2,814 square feet which is 786 square feet short of the required amount. 1,008 square feet is located where parking spaces are located along the internal road just west of the building. This is not permitted since the Ordinance requires loading areas to be exclusive of parking spaces. The southeast loading area is 882 square feet and 42 feet deep. This space is only large enough to accommodate small box vans. Area 3 is 924 square feet in area, 22 feet wide and 42 feet deep. It is located in an area approved for access to the existing dumpster enclosure, loading area and 20' x 22' of proposed sidewalk. This area is also only large enough to accommodate small box vans. The proposed loading areas restrict pedestrian movement across this portion of the sidewalk. The Applicant has proposed revised unloading areas in their response letter. Staff encourages a design with an acceptable loading area.

The Site plan proposes two dumpster enclosures; both are located along the east side of the building in areas that were approved for sidewalks on the Phase 3 Site Plan. The walkway in front of the enclosures was reduced to five feet and six feet. When the doors to the enclosures are opened they will block the pedestrian flow along the sidewalk, and Staff requests a redesign. The Applicant's response letter indicates they will redesign these to provide adequate access.

Typically, dumpster enclosures are located in a rear or side yard. Since the northern enclosure will be highly visible from the new entrance drive the Staff recommends moving the northeast enclosure to a less visible location. The enclosures proposed also do not match the building façade on the plan submitted but in the Applicant's response letter they propose to match the brick used on the building and provide metal gates.

The site layout approved for the Phase 3 remodel of Twelve Mile Crossing at Fountain Walk included maintaining a twelve- to thirty-foot wide sidewalk adjacent to the east side of the proposed Gold's Gym building. This sidewalk provides access to a pedestrian rest area and to the new street along the west side of the proposed Gold's Gym. Currently this sidewalk area is also posted as a "No Parking Fire Lane" area. The Fire Marshall does not recommend approval due to the restriction of access along the east side of the building. The proposed location of the dumpster enclosures and the north loading zone reduces the service width of the sidewalk and create conflicts with the northeast loading area. The Planning Staff recommends moving the enclosures and loading areas to a location that would reduce pedestrian and loading zone conflicts. The Applicant proposes to increase the sidewalk in front of the southeast enclosure and pull back the loading area in front of the northeast enclosure. The City's Traffic Engineer has also asked that the plan be redesigned to permit unobstructed pedestrian access.

Only the east and north façades are required to meet the façade ordinance requirements since the other facades are internal to the site. The Applicant is proposing the use of 2.4% split face block which is not permitted in the district, but the City's Façade Consultant recommends approval of a Section 9 Waiver to permit this small use.

The City's Engineer recommends approval of the plan.

The Planning Staff recommends approval of the combined Preliminary and Final Site Plan subject to the Applicant providing the required loading area. The Applicant should redesign the dumpster enclosure to provide better screening and reduce the obstruction of pedestrian flow. The Applicant should redesign the loading areas to remove them from parking spaces and to better screen them from view of neighboring properties and road right-of-ways and to permit unobstructed pedestrian flow. The Planning Commission must grant a Section 9 Waiver. Several minor items will also need correcting on the Final Site Plan. Mr. Spencer displayed the façade board to the Planning Commission.

Brian Bagneck, Hobbs and Black Architects, 100 North State Street, Ann Arbor, addressed the Planning Commission on behalf of the Applicant. He stated that the split face block on the building is existing. The building

was set up such that the main services would be internal, toward the center. The truck wells are deep inside the building. The intent was to have smaller shops ring around the building. This never panned out. This tenant plans on taking the entire building with the exception of two corners.

The north side and the main street along the west side have been upgraded to increase traffic. There will probably still be pedestrian activity near the truck dock, but the landlord is not trying to encourage it. The building opposite Building E has never been leased. That area may become the management office. There is limited parking in the area. Mr. Bagneck located the areas on a site plan where most people park and where most of the traffic is located.

Mr. Bagneck explained that the narrow fire access was discussed with Fire Marshal Mike Evans. Mr. Bagneck felt that fire access is better through a different route where there is sixty feet between the two buildings. The other location has 34 feet and a planter is in the way. He was going to continue to work with Mr. Evans on the design – the dynamics of the narrow access would accommodate an emergency vehicle but not a fire truck.

Mr. Bagneck had a list of solutions for the trash problem. The Great Indoors is an anchor with a lot of clout, so Gold's Gym didn't think that their dumpster placement against The Great Indoor's building would be an option. Mr. Bagneck is going to work with some angling and plants to improve the dumpster and its screening. Mr. Bagneck said that there would be a juice bar inside the Gold's Gym. A Beaner's restaurant may also be considered. Chair Cassis noted that these uses would intensify the garbage problem.

Mr. Bagneck said Gold's Gym is doing very well. At this location they will have a lap pool, a cardio area, weights, etc. It will be less like a Powerhouse and more like a Life Fitness.

Member Avdoulos thought Mr. Spencer provided a good solution for the east area where the loading area is proposed. He also agreed that The Great Indoors is a big draw and less commotion near their facility would be a better design.

Member Avdoulos confirmed with Mr. Bagneck that the one of the proposed glass choices for the windows would be fritted glass, which reduces sunlight coming to the building, but will look clear from ten feet away. Mr. Bagneck noted that this type of glass was used on the recent Detroit Metro Airport expansion.

Member Avdoulos thought this was a nice addition to the complex. It will draw people in and will be a positive feature.

Member Avdoulos confirmed with Mr. Spencer that the parking was adequate. Mr. Spencer responded that the shopping center has been asked to keep an ongoing running parking space count table with each phase, just so that this number remains acceptable with each change to the center that comes forward.

Member Gutman thanked the Applicant for working so well with the City. Hobbs and Black is a great firm with a great reputation. Member Gutman asked how many of the stipulations in the sample motion were still pertinent. Mr. Spencer responded that the ZBA Variance was not necessary; the rest still apply. The Applicant has agreed to move the parking spaces out of the loading zone, so that stipulation could be removed. Mr. Spencer explained that any time there is a change to the façade, the entire façade comes under review; therefore, the existing CMU material still needs to be given a Section 9 Waiver.

Moved by Member Gutman, seconded by Member Pehrson:

In the matter of Gold's Gym, SP07-31, motion to recommend approval of the Preliminary Site Plan subject to: 1) A redesign of the dumpster enclosures and loading areas to better screen from view of neighboring properties and road right-of-ways; 2) A redesign of the dumpster enclosures and loading areas to permit unobstructed pedestrian flow; 3) A redesign of dumpster enclosures and loading areas to permit unobstructed fire apparatus access to pedestrian concourse between Buildings E and B (Great Indoors); 4) The Planning Commission granting a Section 9 Façade Waiver to permit up to 2.4%

split-face CMU block; and 5) The conditions and items listed in the Staff and Consultant review letters being addressed on the Final Site Plan; for the reason that the plan complies with the Ordinance.

DISCUSSION

Chair Cassis confirmed that the Applicant is en route to reaching a design that is acceptable to the Fire Marshal. Chair Cassis called for the vote.

ROLL CALL VOTE ON GOLD'S GYM, SP07-31, RECOMMENDATION MOTION MADE BY MEMBER GUTMAN AND SECONDED BY MEMBER PEHRSON:

In the matter of Gold's Gym, SP07-31, motion to recommend approval of the Preliminary Site Plan subject to: 1) A redesign of the dumpster enclosures and loading areas to better screen from view of neighboring properties and road right-of-ways; 2) A redesign of the dumpster enclosures and loading areas to permit unobstructed pedestrian flow; 3) A redesign of dumpster enclosures and loading areas to permit unobstructed fire apparatus access to pedestrian concourse between Buildings E and B (Great Indoors); 4) The Planning Commission granting a Section 9 Façade Waiver to permit up to 2.4% split-face CMU block; and 5) The conditions and items listed in the Staff and Consultant review letters being addressed on the Final Site Plan; for the reason that the plan complies with the Ordinance.
Motion carried 7-0.