

MEMORANDUM



TO: CITY OF NOVI PLANNING COMMISSION
FROM: HEATHER ZEIGLER, PLANNER
THROUGH: BARBARA MCBETH, AICP, CITY PLANNER
SUBJECT: JSP20-17 NOVI PROFESSIONAL VILLAGE UNITS D&E
PRELIMINARY SITE PLAN EXTENSION
DATE: MAY 10, 2024

The subject property is located in Section 27, south of Ten Mile Road and west of Novi Road, in the Office Service (OS-1) and One-Family Residential (R-4) zoning district. The applicant has received Preliminary Site Plan approval for two 6,175 square feet professional office buildings, directly behind the three existing buildings on the property that were constructed in 1991. The applicant is requesting a second extension due to the due diligence time needed to perform plans revisions. The applicant's team of consultants are actively working on the project and plan to submit final stamping sets as soon as possible. The subject property is approximately 5.02 acres.

The Planning Commission held a public hearing and approved the Preliminary Site Plan Woodland Use Permit, and Storm Water Management Plan at the May 12, 2021 meeting. This approval was valid for two years. The applicant also received a Site Plan extension of one (1) year on April 11, 2023.

The applicant has yet to receive Final Site Plan approval - the last review of the project was completed on April 26, 2023. The applicant is requesting a one-year extension of Preliminary Site Plan approval until **May 12, 2025**, as they are finishing up revisions to their site plan. The Zoning Ordinance allows for three, one-year extensions of Preliminary and Final Site Plan approvals. This is the second requested extension.

At this time, the Planning staff is not aware of any changes to the ordinances, or surrounding land uses, which would affect the approval of the requested extension for one year. **Approval of the extension of Preliminary Site Plan is recommended by staff.**

Attachments:

1. Letter of request for extension dated May 1, 2024, from Andrew Marougy, Developer/Applicant
2. A copy of approved Preliminary Site Plan
3. Action Summary from May 12, 2021 Planning Commission meeting
4. Minutes from May 12, 2021 Planning Commission meeting

**REQUEST FOR
ONE YEAR EXTENSION LETTER**

May 1, 2024

City of Novi – Planning Dept.
Attn: Heather Zeigler
45175 Ten Mile Road
Novi, MI 48375

Re: Request to Extend Site Plan Approval Status 1 year
JSP20-17 Novi Professional Village

Dear Heather,

The current site plan approval for this project expires May 12, 2024. Due to the long wait time for submitting and securing approvals from other agencies, along with due diligence time needed to perform plan revisions to address City of Novi comments, I respectfully request 1 year extension of the site plan approval status until May 12, 2025. My team of consultants are actively engaged in working to address plan revisions and required documentation. We anticipate approval of the revised site plan shortly.

Thank you.

Sincerely,



Andrew Marougy – Developer/Applicant
Novi Professional Village
P. O. Box 252323
West Bloomfield, MI 48325-2323
248-670-0799
Amarougy@gmail.com

APPROVED PRELIMINARY SITE PLAN
(Full plan set available for viewing at the Community Development Department.)

PRELIMINARY SITE PLAN

NOVI PROFESSIONAL VILLAGE

BUILDINGS 'D' AND 'E'

CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DEVELOPER/APPLICANT
 NOV PROFESSIONAL BUILDING, LLC.
 P.O. BOX 252523
 WEST BLOOMFIELD, MI 48325
 CONTACT: ANDREW MAROUGHY
 PHONE: (248) 670-6290

ARCHITECT
 GARC ARCHITECTURAL DESIGN GROUP
 880 LONG LAKE ROAD, SUITE 375
 BLOOMFIELD HILLS, MI 48302
 CONTACT: COREY CAMPBELL
 PHONE: (248) 971-0734

ENGINEER
 ATWELL, LLC
 311 NORTH MAIN STREET
 ANN ARBOR, MICHIGAN 48104
 CONTACT: MATT BUSH, PE
 PHONE: (734) 994-4000

SITE DATA

PARCEL SUMMARY	
GROSS AREA:	5.03 AC
NET AREA:	4.91 AC
EXISTING ZONING:	OS-1
BUILDING DATA	
REAR SETBACK:	20'
FRONT SETBACK:	20'
SIDE SETBACK:	15'
BUILDING HEIGHT:	30' (MAXIMUM) 23'
EXISTING BUILDING AREAS:	15,685 SF (TOTAL)
BUILDING A =	6,125 SF
BUILDING B =	4,750 SF
BUILDING C =	4,810 SF
PROPOSED BUILDING AREAS:	12,350 SF (TOTAL)
BUILDING D =	6,175 SF
BUILDING E =	6,175 SF
LOT COVERAGE	
MAXIMUM	PROPOSED
4.0 AC (81%)	0.64 AC (13%)
PARKING DATA	
FRONT SETBACK:	20'
SIDE SETBACK:	10'
REAR SETBACK:	10'
NOVI PARKING (>5000 SF: BUILDING SF/175, <5000 SF: BUILDING SF/167)	
REQUIRED SPACES	
EXISTING BUILDINGS	FORMULA
BUILDING A:	35 (6,125 SF/175)
BUILDING B:	29 (4,750 SF/167)
BUILDING C:	29 (4,810 SF/167)
PROPOSED BUILDINGS	
BUILDING D:	35 (6,175 SF/175)
BUILDING E:	35 (6,175 SF/175)
TOTAL REQUIRED:	163
PROVIDED	
EXISTING:	101
PROPOSED:	63 (4 ACCESSIBLE W/ 2 VAN)
TOTAL PROVIDED:	164

SURVEYOR
 MICHAEL L. PRIEST & ASSOCIATES
 4655 KOPFERNICK ROAD
 CANTON, MICHIGAN 48187
 CONTACT: MICHAEL L. PRIEST
 PHONE: (734) 458-8580

LANDSCAPE ARCHITECT
 ATWELL, LLC
 311 NORTH MAIN STREET
 ANN ARBOR, MICHIGAN 48104
 CONTACT: CAMERON HORVATH
 PHONE: (734) 994-4000



SITE MAP
 SCALE: 1" = 100'

LEGAL DESCRIPTION

PARCEL IDENTIFICATION NUMBER: 50-22-27-200-006
 PART OF THE NORTHEAST 1/4 OF SECTION 27, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF SECTION 27 THENCE ALONG THE EAST LINE OF SECTION 27 AND THE CENTERLINE OF NOVI ROAD S02°47'45"E, 329.37 FEET TO THE POINT OF BEGINNING; THENCE ALONG SAID LINE S02°47'45"E, 164.63 FEET; THENCE S87°10'0"W, 1332.84 FEET; THENCE N02°47'45"W, 164.71 FEET; THENCE N87°10'0"W, 1332.84 FEET TO THE POINT OF BEGINNING, SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE EASTERLY 33 FEET AS OCCUPIED BY NOVI ROAD, CONTAINING 0.0385 ACRES TOTAL, 0.1247 ACRES ROAD AND 4.9138 ACRES NET MORE OR LESS.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY OF NOVI FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF 9 MILE ROAD AND A PERMIT FROM THE ROAD COMMISSION FOR OAKLAND COUNTY AND THE CITY OF NOVI FOR THE SANITARY SEWER CONNECTION IN THE NOVI ROAD RIGHT OF WAY.
- ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

FIRE DEPARTMENT NOTES

- ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL IS BROUGHT ON SITE. (FC 2015 302.1)
- ALL ROADS SHALL BE PAVED AND CAPABLE OF SUPPORTING 35 TONS PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
- BUILDING ADDRESSES SHALL BE POSTED FACING THE STREET DURING ALL PHASES OF CONSTRUCTION. ADDRESSES SHALL BE A MINIMUM OF THREE INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
- PROVIDE 4"-6" DIAMETER OF CONCRETE FILLED STEEL POST 48" ABOVE FINISH GRADE AT EACH HYDRANT AS REQUIRED.
- FIRE LANES SHALL BE POSTED WITH "FIRE LANE - NO PARKING" SIGNS IN ACCORDANCE WITH ORDINANCE #85.99.02.

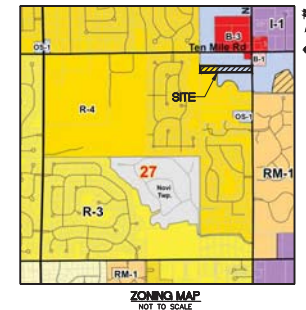
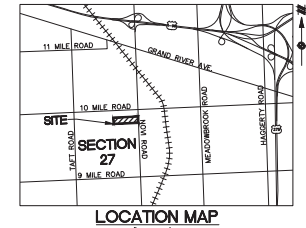
PROJECT NARRATIVE

PARCEL IDENTIFICATION NUMBER: 50-22-27-200-006
 THE PROPOSED PROJECT IS PART OF THE NORTHEAST 1/4 OF SECTION 27, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. THE PROPERTY IS ZONED OS-1 AND IS MASTER PLANNED AS COMMUNITY OFFICE. THE CURRENT SITE CONTAINS THREE (3) EXISTING BUILDINGS ALL CONTAINING OFFICE USES WHICH IS CONSISTENT WITH THE ALLOWABLE LAND USE.

THE PROPOSED PROJECT ENCOMPASSES BUILDING THE FINAL TWO (2) BUILDINGS OF THE DEVELOPMENT, EXTENDING THE AVAILABLE UTILITIES, AND EXTENDING THE ACCESS DRIVES. THE BUILDING FOUNDATIONS FOR THE TWO BUILDINGS ARE EXISTING AND MAY NEED SOME RE-WORK BUT, THE INTENT OF THE PROJECT IS TO CONFORM WITH THE EXISTING SITE/LAYOUT AND UPDATED ORDINANCES AS BEST AS POSSIBLE (THE KNOWN NON-CONFORMITIES ARE LISTED ON THE COVER SHEET UNDER "NON-CONFORMING DEVIATIONS"). PARKING FOR THE PROJECT WAS LOOKED AT FROM A SITE PERSPECTIVE AND NOT BASED UPON THE TWO (2) PROPOSED BUILDINGS. THIS RESULTS IN MEETING THE REQUIRED SPACES FOR THE ENTIRE SITE WITH SOME TO SPARE. STORM WATER AND UTILITIES SERVICING THE SITE WERE ALSO ANALYZED ACROSS THE SITE AND UPDATED ACCORDINGLY TO ACCOMMODATE NEWER LOCAL AND COUNTY STANDARDS. LANDSCAPING HOWEVER, WAS ANALYZED FOR THE TWO (2) PROPOSED BUILDINGS AND IT IS ASSUMED THE REST OF THE SITE IS IN CONFORMANCE WITH ALL APPLICABLE LANDSCAPING STANDARDS.

NON-CONFORMING DEVIATIONS

- THE REQUIRED SIDE YARD PARKING SETBACK IS 10 FEET. A PARKING SETBACK OF 3 FEET IS PROPOSED, AS THIS IS CONSISTENT WITH THE REST OF THE EXISTING SITE AND THE ADJACENT PROPERTIES ARE OF SIMILAR ZONING AND USE.
- THE ITEMS LISTED UNDER SECTION 3.6.2.D PERTAIN TO THE FRONTAGE OF THE SITE AND WERE DEVELOPED UNDER A PREVIOUS PHASE. THESE AREAS ARE ALREADY DEVELOPED AND THEREFORE WERE NOT REVISED.
- TEMPORARY DISTURBANCE OF THE REQUIRED 25' WETLAND BUFFER TO PROVIDE FOR REQUIRED FLOODPLAIN MITIGATION. THE WETLAND BUFFER WILL BE RESTORED.
- A LANDSCAPED BERM BETWEEN THE DEVELOPMENT AND THE RESIDENTIAL PROPERTY TO THE WEST IS NOT BEING PROVIDED TO ALLOW FOR THE REQUIRED DETENTION AND DUE TO THE FOLLOWING JUSTIFICATIONS: (1) THERE IS OVER 500' FEET OF SEPARATION BETWEEN THE PROPOSED BUILDING AND THE WESTERN PROPERTY LINE AND 900' FROM THE NEAREST RESIDENTIAL UNIT; (2) THERE IS A LARGE EXISTING BERM JUST WEST OF THE PROPOSED DETENTION BASIN LOCATED BETWEEN THE DEVELOPMENT AND THE PROPERTY LINE TO THE WEST; (3) THERE ARE LARGE NATURAL WOODS, WETLANDS AND FLOODPLAIN AREAS (ESSENTIALLY UNDEVELOPABLE AREAS) BETWEEN THE PROPOSED DEVELOPMENT AND THE PROPERTY LINE TO THE WEST THAT PROVIDE FOR NATURAL SCREENING. A CROSS-SECTION OF THE WESTERN AREA HAS BEEN PROVIDED ON SHEET 08.



SHEET INDEX

- 01 COVER SHEET
- 02 EXISTING CONDITIONS
- 03 LAYOUT PLAN
- 04 UTILITIES PLAN
- 05 GRADING AND SESC PLAN
- 06 STORMWATER MANAGEMENT PLAN
- 07 LANDSCAPE PLAN
- 08 DETAIL SHEET
- 1 OF 2 NOW PAVING DETAILS
- 2 OF 2 NOW PAVING DETAILS
- 1 OF 1 SESC DETAILS
- A-1 ARCHITECTURAL FLOOR PLANS
- A-3 ARCHITECTURAL ELEVATIONS
- 1 OF 1 PHOTOMETRIC SITE PLAN

811
 Know what's below.
 Call before you dig.
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN ONLY AND WILL NOT BE GUARANTEED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE REPAIRED BY THE CONTRACTOR. PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 NOTICE: CONSTRUCTION OF THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE WORK OF PERSONS EMPLOYED IN THE DESIGN OF ANY OTHER STRUCTURES OR UTILITIES.
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ATWELL
 311 NORTH MAIN STREET
 ANN ARBOR, MICHIGAN 48104
 SECTION 27
 TOWN 01 NORTH, RANGE 08 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

NOVI PROFESSIONAL BUILDING, LLC.
 NOV PROFESSIONAL VILLAGE
 PRELIMINARY SITE PLAN
 COVER SHEET
 DATE: MARCH 3, 2020
 8/2/26 PPE SUBMITTAL
 2/7/21 PER CITY
 REVISIONS
 SCALE: 0 50 100
 1" = 100 FEET
 DR. BR. | CH. SS.
 P.M. M. BUSH
 JOB 18002753
 SHEET NO. 01



NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVI AND THE STATE OF MICHIGAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK OF RECORD ENCLOSED IN THE BOOK OF ANY NECESSARY STRUCTURES OR UTILITIES. WITHOUT THE PROOF WRITING WORKSHEET OF ATWELL LLC.

CONTRACT NO. 2021-ATWELL-LLC-NOV-PROF-BUILDING-VILLAGE-1
NOV PROFESSIONAL BUILDING, LLC
311 NORTH MAIN STREET
ANN ARBOR, MICHIGAN 48106



SECTION 27
TOWN 01 NORTH, RANGE 08 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

NOV PROFESSIONAL BUILDING, LLC
NOV PROFESSIONAL VILLAGE
PRELIMINARY SITE PLAN
EXISTING CONDITIONS

DATE: MARCH 3, 2020

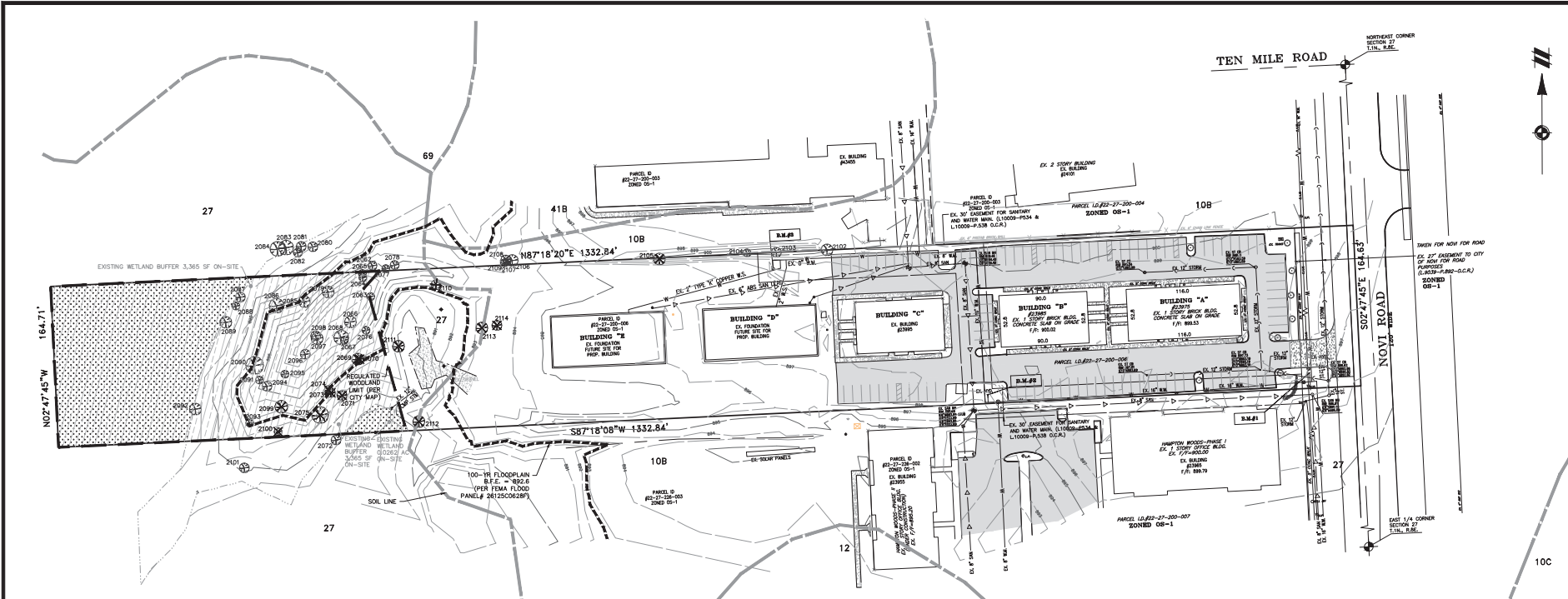
8/2/20 P.P. SUBMITAL
2/21/21 PER CITY

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: 0 25 50
1" = 50 FEET

JOB: 18002753
SHEET NO.: 02



Total Trees 37 Trees
Less:
Dead Trees 5 Trees
Non - Regulated Trees 8 Trees
Net Regulated Trees 24 Trees
Regulated Trees Removed 6 Trees
Replacement Required
Trees 8" - 11" 3 trees x 1=
Trees 11" - 20" 3 trees x 2=
Trees 20" - 30" 0 trees x 3=
Trees 30"+ 0 trees x 4=
Replacement Required 9 Trees

TREE LIST

Tag No.	DBH (inches)	Species	Condition	Regulated	To be	Replacement	Notes
					Removed	Ratio	Regulated Trees Credit
2052		BLACK WALNUT	WS	YES			
2053		BLACK WALNUT	WS	YES			
2054		BENJAMINE	UKAD	YES			
2055		BENJAMINE	WS	YES			
2056		LILAC	WS	YES			
2057		CHERRY	WS	YES			
2058		LECHERRY	WS	YES			
2059		BELM	WS	YES			
2060		DOGWOOD	UKAD	YES	YES	0	
2061		BELM	WS	YES			
2062		BLACK WALNUT	WS	YES	YES	0	
2063		CHERRY	UKAD	YES	YES	0	
2064		BENJAMINE	WS	YES			
2065		BELM	WS	YES			
2066		BENJAMINE	WS	YES			
2067		CHERRY	WS	YES			
2068		DOGWOOD	UKAD	YES			
2069		DOGWOOD	UKAD	YES			
2070		DOGWOOD	UKAD	YES			
2071		DOGWOOD	UKAD	YES			
2072		DOGWOOD	UKAD	YES			
2073		DOGWOOD	UKAD	YES			
2074		DOGWOOD	UKAD	YES			
2075		DOGWOOD	UKAD	YES			
2076		DOGWOOD	UKAD	YES			
2077		DOGWOOD	UKAD	YES			
2078		DOGWOOD	UKAD	YES			
2079		DOGWOOD	UKAD	YES			
2080		DOGWOOD	UKAD	YES			
2081		DOGWOOD	UKAD	YES			
2082		DOGWOOD	UKAD	YES			
2083		DOGWOOD	UKAD	YES			
2084		DOGWOOD	UKAD	YES			
2085		DOGWOOD	UKAD	YES			
2086		DOGWOOD	UKAD	YES			
2087		DOGWOOD	UKAD	YES			
2088		DOGWOOD	UKAD	YES			
2089		DOGWOOD	UKAD	YES			
2090		DOGWOOD	UKAD	YES			
2091		DOGWOOD	UKAD	YES			
2092		DOGWOOD	UKAD	YES			
2093		DOGWOOD	UKAD	YES			
2094		DOGWOOD	UKAD	YES			
2095		DOGWOOD	UKAD	YES			
2096		DOGWOOD	UKAD	YES			
2097		DOGWOOD	UKAD	YES			
2098		DOGWOOD	UKAD	YES			
2099		DOGWOOD	UKAD	YES			
2100		DOGWOOD	UKAD	YES			
2101		DOGWOOD	UKAD	YES			
2102		DOGWOOD	UKAD	YES			
2103		DOGWOOD	UKAD	YES			
2104		DOGWOOD	UKAD	YES			
2105		DOGWOOD	UKAD	YES			
2106		DOGWOOD	UKAD	YES			
2107		DOGWOOD	UKAD	YES			
2108		DOGWOOD	UKAD	YES			
2109		DOGWOOD	UKAD	YES			
2110		DOGWOOD	UKAD	YES			
2111		DOGWOOD	UKAD	YES			
2112		DOGWOOD	UKAD	YES			
2113		DOGWOOD	UKAD	YES			
2114		DOGWOOD	UKAD	YES			

TREE REPLACEMENT CALCS
29 REPLACEMENT TREES REQUIRED
23 TREE CREDIT FROM SAVED PRESERVED
6 REPLACEMENT TREES REQUIRED

BENCHMARKS

B.M. #1
ARROW ON HYDRANT LOCATED AT THE SE CORNER OF PROPERTY ON NOV ROAD.
DATING: NAVERS
ELEV: 899.60

B.M. #2
ARROW ON HYDRANT LOCATED BETWEEN BUILDINGS B & C, 9 FT NORTH OF SOUTH PROPERTY LINE.
DATING: NAVERS
ELEV: 900.19

B.M. #3
ARROW ON HYDRANT LOCATED 38 FT NORTH OF BUILDING D.
DATING: NAVERS
ELEV: 899.82

SOILS LEGEND

Map Unit Symbol	Map Unit Name	Notes
10B	Marlette sandy loam	1 to 6 percent slopes
10C	Marlette sandy loam	6 to 12 percent slopes
12	Brookston and Colwood loams	
27	Houghton and Adrian mucks	
41B	Aquents, sandy, loamy, undulating	
69	Thomas muck	

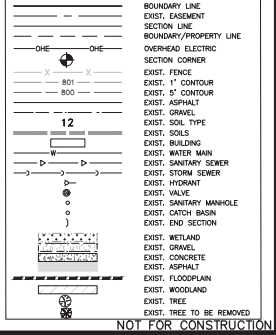
NOTES

- SURVEY INFORMATION PROVIDED BY MICHAEL L. PRIEST & ASSOCIATES, DATED 02-04-2020.
- SOILS INFORMATION REFERENCED FROM USDA NRCS WEB SOILS SURVEY, ACCESSED SEPTEMBER 18, 2018.
- FEMA PANEL #26125C0628, DATED 09-29-2006
- ASTI METLAND REPORT COMPLETED 04-22-2019 & 07-31-2019

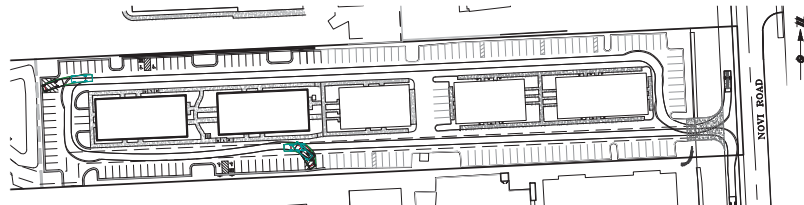
SITE INFORMATION

SITE LOCATION: NORTHEAST 1/4 OF SECTION 27, CITY OF NOVI, MICHIGAN.
ULTIMATE RECEIVING WATER: ROUGE RIVER
SITE SOILS INFORMATION: PER THE NRCS WEB SURVEY FOR OAKLAND COUNTY:
APPROXIMATE AREA OF DISTURBANCE: 1.8± ACRES

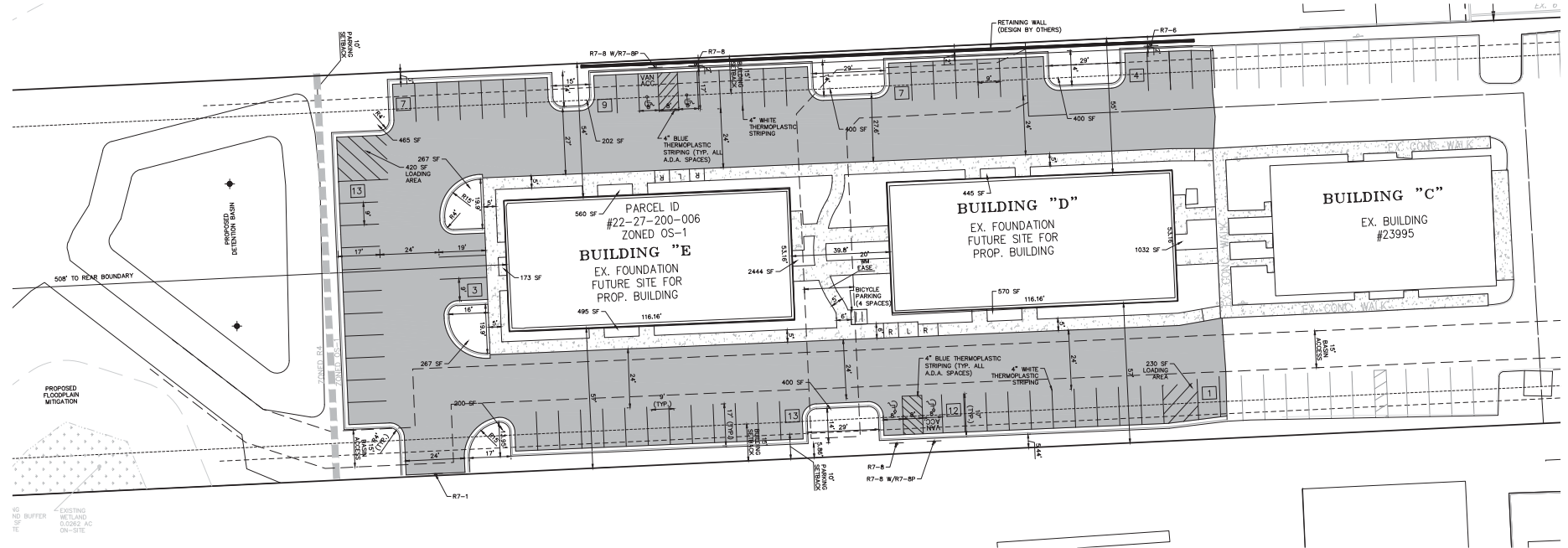
LEGEND



NOT FOR CONSTRUCTION



TRUCK ACCESS DETAIL
 SCALE: 1"=70'
 TRUCK LENGTH: 26.70'
 TRUCK WIDTH: 8.37'
 TRUCK W/W RAD: 30.83'



- SIGNAGE NOTES**
1. ALL ON-SITE SIGNAGE AND PAVERS MARKINGS SHALL BE IN COMPLIANCE WITH THE MUTUO.
 2. ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGE OF THE SIGN.
 3. ALL SIGNS SHALL BE A HEIGHT OF 7 FEET FROM FINAL GRADE TO THE BOTTOM OF THE SIGN.
 4. TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.
 5. TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.
 6. STREET NAME SIGNS SHALL BE DESIGNED PER THE CITY OF NOVI TRAFFIC CONTROL SIGN STANDARDS.
 - 6.1. STREET NAME SIGNS ARE REQUIRED TO HAVE A GREEN FIELD, WHITE LETTERS, AND A WHITE BORDER. TEXT SHALL CONSIST OF A CAPITALIZED FIRST LETTER WITH THE REMAINING LETTERS IN LOWERCASE FONT.
 - 6.2. STREET NAME SIGNS SHALL HAVE A MINIMUM HEIGHT OF 12 INCHES AND MINIMUM LETTERING HEIGHT OF EIGHT INCHES FOR THE CAPITAL LETTERS AND SIX INCHES FOR THE LOWERCASE LETTERS. IF LOCATED ADJACENT TO A ROAD WITH A SPEED LIMIT OF 30 MPH OR GREATER, OR HAVE A MINIMUM HEIGHT OF EIGHT INCHES AND MINIMUM LETTERING HEIGHT OF SIX INCHES IF LOCATED AT RESIDENTIAL STREET INTERSECTIONS.
 - 6.3. STREET NAME SIGNS SHALL HAVE A LETTERING HEIGHT OF THREE INCHES FOR SUPPLEMENTARY LETTERING TO INDICATE THE STREET TYPE (E.G. DRIVE, AVENUE, ETC).
 - 6.4. ALL STREET NAME SIGNS WITHIN THE CITY'S RIGHT OF WAY OR LOCATED ON PUBLIC STREETS AT THE INTERSECTION OF A PUBLIC STREET AND A PRIVATE STREET SHALL BE MOUNTED ON A 3 LB. OR GREATER U-CHANNEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS. STREET NAME SIGNS WITH A NOMINAL HEIGHT OF 12 INCHES SHALL BE SINGLE HOLED AND SANDWICHED ON A 1 1/2" X 1 1/2" U-CHANNEL PERFORATED GALVANIZED STEEL HOIST WITH THE ENDS OF THE SIGNS BOLTED TOGETHER. THE STEEL HOIST SHALL HAVE A MINIMUM LENGTH OF 36 INCHES AND MUST EXCEED A MINIMUM OF 12 INCHES INTO THE 3 LB. OR HEAVIER U-CHANNEL POSTS OR PREVIOUS EXPERIENCES. THE CITY HAS DISCOVERED THAT THE CONNECTION OFTEN MUST BE REPLACED WHEN WHITE ARE USED TO JOIN THE ENDS OF THE SIGNS. THE BOLTS TO JOIN THE SIGNS ARE NOT REQUIRED ON PRIVATE STREETS.
 7. SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHANNEL POST AS DICTATED BY THE HEIGHT OF THE PROPOSED SIGNS.
 8. UNLESS OTHERWISE SPECIFIED, ON-SITE PAVERS MARKINGS SHALL BE 4" WIDE AND WHITE.

Figure 3B-19. International Symbol of Accessibility Parking Space Marking with Blue Background and White Border Options



SIGN LEGEND



SIGN LEGEND

ON-SITE SIGNS	QUANTITY
R7-8 HANDICAPPED PARKING SIGN (12"x18")	4
R7-8P "VAN ACCESSIBLE" SIGN (12"x18")	2
R7-1 "NO PARKING ANY TIME" SIGN (12"x18")	3
R7-6 "NO PARKING LOADING ZONE" SIGN (12"x18")	3

LAYOUT NOTES

1. LANDSCAPE BUFFERS WILL BE PROVIDED ON THE SIDES OF THE DEVELOPMENT AS SHOWN BUFFERING THE PROPERTY FROM THE ADJACENT USES.
2. ALL SIDEWALKS AND SIDEWALK RAMPS SHALL BE ADA COMPLIANT.

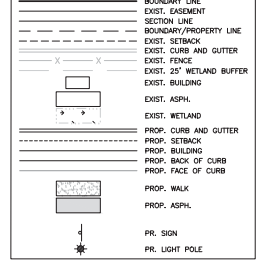
OS-1 REQUIRED CONDITIONS NOTES

1. NO INTERIOR DISPLAY SHALL BE VISIBLE FROM THE EXTERIOR OF THE BUILDING.
2. THE OUTDOOR STORAGE OF GOODS OR MATERIALS SHALL BE PROHIBITED.
3. WAREHOUSING OR INDOOR STORAGE OF GOODS OR MATERIAL, BEYOND THAT NORMALLY INCIDENT TO THE PERMITTED USES, SHALL BE PROHIBITED.

LOADING AREA CALCULATION

REQUIRED: FIVE (5) SQUARE FEET PER FRONT FOOT OF BUILDING UP TO A TOTAL AREA OF THREE-HUNDRED SIXTY (360) SQUARE FEET PER BUILDING.
 53.2' x 5.50FT = 292.50FT² (PER BUILDING) = 532.50FT² (TOTAL)
 PROPOSED: 650 SQFT

LEGEND



811
 Know what's below.
 Call before you dig.
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS NOT GUARANTEED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR OR ANY OTHER PARTY AS A RESULT OF ANY WORK PERFORMED AND ALL NECESSARY UTILITIES.

NOTICE: OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

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ATWELL
 444-444-4400
 311 NORTH MAIN STREET
 ANN ARBOR, MICHIGAN 48104

SECTION 27
 TOWN 01 NORTH, RANGE 08 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

NOVI PROFESSIONAL BUILDING, LLC
 NOVI PROFESSIONAL VILLAGE
 PRELIMINARY SITE PLAN
 LAYOUT PLAN

DATE: MARCH 3, 2020

8/2/20 PPE SUBMITTAL
 2/2/21 PER CITY

REVISIONS

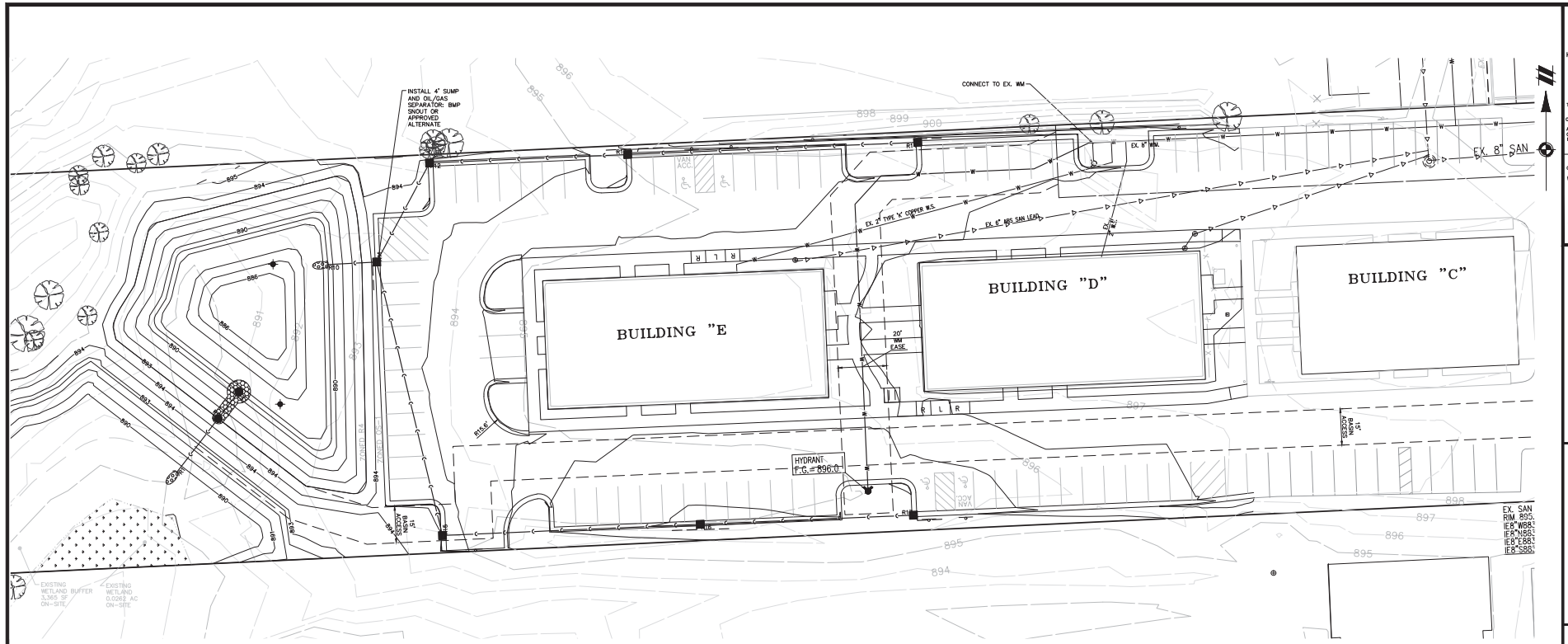
NO.	DATE	DESCRIPTION

SCALE: 0" = 10'
 1" = 20 FEET

DR. BR. CH. SS.
 P.M. M. BUSH

JOB: 18002753
 SHEET NO. 08

NOT FOR CONSTRUCTION



UTILITY NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
2. ALL PROPOSED WATERMAIN SHALL BE 8" D.I.P. CL54, UNLESS OTHERWISE NOTED.
3. MOOT CLASS II COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN A 1'1" INFLUENCE OF PAVED AREAS.
4. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.
5. MAXIMUM LIGHT POLE FOUNDATION DEPTH SHALL BE 48" DEEP IN ORDER TO AVOID UNDER GROUND UTILITY CONFLICTS.
6. ALL HYDRANTS ARE AT LEAST 3' FROM THE EDGE OF SIDEWALK AS SHOWN.

LEGEND

---	EXIST. EASEMENT	---	PROP. BUILDING
---	SECTION LINE	---	PROP. BACK OF CURB
---	BOUNDARY/PROPERTY LINE	---	PROP. R.O.M.
---	EXIST. SETBACK	---	PROP. EASEMENT
---	EXIST. 1" CONTOUR	---	PROP. DETENTION BASIN
---	EXIST. 5" CONTOUR	---	PROP. SIDEWALK
---	EXIST. BACK OF CURB	---	PROP. WATERMAN
---	EXIST. SIDEWALK	---	PROP. STORM SEWER
---	EXIST. WATER MAIN	---	PROP. LOT LINE
---	EXIST. SANITARY SEWER	---	PROP. WATER VALVE
---	EXIST. WATER VALVE	---	PROP. FIRE HYDRANT
---	EXIST. STORM SEWER	---	PROP. END SECTION
---	EXIST. FIRE HYDRANT	---	PROP. CATCH BASIN/VALET
---	EXIST. WATER VALVE	---	PROP. MANHOLE
---	EXIST. WATERMAIN STRUCTURE	---	
---	PROP. SETBACK	---	
---	PROP. CURB AND GUTTER	---	

811
Know what's below.
Call before you dig.
THE LOCATION OF EXISTING UTILITIES IS SHOWN BY SYMBOLS. THESE SYMBOLS MAY ONLY BE USED TO IDENTIFY EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES WHICH ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES WHICH ARE NOT SHOWN ON THIS PLAN.

ATWELL
444-444-4444
311 NORTH MAIN STREET
ANN ARBOR, MICHIGAN 48106-4000

SECTION 27
TOWN 01 NORTH, RANGE 08 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

CLIENT: NOVI PROFESSIONAL BUILDING, LLC
NOVI PROFESSIONAL VILLAGE
PRELIMINARY SITE PLAN
UTILITIES PLAN

DATE: MARCH 3, 2020
8/2/20 P.E. SUBMITTAL
2/7/21 PER CITY

REVISIONS

SCALE 0 10 20
1" = 20 FEET
DR. BR | CH. SS
P.M. M. BUSH

JOB 18002753
SHEET NO. 04

NOT FOR CONSTRUCTION

THE LOCATION OF EXISTING UTILITIES IS SHOWN AS APPROXIMATE ONLY AND HAS NOT BEEN VERIFIED BY FIELD SURVEY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND ALL DAMAGES MUST BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES AND ALL NECESSARY AND ALL NECESSARY UTILITIES.

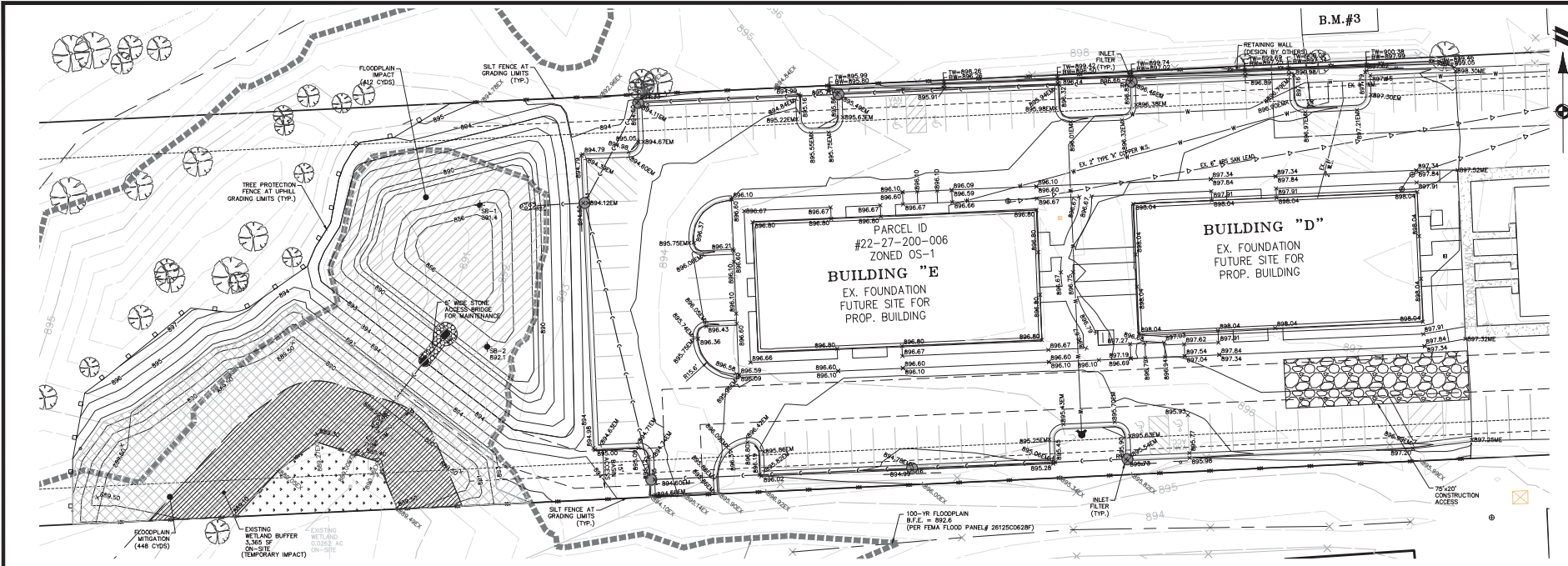
NOTICE: CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI DEVELOPMENT DEPARTMENT'S STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVI DEVELOPMENT DEPARTMENT.

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SECTION 27
TOWN 01 NORTH, RANGE 08 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN
NOV PROFESSIONAL BUILDING, LLC
NOV PROFESSIONAL VILLAGE
PRELIMINARY SITE PLAN
GRADING AND SECC PLAN

DATE: MARCH 3, 2020
BY: B.M.#3
SCALE: 0" = 10' - 20'
1" = 20 FEET
JOB: 18002753
SHEET NO. 05



SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.
- IF Dewatering is Anticipated or Encountered during construction a Dewatering Plan must be submitted to the Engineering Division for review.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF PUBLIC UTILITIES.
- THE STORM WATER BASIN WILL BE STABILIZED PRIOR TO DIRECTING FLOW TO THE BASIN.
- PRETREATMENT STRUCTURES ARE TO BE INSPECTED WEEKLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED, AND WILL CLEAN AS REQUIRED.
- SLOPES STEEPER THAN 1V:6H (4%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKET.
- THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- EROSION AND ANY SEDIMENTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL. A WATER TRUCK SHALL BE AVAILABLE TO WATER DOWN THE SITE AS NEEDED FOR DUST CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STREET SHEEPING. ALL MIDWINTER TRACKED ONTO EXISTING CITY/COUNTY ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR/OWNER AS DIRECTED BY THE TOWNSHIP ROAD MAINT. DAILY MAINTENANCE WILL INCLUDE THE ADDITION OF EXTRA LAYERS OF SOIL AS NECESSARY.
- DURING CONSTRUCTION OF THE STORM SEWER SYSTEM, STRAW BALES, STONE FILTERS OR OTHER APPROVED MEANS, WILL PROTECT THE ENDS OF ALL OPEN PIPES.
- PROMPTLY UNDO THE BACKFILLING OF STORM STRUCTURES, INLET FILTERS WILL BE PLACED AROUND THE STRUCTURE PER DETAILS.
- WITHIN FIVE (5) DAYS AFTER COMPLETION OF PAVING, A 16-FOOT STRIP AROUND PAVED AREAS SHALL BE PROTECTED FROM SOIL EROSION BY AN APPROVED METHOD CONSISTENT WITH THE GROWING SEASON.
- THE PERMANENT FINAL VEGETATION AND STRUCTURES SHALL BE INSTALLED AS SOON AS PRACTICAL IN DEVELOPMENT.
- THE DEVELOPMENT PLAN SHOULD BE FITTED TO THE TOPOGRAPHY AND SOIL SO AS TO CREATE THE LEAST SOIL EROSION POTENTIAL.
- ANY REMAINING DENuded AREA SHALL BE SEEDING AND MULCHED WITHIN 5 DAYS AFTER COMPLETION OF FINAL GRADING. SEED MIX AND APPLICATION RATES SHALL BE PER MOST CLASS A SEED.
- ALL DRAINAGE DITCHES SHALL BE STABILIZED WITH EROSION CONTROL BLANKET AND SHALL UTILIZE CHECK DAMS AS NECESSARY. DRAINAGE DITCHES STEEPER THAN 3% SHALL BE SOODED.
- ALL CULVERT END STRUCTURES MUST CONTAIN GROUDED RPP-RAP IN ACCORDANCE WITH ORDINANCE SPECIFICATIONS.
- CONTRACTOR TO PROVIDE FILTERS ON STANDPIPE OUTLET STRUCTURE UNTIL SITE IS STABILIZED, THEN REMOVE.
- ALL DRAINAGE DITCHES SHALL BE STABILIZED WITH EROSION CONTROL BLANKET AND SHALL UTILIZE CHECK DAMS AS NECESSARY. DRAINAGE DITCHES STEEPER THAN 3% SHALL BE SOODED.

SEQUENCE OF CONSTRUCTION FOR SOIL EROSION CONTROL:

- ATTEND AN ENVIRONMENTAL PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE CITY OF NOVI STAFF AND ITS AGENTS. INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE METAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.
- INSTALL ALL SOIL EROSION AND TREE PROTECTION FENCING AS PER APPROVED PLANS. CLEAR ONLY WHAT IS NECESSARY TO INSTALL FENCING.
- INSTALL TRACKING MAT
- INSTALL TEMPORARY SECS MEASURES
- CONTACT THE CITY OF NOVI OR ITS AGENT TO HAVE THE ITEMS LISTED IN "F" INSPECTED FOR APPROVAL. UPON APPROVAL OF AFOREMENTIONED ITEMS, THE DEVELOPER MUST SCHEDULE A FULL PRE-CONSTRUCTION MEETING WITH THE CITY OF NOVI. CLEARING AND GRUBBING MAY TAKE PLACE AT THIS TIME, BUT NO GRADING/ASS GRADING UNITS. SEPARATE APPROVAL IS GRANTED.
- STRIP AND STOODPILE TOPSOIL IN A LOCATION APPROVED BY THE OWNER/ENGINEER. PLACEMENT OF ADDITIONAL CONTROL MEASURE MUST BE INSTALLED ON AND AROUND THE STOCKPILE.
- INSTALL STORMWATER BASINS AND INSTALL TREATMENT STRUCTURES, IF APPLICABLE.
- INSTALL UTILITIES (WATER MAIN, STORM SEWER, SANITARY SEWER).
- INSTALL CATCH BASIN INLET FILTERS IMMEDIATELY UPON STORM STRUCTURE INSTALLATION. INSPECT AND MAINTAIN FILTERS AS DIRECTED TO PREVENT CLOGGING AND UNNECESSARY FLOODING.
- GRADE ROADWAY LIMITS AND INSTALL PAVEMENT.
- INSTALL ALL PUBLIC UTILITIES (GAS, ELECTRIC, TELEPHONE, CABLE).
- VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
- INSPECT AND MAINTAIN ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. REMOVAL OF CONTROL MEASURES MAY ONLY TAKE PLACE ONCE THE ENTIRE SITE IS FULLY STABILIZED.

MAINTENANCE SCHEDULE

- THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION BASIN. MAINTENANCE SHOULD BE PERFORMED FOLLOWING ANY STORM AND SHOULD INCLUDE:
- CHECKING THE DEPTH OF SEDIMENT DEPOSIT TO ENSURE THE CAPACITY OF THE BASIN IS ADEQUATE FOR STORM WATER AND SEDIMENT DEPOSITION, AND FOR THE REMOVING OF SEDIMENT.
 - CHECKING THE BASIN FOR PIPING, SEEPAGE OR OTHER MECHANICAL DAMAGE.
 - CHECKING FOR THE PRESENCE OF ANY SOIL CAKING, WHICH WOULD PREVENT PROPER DRAINAGE FROM THE BASIN.
 - CHECKING THE OUTFALL TO ENSURE DRAINAGE IS NOT CAUSING ANY CORROSIVE VELOCITIES AND TO ENSURE THE OUTFALL IS NOT CLOGGED.
 - ANY PROBLEM DISCOVERED DURING THE MAINTENANCE CHECKS SHOULD BE ADDRESSED IMMEDIATELY.
 - SEDIMENT REMOVED DURING CLEANING SHOULD BE PLACED AT AN UPLAND AREA AND STABILIZED SO THAT IT DOES NOT RE-ENTER THE DRAINAGE COURSE.

MAINTENANCE TASKS AND SCHEDULE

DURING CONSTRUCTION MAINTENANCE
TO BE PERFORMED BY CONTRACTOR

TASKS	COMPONENTS	SCHEDULE
INSPECT FOR SEDIMENT ACCUMULATION	PERMANENT VEGETATION	WEEKLY
REMOVAL OF SEDIMENT ACCUMULATION	PERMANENT VEGETATION	AS NEEDED* AND PRIOR TO TURNOVER
INSPECT FOR FLOABLES AND DEBRIS	PERMANENT VEGETATION	QUARTERLY
CLEANING FOR FLOABLES AND DEBRIS	PERMANENT VEGETATION	QUARTERLY AND AT TURNOVER
INSPECTION FOR EROSION	PERMANENT VEGETATION	WEEKLY
REINSTALL PERMANENT VEGETATION ON ERODED SLOPES	PERMANENT VEGETATION	AS NEEDED* AND PRIOR TO TURNOVER
CLEAN DRIVEWAYS AND PARKING LOTS	PERMANENT VEGETATION	WEEKLY OR AS DETERMINED BY FORMING AGENCY
WATER DISTURBED AREAS TO PROVIDE DUST CONTROL	PERMANENT VEGETATION	AS NEEDED
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER	PERMANENT VEGETATION	ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPAIRS AS DETERMINED	PERMANENT VEGETATION	AS NEEDED

STREET CLEANING SCHEDULE

SCENIC STREETS	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
SCENIC STREETS	X	X	X	X	X	X	X
OTHER STREETS							

PERMANENT MAINTENANCE
TO BE PERFORMED BY THE ASSOCIATION

TASKS	COMPONENTS	SCHEDULE	COST
INSPECT FOR SEDIMENT ACCUMULATION	PERMANENT VEGETATION	SEM-ANNUALLY/AS NEEDED	\$100
REMOVAL OF SEDIMENT ACCUMULATION	PERMANENT VEGETATION	1-2 TO 10% AS NEEDED	\$200
INSPECT FOR FLOABLES AND DEBRIS	PERMANENT VEGETATION	ANNUALLY	\$100
CLEANING FOR FLOABLES AND DEBRIS	PERMANENT VEGETATION	ANNUALLY	\$150
INSPECTION FOR EROSION	PERMANENT VEGETATION	SEM-ANNUALLY	\$100
REINSTALL PERMANENT VEGETATION ON ERODED SLOPES	PERMANENT VEGETATION	AS NEEDED	\$500
WORKING	PERMANENT VEGETATION	AS NEEDED	\$400
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS BY A PROFESSIONAL ENGINEER REPORTING TO THE ASSOCIATION	PERMANENT VEGETATION	ANNUALLY	\$150
MAKE ADJUSTMENTS OR REPAIRS AS DETERMINED	PERMANENT VEGETATION	AS NEEDED	\$400
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO THE ASSOCIATION.	PERMANENT VEGETATION	ANNUALLY	\$100
THE ASSOCIATION REVIEW COST EFFECTIVENESS OF THE PRESENTING MAINTENANCE PROGRAM AND MAKE NECESSARY ADJUSTMENTS	PERMANENT VEGETATION	ANNUALLY	\$100
THE ASSOCIATION IS TO HIRE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS	PERMANENT VEGETATION	ANNUALLY	\$200
ESTIMATED ANNUAL COST			\$2650

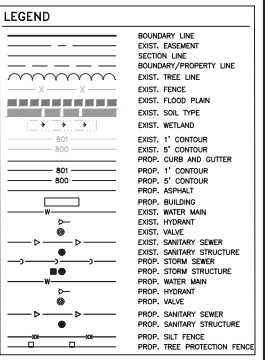
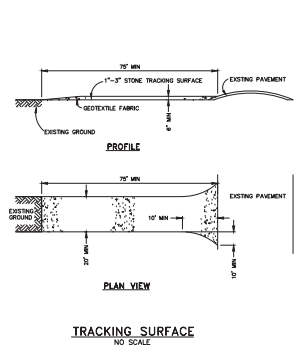
* REMOVE ALL THE TEMPORARY CONTROLS AFTER GETTING APPROVAL BY THE SOIL EROSION INSPECTOR.

SITE INFORMATION

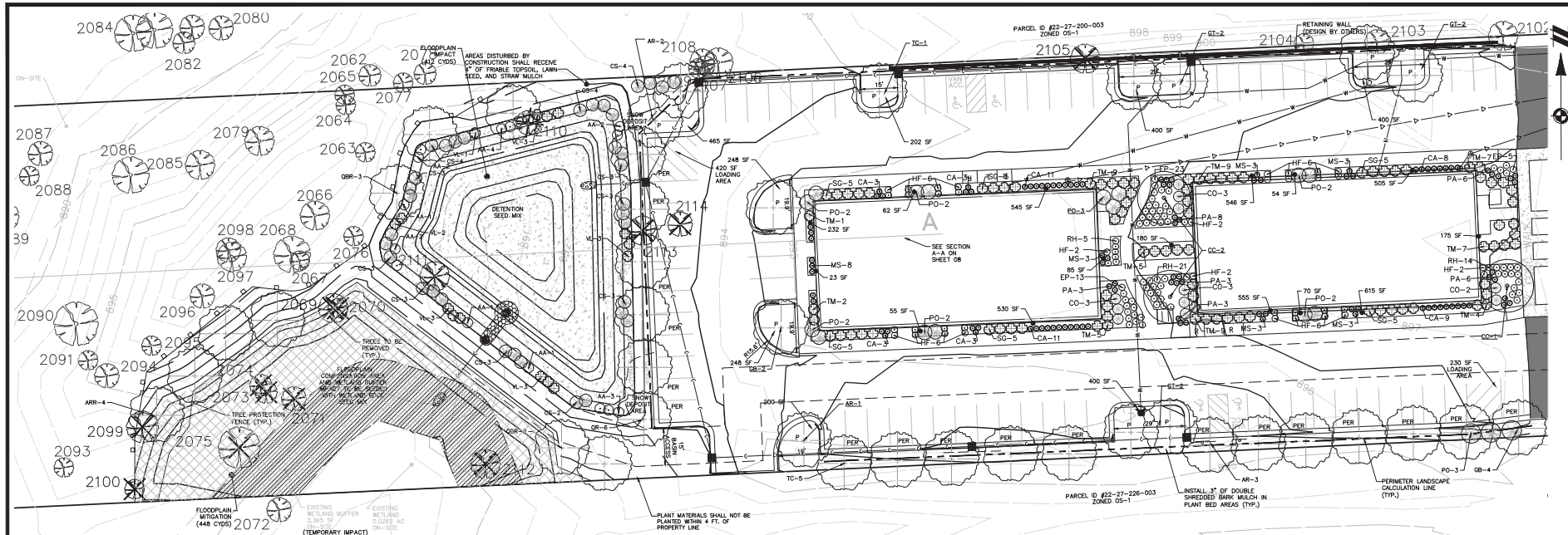
- SITE LOCATION: NORTHEAST 1/4 OF SECTION 27, CITY OF NOVI, MICHIGAN.
- ULTIMATE RECEIVING WATER: UNNAMED TRIBUTARY TO CHAPMAN CREEK
- SITE SOLS INFORMATION: PER THE NRCS WEB SOILS SURVEY FOR OAKLAND COUNTY, 10N AND 27E. REFER TO SHEET 02 FOR GENERAL SOIL TYPE LOCATIONS.
- APPROXIMATE AREA OF DISTURBANCE: 2.58 ACRES
- THE PROPOSED PROJECT IS WITHIN 500 FEET OF A WATERBODY OR WATERCOURSE. A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT WILL BE REQUIRED.
- CONTRACTOR TO TAKE SPECIAL CARE TO PREVENT IMPACT OR EROSION INTO WATERCOURSES. WAIVER GRADING ACTIVITIES PROPOSED NEAR THE WATERCOURSE.

GRADING NOTES

- PERIMETER CURB IN FRONT OF PARKING SPACES TO BE PER DETAIL 7D FROM THE NOV PAVING DETAIL SHEET 2 OF 2. CURB TO BE 24" WIDE AND 4" BACK HEIGHT.
- CURB NOT LOCATED IN FRONT OF PARKING SPACES SHALL BE PER DETAIL 7D FROM THE NOV PAVING DETAIL SHEET 2 OF 2. CURB TO BE 24" WIDE AND 4" BACK HEIGHT.
- EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 1:6.
- STOODPILING OF SOIL ON-SITE IS NOT ANTICIPATED.
- ON-SITE PARKING LOT CROSS-SECTION TO PER DETAIL 7C FROM THE NOV PAVING DETAIL SHEET 2 OF 2. PAVEMENT TO BE 1.5 INCHES OF MOIST SET ON 2.5 INCHES OF WOOD 3/4 ON 8 INCHES OF 21A LIMESTONE ONLY IF WITHIN 100 FEET OF A WATERCOURSE) AGGREGATE BASE.



NOT FOR CONSTRUCTION



LANDSCAPE REQUIREMENTS

SECTION 5.5(X)(A) RESIDENTIAL ADJACENT TO NON-RESIDENTIAL BUILDING
 -THIS PROJECT IS SURROUNDED BY THE SAME ZONING AS THE SUBJECT PARCEL (OS-1) THEREFORE, NO LANDSCAPE BUFFERING IS PROPOSED AND THIS SECTION IS NOT APPLICABLE TO THIS PROJECT.

SECTION 5.5(X)(B) LANDSCAPING ADJACENT TO PUBLIC RIGHTS OF WAY
 -THE PORTION OF THE SITE ADJACENT TO THE PUBLIC ROW OF NOV ROAD HAS ALREADY BEEN PREVIOUSLY SUBMITTED, APPROVED, AND INSTALLED

SECTION 5.5(X)(C) PARKING AREA LANDSCAPE (CATEGORY 1)
 A - TOTAL SQUARE FOOTAGE OF VMI LESS THAN 50,000 SF NOT INCLUDING ACCESS AREAS EQUALS:
 31,109 SF x .075 = 2,290 SF

B - SQUARE FOOTAGE OF ALL ADDITIONAL PAVED VEHICULAR USE AREAS (NOT INCLUDING A) EQUALS:
 NOT APPLICABLE

C - TOTAL SQUARE FOOTAGE OF LANDSCAPED ISLAND REQUIRED EQUALS:
 REQUIRED TOTAL (A) + (B) = 2,333 SF
 PROVIDED: 2,563 SF.

D - TOTAL NUMBER OF INTERIOR DECIDUOUS CANOPY TREE REQUIRED EQUALS:
 REQUIRED TOTAL ((A)+(B))/200 = 12
 PROVIDED: 12

E - PERIMETER DECIDUOUS CANOPY TREES REQUIRED EQUALS:
 PERIMETER (P) / 30 = 779 LF / 35 = 22 TREES
 PROVIDED: 18 TREES

SECTION 5.5 (D) (1) BUILDING FOUNDATION LANDSCAPE REQUIREMENTS
 -THERE SHALL BE, AS A MINIMUM, INTERIOR SITE LANDSCAPING SQUARE FOOTAGE EQUAL TO THE QUANTITY CALCULATED BY MULTIPLYING THE ENTIRE PERIMETER OF THE BUILDING BY EIGHT (8) FEET. LANDSCAPED PLANTING BEDS SHALL BE PLACED IMMEDIATELY ADJACENT TO THE BUILDING ON ALL FOUR SIDES AND HAVE A MINIMUM WIDTH OF FOUR (4) FEET. EXISTING DISTURBED AREAS SHALL BE RECLAIMED.
 REQUIRED: 674 (COMBINED PERIMETER OF PROPOSED BUILDINGS) X 8 = 5,392 SF

PROVIDED: 5,700 SF (MINIMUM WIDTH DIMENSION IS 4 FEET)

DETECTION PLANTINGS
 REQUIRED AND PROVIDED: 75% OF BASIN RIM PLANTED W/ NATIVE SHRUBS

REPLACEMENT TREES
 9 TREES REQUIRED AND PROVIDED. SEE SHEET 02 FOR TREE LIST AND CALCULATION.

CITY OF NOVI LANDSCAPE NOTES

- ALL TREES ARE TO BE PLANTED AT LEAST 10' FROM ALL HYDRANTS AND UTILITY STRUCTURES AS WELL AS A MINIMUM OF 5' FROM UNDERGROUND UTILITY LINES WHENEVER POSSIBLE.
- ANY AREAS THAT ARE DISTURBED AND NOT INSTALLED TO BE PLANTED WITH LANDSCAPE MATERIAL SHALL RECEIVE A FRESH LAYER OF TOPSOIL AND SEEDED OR SOED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PLANT MATERIAL UPON INSTALLATION FOR A PERIOD OF TWO YEARS.
- NO TREES, SHRUBS OR PLANTINGS TALLER THAN 35" WITHIN THE 35' CORNER CLEARANCE ZONES.
- PLANT MATERIAL SHALL BE GUARANTEED FOR 2 YEARS BY LANDSCAPE CONTRACTOR AND SHALL INCLUDE ONE CULTIVATION EACH IN JUNE, JULY AND AUGUST FOR THE 2-YEAR WARRANTY PERIOD.
- PLANT SOURCE SHALL BE UPPER MICHIGAN/GREAT LAKES GROWN.
- ALL PLANT MATERIALS SHALL BE NORTHERN NURSERY GROWN, NO. 1 GRADE.
- IRRIGATION WILL BE PROVIDED AT THE ENTRANCE WITHIN THE CENTRAL OPEN SPACE AND AT THE INDIVIDUAL PLANTS. OTHER PLANT MATERIAL MUST BE WATERED AS NECESSARY BY THE LANDSCAPE CONTRACTOR UNTIL ESTABLISHMENT WITH A TEMPORARY SYSTEM, HOSE OR PORTABLE WATER TANKS. IRRIGATION PLANT PROVIDED BY OTHERS.
- CITY MUST APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION.
- REFER TO SEED MIX ESTABLISHMENT GUIDES FOR ANY SPECIFIED SEED MIX AVAILABLE FROM CITY OF NOVI LANDSCAPE ARCHITECT.
- PROPOSED TREES SHALL BE PLANTED WHERE EXISTING HABITAT WILL BE DISTURBED NEAR PRESERVED WOODLAND.
- OVERHEAD UTILITY LINES AND 15 FT. SETBACK FROM EDGE OF UTILITY OR 20 FT. SETBACK FROM CLOSEST POLE.

SEED MIXES

Quantity Rate Mix	Weighted Avg. Mix	Notes
8.5 POUNDS OF SEED REQUIRED SEED PROVIDED BY NATEVSCAPE, 517-456-8696 SEE SHEET 8 FOR INSTALLATION	7.8 POUNDS OF SEED REQUIRED	

SOIL SERIES DESCRIPTION

10-BL-1 MABLETIE SANDY LOAM 1L TO 8 PERCENT SLOPES
 THIS NEARLY LEVEL AND UNDULATING MODERATELY WELL DRAINED SOIL IS ON LOW HILLS AND RIDGES. MOST AREAS ARE DISSECTED BY VERY LOW DRAINAGE SWAYS. SLOPES ARE SMOOTH AND CONVEX AND ARE GENERALLY LESS THAN 100 FEET LONG. AREAS ARE IRREGULAR IN SHAPE AND ARE 2 TO 200 ACRES IN SIZE.
 TYPICALLY, THE SURFACE LAYER IS DARK GRAYISH BROWN SANDY LOAM ABOUT 8 INCHES THICK. THE SUBSOIL IS FIRM AND IS ABOUT 23 INCHES THICK. IN THE UPPER PART IT IS DARK YELLOWISH BROWN CLAY LOAM. THE SUBSTRATUM TO A DEPTH OF ABOUT 60 INCHES IS YELLOWISH BROWN AND PALE BROWN, MOTTLED, CALCAREOUS LOAM.

REQUIRED WAIVERS:

- SECTION 5.5(X)(C) PERIMETER PARKING LOT TREES
 A WAIVER OF 4 TREES IS REQUESTED. PERIMETER TREES CANNOT BE PLANTED ALONG THE NORTH PROPERTY LINE DUE TO THE WALL AND LIMITED PLANTING AREA.
- SECTION 5.5.3.0 BUILDING FOUNDATION LANDSCAPING
 A WAIVER OF 44 SF IS REQUESTED. THE PLAN PROVIDES 99% OF THE REQUIRED PLANT BED AREA. THIS CANNOT BE MET DUE TO THE EXISTING BUILDING FOUNDATIONS AND THE SITE LAYOUT THAT IS DICTATED FROM THE PREVIOUS DEVELOPMENT.
- SECTION 5.5.3.A BERM REQUIREMENTS
 A BERM IS REQUIRED TO SCREEN THE EXISTING HOMES TO THE WEST. THE RESIDENCES ARE OVER 800' FROM THE PARKING LOT AND APPROXIMATELY 600' OF THIS AREA IS REGULATED WETLAND AND WOODLAND TO REMAIN.

LANDSCAPE ARCHITECT

ATWELL, LLC
 311 NORTH MAIN STREET
 ANN ARBOR, MICHIGAN 48104
 PHONE: (734) 994-4000

SITE ADDRESS

23975 NOVI ROAD, NOVI, MI 48375
 CATEGORY 1 A
 91-203
 PARKING ISLAND AREAS
 5,761 SF
 BUILDING FOUNDATION LANDSCAPE AREAS
 5,761 SF

DEVELOPER/APPLICANT

NOVI PROFESSIONAL BUILDING, LLC
 311 NORTH MAIN STREET
 P.O. BOX 252323
 NEWPORT NEWS, VA 23625
 PHONE: (424) 670-9200

LANDSCAPE PLANT LIST

Plant Name	Quantity	Notes
...

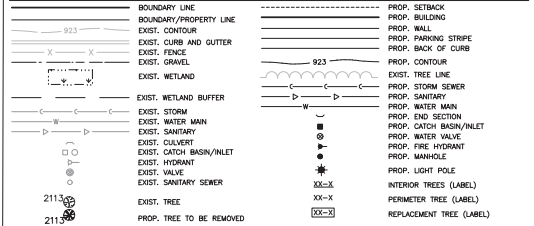
LANDSCAPE REQUIREMENTS NOTES

- THE LANDSCAPE PLAN ATTEMPTS TO SUBSTANTIALLY COMPLY WITH THE CITY OF NOVI'S LANDSCAPE REQUIREMENTS OUTLINED IN THE ZONING ORDINANCE AND LANDSCAPE DESIGN MANUAL, ALTHOUGH DUE TO EXISTING SITE CONDITIONS, PREVIOUSLY INSTALLED BUILDING FOUNDATIONS, AND PREVIOUS SITE APPROVALS CERTAIN REQUIREMENTS FALL SHORT OF MEETING CURRENT REQUIREMENTS.
- ANY READ, MISSING OR WEAK PLANTINGS ON SITE THAT WERE PART OF THE ORIGINAL SITE PLAN MUST BE REPLACED. THIS INCLUDES MISSING FOUNDATION LANDSCAPING, LANDSCAPING BETWEEN BUILDINGS, PARKING LOT LANDSCAPING AND GREENBELT PLANTINGS.
- GROUND COVER TO BE 50% UNDOED NOTES.
- NO OVERHEAD POWER LINES EXIST.
- TRANSFORMER SOWERING WILL BE SHOWN WHEN LOCATIONS ARE KNOWN.
- CONTRACTOR SHALL SEND A PHOTO OF THE SEED BAG INDICATING SEED MIX PRIOR TO PLANTING.
- PHRAGMITES EXISTS BUT WILL BE REMOVED AS PART OF THE DETENTION BASIN CONSTRUCTION.

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES.
- LANDSCAPING OPERATIONS INCLUDING PLANTING TREES AND SHRUBS, SHALL NOT DAMAGE ANY UTILITY OR INTERFERE WITH ANY UTILITY SERVICE, AND SHALL NOT DAMAGE OR CREATE A NUISANCE AFFECTING ADJACENT PROPERTY, PUBLIC STREETS, OR SIDEWALKS.
- PLANT AND GRASS MATERIALS SHALL BE INSTALLED ACCORDING TO THE CITY OF NOVI AND CURRENT AMERICAN ASSOCIATION OF NURSEMAN'S STANDARDS.
- ALL BOLLIVARDS, OPEN OR OTHERWISE DISTURBED AREAS THAT ARE NOT SPECIFIED WITH OTHER PLANTING, PAVING OR SEED MIXTURES SHALL BE PLANTED WITH A STANDARD PERMANENT GRASS SEED MIXTURE TO INDUSTRY STANDARDS.
- LANDSCAPING MATERIALS THAT ARE INSTANTLY DEAD, DYING, OR THAT BECOME UNHEALTHY BECAUSE OF DAMAGE, NEGLECT, DRAINAGE PROBLEMS, DISEASE, INSECT INFESTATION, OR OTHER CAUSES SHALL BE REPLACED WITHIN THREE MONTHS, OR THE NEXT PLANTING PERIOD, WHICHEVER OCCURS FIRST. REPLACEMENT MATERIALS SHALL MEET ALL STANDARDS OF THE ORIGINAL INSTALLATION.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN ADEQUATE WATER SUPPLY. THE PROPERTY OWNER (OR ANY APPLICABLE OWNER'S ASSOCIATION) SHALL BE RESPONSIBLE TO ENSURE THE PROPER CARE AND MAINTENANCE OF LANDSCAPE AREAS, INCLUDING KEEPING ALL LANDSCAPE MATERIALS IN A HEALTHY AND GROWING STATE. ALL LANDSCAPE ELEMENTS SUCH AS, BUT NOT LIMITED TO, FENCES, SERRIS, WALLS, OR LIGHTING SHALL BE KEPT IN GOOD REPAIR.
- TOPSOIL REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED IN AN APPROPRIATE MANNER TO PREVENT EROSION, AND SHALL BE REDISTRIBUTED ON RE-GRADED SURFACES TO BE LANDSCAPED, TO PROVIDE A MINIMUM OF FOUR INCHES OF EVEN COVER. THE TOPSOIL SHALL BE PERMANENTLY STABILIZED BY GRASS, GROUND COVER, OR OTHER PLANTINGS.
- NO PLANT MATERIAL SHALL BE PLANTED CLOSER THAN 4 FEET FROM ANY PROPERTY LINE.
- REMOVE ALL TWINE, WIRE, NURSERY GUARDS, TAGS AND NURSERYING MATERIAL FROM ROOF BALL. PEEL BACK THE BURLAP FROM EARTH BALLS AND REMOVE ANY BURLAP, TWINE OR WIRE AROUND THE TRUNK FLARE AND ABOVE.
- ALL PLANTING AREAS ARE TO BE EXCAVATED OF ALL BUILDING / CONSTRUCTION AND FILL MATERIALS AND BACKFILLED WITH GOOD MEDIUM TEXTURED PLANTING SOIL. SEEDING AREAS ARE TO BE TREATED WITH 4" OF NEW TOPSOIL AND ROTOTILLED OR OTHERWISE SCARIFIED TO BREAK UP COMPACTATION AT LEAST 6" BELOW THE TOPSOIL.
- TOPSOIL SHALL BE SCREENED AND SUITABLE FOR GROWING VEGETATION AND MEET AT A MINIMUM CITY OF NOVI OR ASTM D-9588 AND MOOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- RECOMMENDED PLANTING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- WHILE NO ADDITIONAL TREES ARE NEEDED FOR THIS SITE, ANY WEAK / DEAD TREES MISSING FROM ORIGINAL PROJECT PLANS MUST BE REPLACED AS PART OF THIS PROJECT.
- REPLACE ANY MISSING LANDSCAPE FROM OTHER BUILDINGS ARE PART OF THIS PROJECT.
- CITY MUST APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION.
- PRIOR TO THE BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG-1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROVIDE 500 FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS OTHERWISE NOTED.
- TREE PLACEMENT SHALL HAVE A 15' SETBACK FROM EDGE OF UTILITY LINES OR 20' SETBACK FROM CLOSEST UTILITY POLE.
- REMOVE ANY ONE-SIDE PLANTINGS OF PHRAGMITES AUSTRALIS.
- MISS DIG - CALL 811, "KNOW WHAT'S BELOW, CALL BEFORE YOU DIG", THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE EXACTLY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

LEGEND



LANDSCAPE REQUIRED AREAS

NO SCALE

ATWELL
 311 NORTH MAIN STREET
 ANN ARBOR, MICHIGAN 48104
 PHONE: (734) 994-4000

SECTION 27
 TOWN 01 NORTH, RANGE 08 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

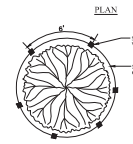
NOVI PROFESSIONAL BUILDING, LLC
 NOV PROFESSIONAL VILLAGE
 PRELIMINARY SITE PLAN

DATE: MARCH 3, 2020
 8/22/20 P.P. SUBMIT
 2/21/20 PER CITY

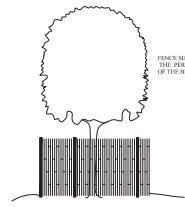
REVISIONS
 SCALE 0' = 10'
 1" = 20 FEET
 DR BR LH SS
 P.M. W. BUSH

JOB 18002753
 SHEET NO. 07

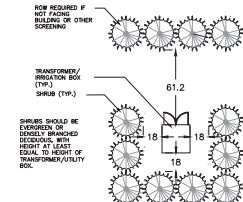
NOT FOR CONSTRUCTION



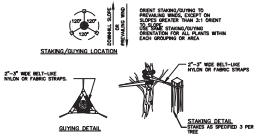
- TREE PROTECTION FENCE NOTES**
- ALL TREES TO BE REMOVED WILL BE IDENTIFIED BY THE CONTRACTOR.
 - THE PROTECTIVE FENCE SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - ALL BRANCHES OF THE TREE TO BE PROTECTED SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
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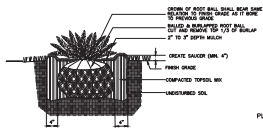
TREE PROTECTION FENCE DETAIL
NO SCALE



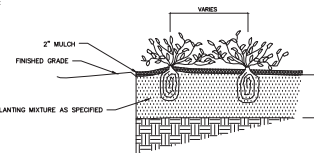
TRANSFORMER SCREENING DETAIL
NO SCALE



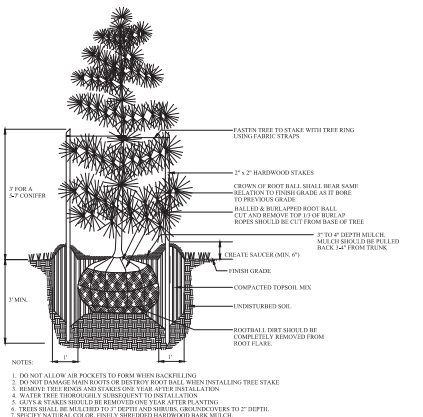
TREE STAKING DETAIL
NO SCALE



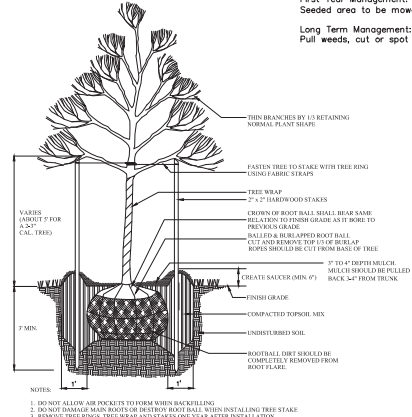
SHRUB PLANTING DETAIL
NO SCALE



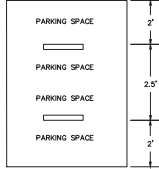
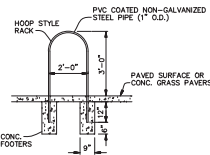
PERENNIAL PLANTING DETAIL
NO SCALE



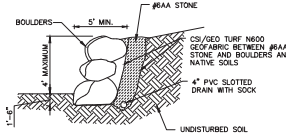
CONIFEROUS TREE PLANTING DETAIL
NO SCALE



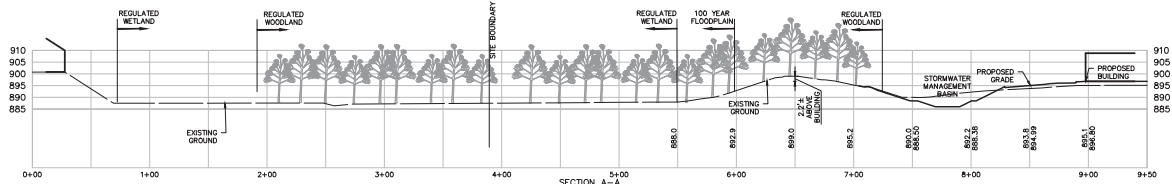
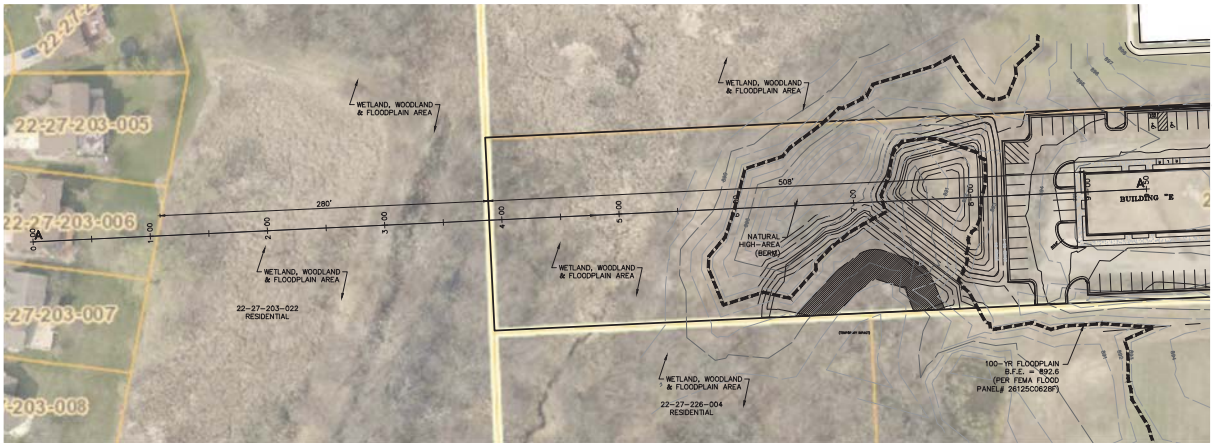
DECIDUOUS TREE PLANTING DETAIL
NO SCALE



BIKE RACK DETAIL
NO SCALE



TYPICAL RETAINING WALL DETAIL
NO SCALE



EXISTING RESIDENTIAL PROPERTY BUFFER

SEED INSTALLATION:

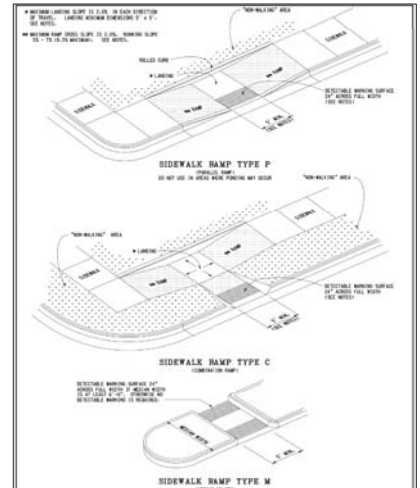
- Eliminate quack grass, lawn sod, persistent perennial weeds, etc. prior to seeding with organic or herbicide methods. Make sure the herbicide does not include materials that will be persistent in the soil.
- Prepare seedbed by raking or thatching so roughly 50% of the soil surface is showing. Dead vegetation may remain. Scary soil surface with rake, thatcher or tiller to a depth of 1 inch or less. Do not till greater than 1" as this will bring existing seeds to the surface.
- Sow the seed with a hand-cranked seeder. Divide the seed in half for the first sowing then sow the 2nd half perpendicular to the first. Criss-cross the seed bed to ensure good coverage.
- Incorporate seeds by raking or lightly going over the area with a thatcher. Tamp seeded area to ensure good soil contact. Areas prone to erosion should be covered with seed free straw.
- Watering is not necessary but will speed germination and establishment. Once watering is begun, soil must be kept moist continuously until the seedlings are well established.

First Year Management:

Seeded area to be mowed for at least one year after planting. Cut the planting to 4"-6" when the growth reaches 10"-12".

Long Term Management:

Pull weeds, cut or spot spray with herbicide. The planted area can be mowed in the late fall or early spring.



TYPICAL RETAINING WALL DETAIL
NO SCALE

811
Know what's below.
Call before you dig.
THE LOCATION OF EXISTING UTILITY SERVICES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITY SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITY SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITY SERVICES.

ATWELL
311 NORTH MAIN STREET
ANN ARBOR, MICHIGAN 48106

SECTION 27
TOWN 01 NORTH, RANGE 08 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

CLIENT: **NOVI PROFESSIONAL BUILDING, LLC**
NOVI PROFESSIONAL VILLAGE
PRELIMINARY SITE PLAN
DETAIL SHEET

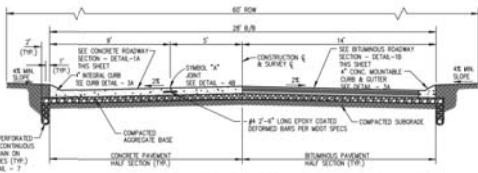
DATE: MARCH 3, 2020
BY: BRUSH
2/21/20 PER CITY

REVISIONS

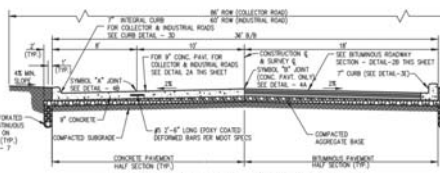
SCALE: 0 25 50
1" = 50 FEET

MICHIGAN DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
DESIGNED BY: BRUSH
CHECKED BY: BRUSH
DATE: 2/21/20
SHEET: R-26-3
JOB: 18002753
SHEET NO. 08

NOT FOR CONSTRUCTION



**TYPICAL CROSS SECTION DETAIL - 1
RESIDENTIAL ROAD PAVEMENT (28' B/B)**
NOT TO SCALE



**TYPICAL CROSS SECTION DETAIL - 2
COLLECTOR AND INDUSTRIAL ROAD PAVEMENT (36' B/B)**
NOT TO SCALE

GENERAL NOTES

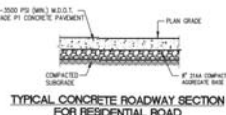
- EXISTING TOPSOIL, VEGETATION AND OBSCURE MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIAL. TREE ROOTS SHALL BE COMPLETELY REMOVED TO A MINIMUM OF 12" TO 18" INCHES DEPTH FROM PAVEMENT SURFACE.
- EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CORRECTION AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
- THE PAVEMENT SURFACE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DRY-DENSITY INDICATED THROUGHOUT PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. THE FINAL SURFACE SHALL BE MECHANICALLY PROOF-ROLLED IN THE PRESENCE OF A GEOTECHNICAL/PAVEMENT ENGINEER TO DETERMINE STABILITY LOSS OF YIELDING AREAS WHICH MAY OCCUR DUE TO MECHANICAL PROOF-ROLLING AND BE REPEATED AS DIRECTED BY THE GEOTECHNICAL ENGINEER. ALL FILL MATERIALS AND BASE MATERIALS SHALL BE TESTED AND ITS COMPACTION AND SATURATION FOR ACCEPTANCE OF THE BASE MATERIALS AND PAVEMENT SHALL BE CHECKED BY SQA TESTING FIRM. THE OWNER SHALL SUPPLY THREE COPIES OF GEOTECHNICAL AND TECHNICAL REPORTS TO THE CITY CONSULTANT.
- IF IN THE OPINION OF THE INSPECTOR/ENGINEER, FIELD CONDITIONS WARRANT ADDITIONAL TESTING, THE DEVELOPER SHALL ARRANGE FOR AND PAY FOR ALL REQUIRED ADDITIONAL TESTING.
- 3/4" DIA AGGREGATE BASE SHALL BE COMPACTED TO ACHIEVE A 98% COMPACTION LEVEL. UNDESIGNED PROCTOR - ASTM D 1557-01b. THE BASE SHALL EXCEED A MINIMUM OF 2 FEET BEYOND THE BACK OF CURB OR THE PAVED LOGE.
- CONCRETE PAVEMENT TESTING SHALL BE REQUIRED FOR ALL PROJECTS.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVATO, CALIFORNIA.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND LICENSES ARRANGE FOR ALL INSPECTION.
- 1.0 INCH AND 2.0 INCH EXPANSION JOINTS SHALL BE INSTALLED PER CITY STANDARDS FOR THIS SHEET.
- FILL AREAS SHALL BE MACHINE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DRY DENSITY (UNDESIGNED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- 11' UNDER DRAIN SHALL BE INSTALLED ON BOTH SIDES OF ALL ROADWAYS IN SECTORS WHEREVER TRUCK TRAILS ALSO PLACE UNDER DRAINS AT ALL DRAINAGE STRUCTURES WITHIN PARKING AREAS. (SEE DETAILS 8 AND 9)
- PROTECT TO BRUSHWOOD STREET ACCEPTANCE. THE FULL CROSS SECTION MUST BE INCLUDED PER THE APPROVED PLAN AND ANY AND ALL REPAIRS TO THE PAVEMENT AND CURB MUST BE COMPLETED AT THE DISCRETION OF THE CITY ENGINEER.
- 12a. AT THE END OF EACH CONSTRUCTION, THE FULL CROSS SECTION MUST BE INSTALLED TO MINIMIZE THE AMOUNT OF PAVEMENT AND CURB REPAIRS. PRIOR TO STREET ACCEPTANCE THE CITY ENGINEER WILL INSPECT THE DRAINAGE CURB AND WILL VERIFY ANY AREAS TO BE REPAIRED.
- 12b. ALTERNATIVELY, THE TOP COURSE MAY BE LIMITED ONLY TO THE MAJORITY OF THE CONSTRUCTION ACTIVITIES TO BE COMPLETED PRIOR TO STREET ACCEPTANCE. THE CITY ENGINEER WILL INSPECT THE DRAINAGE CURB AND WILL VERIFY ANY AREAS TO BE REPAIRED PRIOR TO THE INSTALLATION OF THE TOP COURSE.
- PROVIDE MINIMUM 20' DISTANCE TO TRANSITION FROM DETAIL 3c TO DETAIL 3a CURB.

CONCRETE PAVEMENT

- CONCRETE SHALL BE PLACED ON A 4-INCH MINIMUM WITH A MINIMUM CEMENT CONTENT OF 550 LBS PER CUM. THE MIXER IS TO BE COMPLETED WITHIN 90 MINUTES OF THE TIME OF PLACEMENT. THE MIXER SHALL CONFORM TO ASTM C 1157.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURBS & UTILITY, SHALL BE SPRAY CURED WITH WHITE RHEINLAND CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- THE CONCRETE BATH PAVING SHALL BE M.D.T. CERTIFIED WITH LOCATION APPROVED BY THE CITY.
- NO CONCRETE PAVEMENT SHALL BE ALLOWED FROM MAY 15th ON AFTER NOVEMBER 1st (UNLESS APPROVED BY THE CITY).
- DO NOT PLACE CONCRETE WHEN PRECIPITATION IS IMMINENT OR WHEN MOISTURE ON THE EXISTING SURFACE WILL PRESENT SATISFACTORY CURING. UNLESS OTHERWISE APPROVED BY THE ENGINEER IN WRITING, TEMPERATURE AND SEASONAL REQUIREMENTS FOR PLACING CONCRETE SHALL BE ACCORDING TO THE CURRENT MOIST TEMPERATURES. FOR MOISTURE TESTS SHALL BE ACCORDING TO THE CURRENT MOIST TEMPERATURES. FOR MOISTURE TESTS SHALL BE ACCORDING TO THE CURRENT MOIST TEMPERATURES. FOR MOISTURE TESTS SHALL BE ACCORDING TO THE CURRENT MOIST TEMPERATURES.

BITUMINOUS PAVEMENT

- BITUMINOUS MIXTURE SHALL CONSIST OF: LEVELING COURSE - 1" HOT BITUMINOUS MIXTURE AND 3/4" LEADING COURSE - 1" HOT BITUMINOUS MIXTURE AND 3/4" LEADING COURSE MUST BE BY 80% NO. 101 ASPHALT CEMENT PENETRATION GRADE 85-100 (PC 84-22) RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE REVIEWED FOR APPROVAL BY THE CITY ROAD.
- ALL BITUMINOUS MATERIAL SHALL BE COMPACTED TO A DENSITY OF 98% OF THE FIELD CONTROL DENSITY AS DETERMINED BY THE THEORETICAL MAXIMUM DENSITY.
- A BOND COAT OF 1/2-1% EMULSION IS REQUIRED BETWEEN ALL COURSES OF ASPHALT. BOND COAT SHALL BE PLACED ON EACH COURSE OF PAVEMENT. THE BOND COAT SHALL BE APPLIED IN A UNIFORM MANNER OVER THE SURFACE AT A RATE OF 0.15 GALLONS / SQ. YD. BETWEEN LEADING COURSES & 0.50 GALLONS / SQ. YD. BETWEEN LEADING COURSE AND LEADING COURSE.
- DO NOT APPLY BOND COAT WHEN PRECIPITATION IS IMMINENT OR WHEN MOISTURE ON THE EXISTING SURFACE WILL PRESENT SATISFACTORY CURING. UNLESS OTHERWISE APPROVED BY THE ENGINEER IN WRITING, TEMPERATURE AND SEASONAL REQUIREMENTS FOR PLACING BOND COAT SHALL BE ACCORDING TO THE CURRENT MOIST TEMPERATURES. FOR MOISTURE TESTS SHALL BE ACCORDING TO THE CURRENT MOIST TEMPERATURES. FOR MOISTURE TESTS SHALL BE ACCORDING TO THE CURRENT MOIST TEMPERATURES.



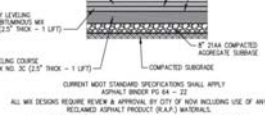
**TYPICAL CONCRETE ROADWAY SECTION FOR RESIDENTIAL ROAD
DETAIL - 1a
NOT TO SCALE**



**TYPICAL BITUMINOUS ROADWAY SECTION FOR RESIDENTIAL ROAD
DETAIL - 1b
NOT TO SCALE**



**TYPICAL CONCRETE ROADWAY SECTION FOR COLLECTOR & INDUSTRIAL ROADS
DETAIL - 2a
NOT TO SCALE**



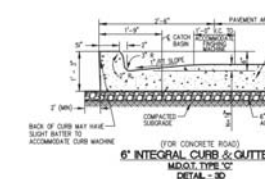
**TYPICAL BITUMINOUS ROADWAY SECTION FOR COLLECTOR & INDUSTRIAL ROADS
DETAIL - 2b
NOT TO SCALE**



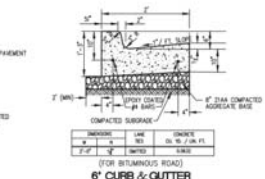
**4' MOUNTABLE CURB & GUTTER CONCRETE & BITUMINOUS ROADS
DETAIL - 3a
NOT TO SCALE**



**4' INTEGRAL & MOUNTABLE CURB & GUTTER WITH EJ 7065 OR EQUIVALENT CONCRETE & BITUMINOUS ROADS
DETAIL - 3b
NOT TO SCALE**

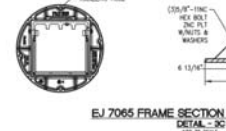


**6' INTEGRAL CURB & GUTTER MDOT TYPE 30
DETAIL - 3c
NOT TO SCALE**

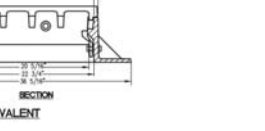


**6' CURB & GUTTER
DETAIL - 3d
NOT TO SCALE**

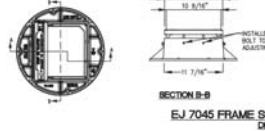
CONCRETE CURB & GUTTER DETAIL - 3



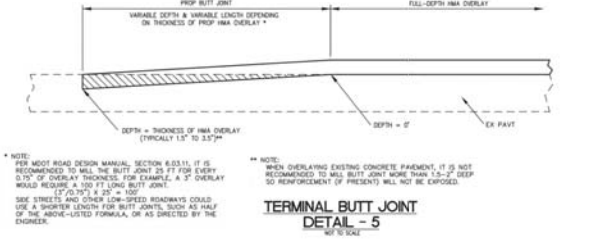
**EJ 7065 FRAME SECTION OR EQUIVALENT
DETAIL - 3c
NOT TO SCALE**



**EJ 7045 FRAME SECTION OR EQUIVALENT
DETAIL - 3e
NOT TO SCALE**

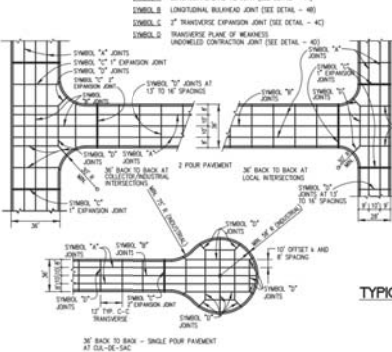


**EJ 7065 FRAME SECTION OR EQUIVALENT
DETAIL - 3c
NOT TO SCALE**



**TERMINAL BUTT JOINT
DETAIL - 5
NOT TO SCALE**

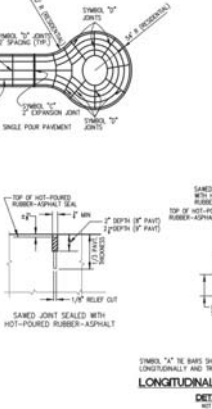
JOINT LEGEND



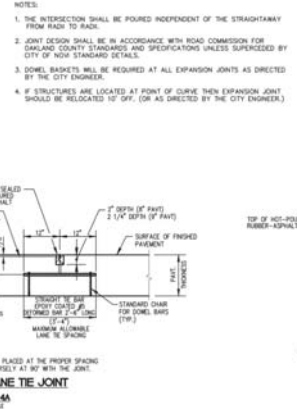
**TYPICAL PLAN OF CONCRETE PAVEMENT
JOINT LAYOUT DETAILS - 4**



**TYPICAL PLAN OF CONCRETE PAVEMENT
JOINT LAYOUT DETAILS - 4
NOT TO SCALE**

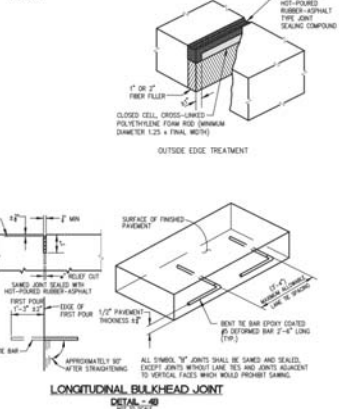


**LONGITUDINAL LANE TIE JOINT
DETAIL - 4a
NOT TO SCALE**



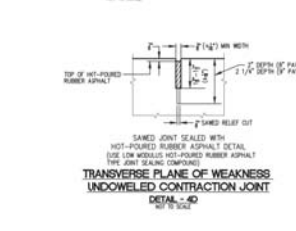
**LONGITUDINAL BULK-HEAD JOINT
DETAIL - 4b
NOT TO SCALE**

**EJ 7065 FRAME SECTION OR EQUIVALENT
DETAIL - 3c**



**EJ 7065 FRAME SECTION OR EQUIVALENT
DETAIL - 3c
NOT TO SCALE**

**TRANSVERSE EXPANSION JOINT
DETAIL - 3c**



**TRANSVERSE EXPANSION JOINT
DETAIL - 3c
NOT TO SCALE**

**TRANSVERSE PLANE OF WEAKNESS
UNDOWNELED CONTRACTION JOINT
DETAIL - 4d**

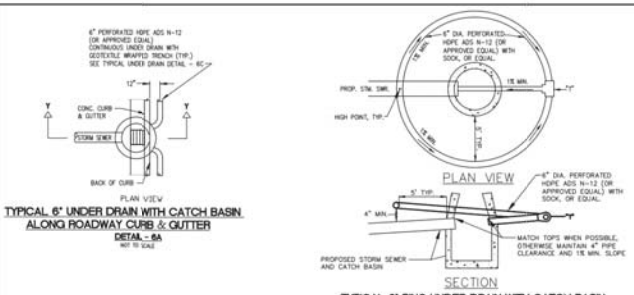


**TRANSVERSE PLANE OF WEAKNESS
UNDOWNELED CONTRACTION JOINT
DETAIL - 4d
NOT TO SCALE**

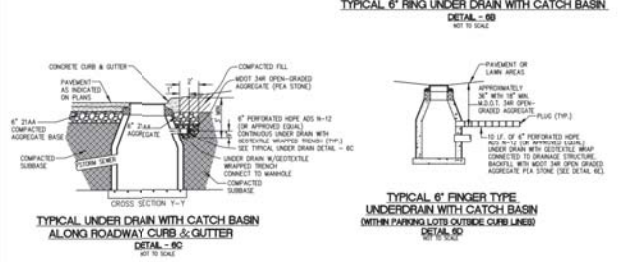


CITY OF NOVATO
COUNTY: CALIFORNIA
SHEET: 1 OF 2
DATE: 11/15/23

CITY OF NOVATO
COUNTY: CALIFORNIA
SHEET: 1 OF 2
DATE: 11/15/23



TYPICAL 6\"/>

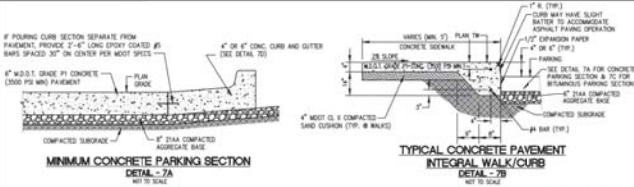


TYPICAL UNDER DRAIN WITH CATCH BASIN ALONG ROADWAY CURB & GUTTER DETAIL - 6C

UNDER DRAIN NOTES

1. UNDER DRAIN SHALL BE PLACED PER CITY STANDARDS ALONG THE ENTIRE LENGTH OF CURB (BOTH SIDES).
2. UNDER DRAIN TO BE 4\"/>

TYPICAL UNDER DRAIN DETAILS - 6



MINIMUM CONCRETE PARKING SECTION DETAIL - 7A



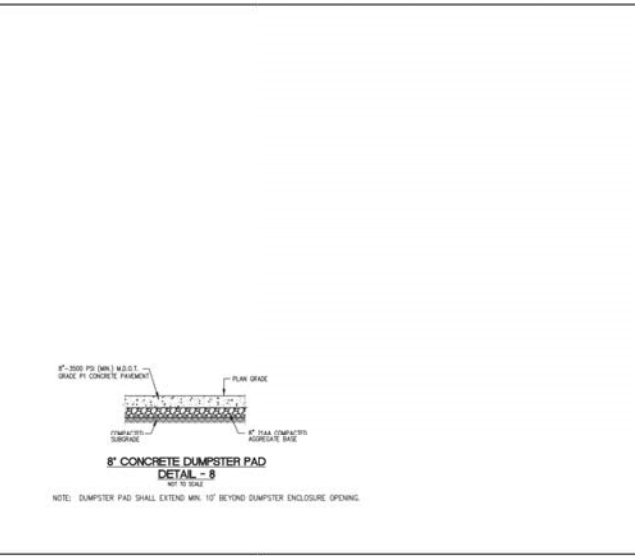
MINIMUM BITUMINOUS PARKING SECTION DETAIL - 7C

TYPICAL PARKING AREA PAVEMENT & CURB DETAILS - 7

THICKNESS	LINE	CONCRETE	GR. 10 / 1/4 IN. FT.
4\"/>			
2\"/>			
2\"/>			
2\"/>			

(FOR RESIDENTIAL, COMMERCIAL & INDUSTRIAL PARKING AREAS)

TYPICAL PARKING AREA PAVEMENT & CURB DETAILS - 7



8\"/>

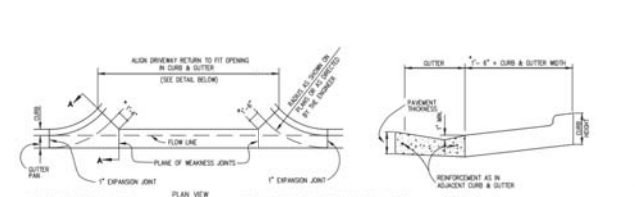
NOTE: DUMPSTER PAD SHALL EXTEND MIN. 1' BEYOND DUMPSTER ENCLOSURE OPENING.

SIDEWALK JOINTS NOTES

1. CONCRETE SIDEWALKS AND SIDEWALK EXPANSION AND FINISH OF WEARWAYS JOINTS AT INTERVALS AND LOCATIONS SHOWN ON THE PLANS. ALSO THRESHOLD JOINTS WITH LOW JOINTS IN ANY ADJACENT SLAB.
2. CONCRETE JOINTS WITH FINES PERPENDICULAR TO THE SIDEWALK SURFACE.
3. PLACE CONSTRUCTION JOINTS AT 3' MINIMUM AND 7' MAXIMUM INTERVALS. JOINTS ARE TO BE FULL WIDTH OF THE SLAB AND MINIMUM 1/4\"/>

SIDEWALK STANDARD NOTES

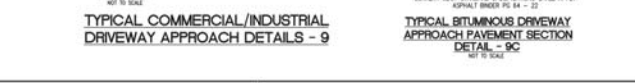
1. SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1985 SHALL BE INSTALLED AS SHOWN ON THE PLAN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
2. SIDEWALK AND PATHWAY RAMP SHALL BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER. MINIMUM RAMP SHALL MEET CURRENT MOST STANDARDS AND A.S.A. BARRIER FREE REQUIREMENTS.
3. RAMP SHALL BE PROVIDED AT CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB.
4. SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOKING TRANVERSE TO THE SLOPE OF RAMP.
5. SIDEWALK SHALL BE FINISHED WHERE THE SIDEWALK CURB IS EXTENDED ACROSS THE WALK.
6. CURB SHALL BE FINISH TO ASSURE A UNIFORM GRADE ON THE FACE, FREE OF SACS AND SHORT GRADE CHANGES. WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION PARALLEL TO THE DIRECTION OF TRAVEL.
7. IF FUTURE DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH THE EXISTING LOCATION OF THE RAMP SHOULD THE PRESENCE OVER LOCATION OF DRAINAGE STRUCTURE.
8. THE NORMAL CURB LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
9. THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLOW WITH THE ADJACENT CONCRETE.
10. ORIGINALLY AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP PROCEEDING. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
11. DETECTABLE MARKING SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP.



CONCRETE DRIVEWAY OPENING DETAIL - 8A



TYPICAL 8\"/>



TYPICAL COMMERCIAL/INDUSTRIAL DRIVEWAY APPROACH DETAILS - 9

PATHWAY STANDARD NOTES

1. THE MAXIMUM GRADE ALONG PATHWAY SHALL NOT EXCEED 1 ON 12.
2. PROVIDE 12\"/>

BITUMINOUS PATHWAY NOTES

1. IF PATHWAY CROSSES A RESIDENTIAL DRIVEWAY, INCREASE THE THICKNESS OF BITUMINOUS LENDING/BASE COURSE TO 2\"/>

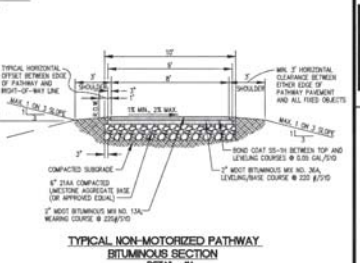
CONCRETE PATHWAY NOTES

1. FOR CONCRETE PATHWAY PROVIDE TRANVERSE PLANE OF WEARWAYS SAW CUT JOINTS AT APPROXIMATELY 4' INTERVALS. SAW 1\"/>

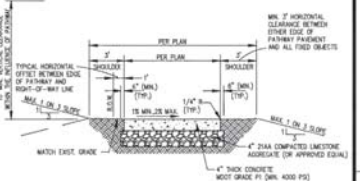


- NOTE:
1. SIGNS SHALL BE 18\"/>

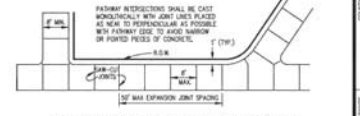
TYPICAL NON-MOTORIZED PATHWAY SIGNAGE DETAIL - 10



TYPICAL NON-MOTORIZED PATHWAY BITUMINOUS SECTION DETAIL - 10A



TYPICAL NON-MOTORIZED PATHWAY/SIDEWALK CONCRETE SECTION DETAIL - 10B



TYPICAL CONCRETE PATHWAY JOINT LAYOUTS DETAIL - 10C



TYPICAL NON-MOTORIZED PATHWAY DETAILS - 11



16\"/>



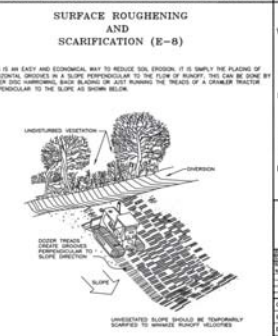
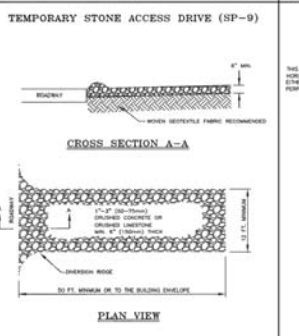
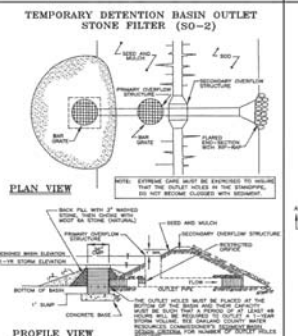
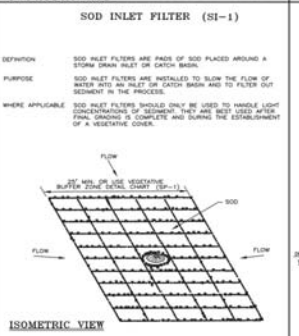
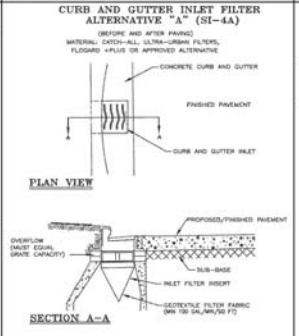
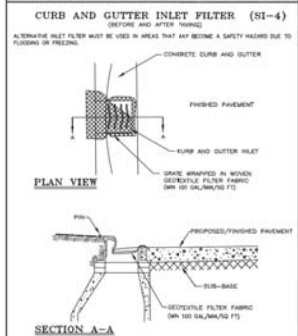
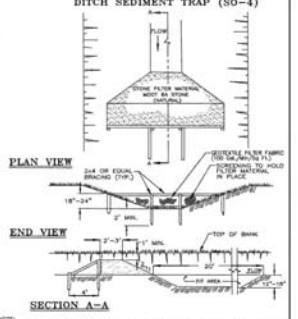
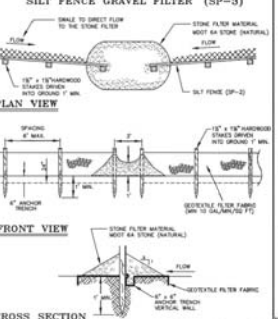
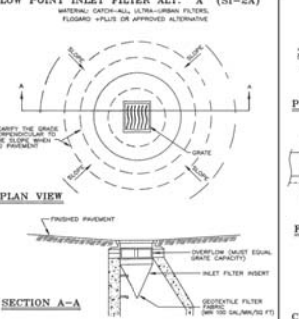
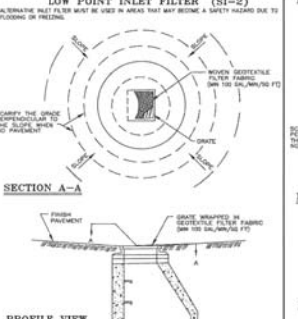
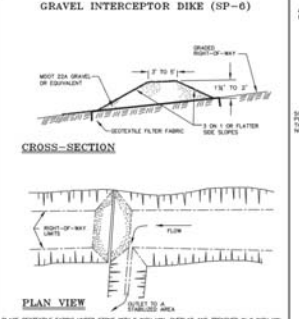
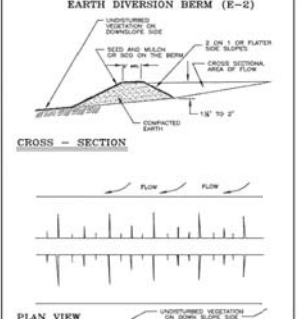
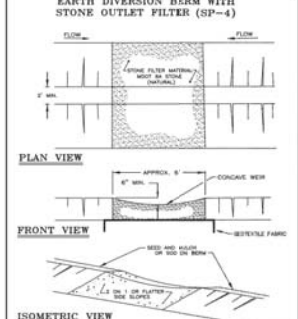
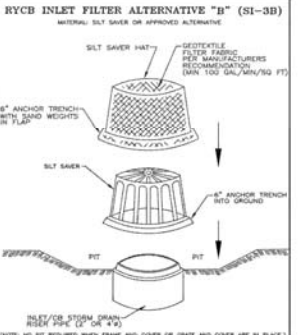
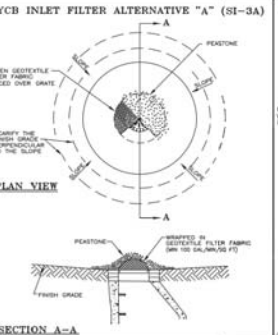
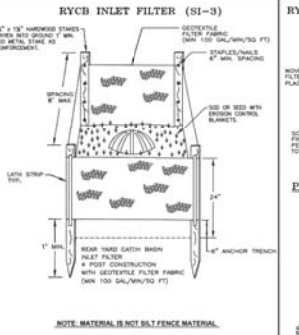
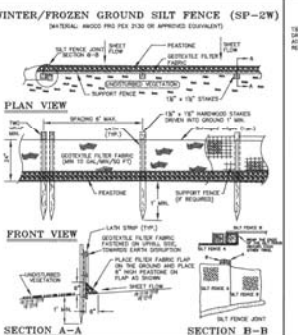
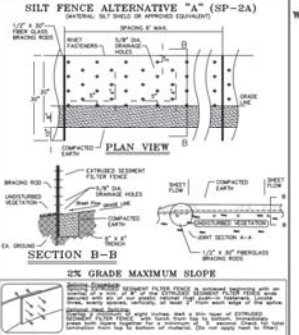
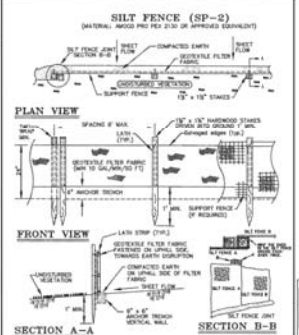
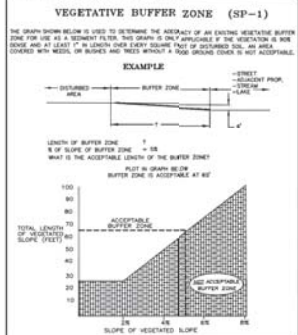
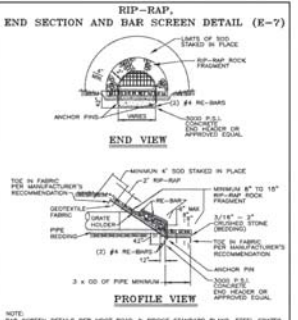
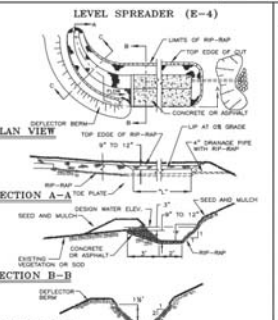
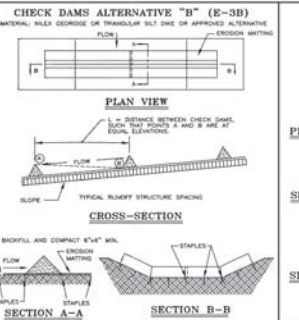
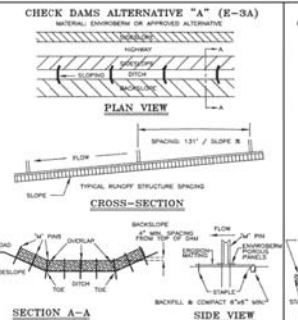
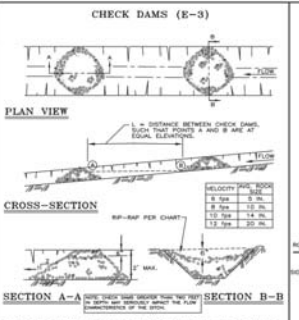
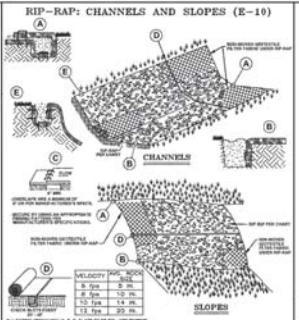
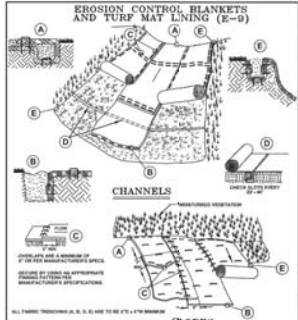
TYPICAL BITUMINOUS DRIVEWAY APPROACH PAVEMENT SECTION DETAIL - 9C



NO.	DATE	BY	REVISED	DESCRIPTION

CITY OF NOVI
 ENGINEER: JAMES W. WELLS, P.E.
 PROJECT NO.: 2024-001

CITY OF NOVI
 PROJECT NO.: 2024-001



NOTE:

WHILE PERFORMING WORK INVOLVING GROUNDS MAINTENANCE AND/OR THE CONSTRUCTION/MAINTENANCE OF ANY INFRASTRUCTURE, INCLUDING ROADS, WATER MAINS, SANITARY SEWERS, STORM DRAINS AND STORM WATER BEST MANAGEMENT PRACTICES (BMPs), CONTRACTORS SHALL MINIMIZE POLLUTION FROM STORM WATER RUNOFF THAT CAN AFFECT WATER QUALITY RELATED TO WORK ACTIVITIES. POLLUTANTS THAT COULD IMPAIR WATER QUALITY MAY INCLUDE FUEL, GREASE AND OIL, NUTRIENTS, BACTERIA AND PATHOGENS, LITTER AND DEBRIS, AND SOIL EROSION AND SEDIMENTATION. APPLICABLE BMPs SHALL BE IMPLEMENTED BY THE CONTRACTOR TO THE MAXIMUM EXTENT PRACTICABLE TO PROTECT WATER QUALITY AND WILDLIFE HABITAT.

SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

DATE: 08/2013

SCALE: 1" = 10'

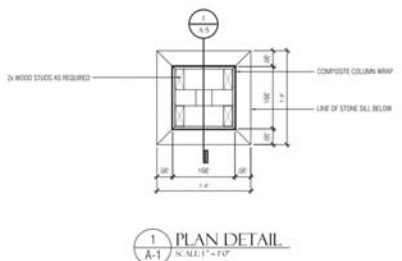
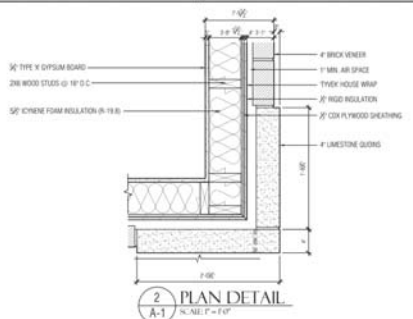
DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DRAWN BY: [Signature]

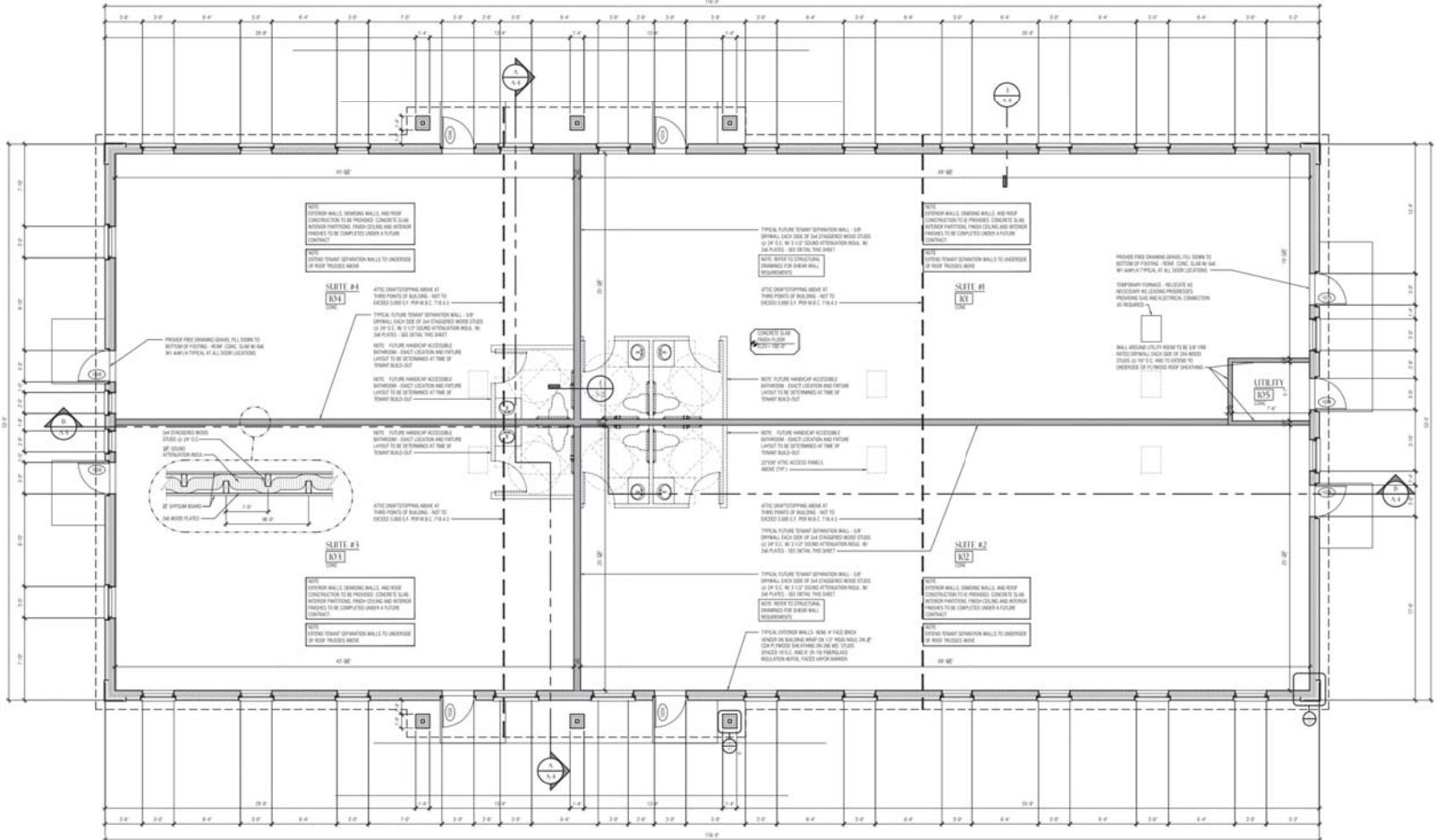
WRC

1 of 1



FLOOR PLAN REFERENCE NOTES

- CONTRACTOR SHALL VERIFY ALL APPLICABLE FEDERAL, STATE, LOCAL, LANE, AND OTHER REGULATIONS AND ORDINANCES. CONTRACTOR SHALL INCLUDE 2001 MICHIGAN BUILDING CODE, 2003 MICHIGAN PLUMBING CODE, 2003 MICHIGAN MECHANICAL CODE, 2003 MICHIGAN ELECTRICAL CODE, 2003 MICHIGAN FIRE ALARMS AND 2003 MICHIGAN ELEVATORS AND 2003 MICHIGAN ESCALATORS.
- CONTRACTOR SHALL VERIFY THE SITE TO DETERMINE THE EXISTING CONDITIONS TO VERIFY ALL EXISTING DIMENSIONS AND TO DETERMINE THE EXISTING AND PROPOSED CONDITIONS.
- IF REQUIRED, CONTRACTOR SHALL PROVIDE CERTIFICATE OF INSURANCE BEFORE STARTING WORK. VERIFY TYPES AND AMOUNTS OF COVERAGE WITH OWNER.
- MATERIALS USED IN CONSTRUCTION SHALL BE NEW AND OF PROPER GRADE QUALITY.
- VERTICAL CLEARANCE SHALL BE MAINTAINED AS MUCH AS POSSIBLE AT ALL TIMES AFTER DATE OF COMPLETION.
- SPRINKLERS SHALL BE INSTALLED WITH A CORNER BRACE, WALL ACCESSORIES, AND BRACES. ETC. AS REQUIRED FOR COMPLETION. SPRINKLERS SHALL BE TYPED AND SIZED, READY FOR USE BY ORIGINAL CONTRACTOR.
- CARPENTER CONTRACTOR SHALL PREPARE ALL CONCRETE WALL SPACES.
- ALL DOORS AND DOOR-THRESHOLDS SHALL BE PROVIDED AND INSTALLED BY THE CARPENTER CONTRACTOR. VERIFY LOCK FUNCTION WITH OWNER. SEE OWNER AND ARCHITECT. PROVIDE COMMERCIAL GRADE UNFINISHED, UNPAINTED WOODS. INCLUDE ALL STOPS TO TO MATCH WITHOUT THE USE OF SILENT SPRINGS. VERIFY HARDWARE WITH CITY AND HAVE SPECIAL PERMIT TO BE INSTALLED.
- CONCRETE FLOOR SLAB SHALL BE 4\"/>



CORRY CAMPBELL
C-ARC
 ARCHITECTURAL
 DESIGN GROUP
 4400 LONG LAKE AVENUE SUITE 175
 BENTONVILLE, AR 72715
 TEL: 248.970.7344
 WWW.C-CARC.COM
 ARCHITECTURAL PLANNING INTERIORS
 © 2001 CORRY CAMPBELL ARCHITECTURAL DESIGN GROUP

PROJECT:
NOVI
PROFESSIONAL
 23905 NOVI RD
 NOVI, MICHIGAN 48275

SHEET TITLE:
MAIN LEVEL FLOOR PLAN

SQUARE FOOTAGE

GROSS SF	1,000 SF
NET SF	1,000 SF
USEABLE SF	1,000 SF
FINISHED SF	1,000 SF
MEASUREMENT	AS SHOWN

- NOTES:**
- TEMPORARY GLASS REQUIRED
 - CONSTRUCTION
 - EXTERIOR WALLS TO BE FINISHED WITH BRICK ON BOTTOM
 - FINISHING AND FINISH TO BE PROVIDED SURFACES. PROVIDE NOTES OTHERWISE.
 - STRUCTURAL STEEL SHOPS DRAWINGS TO BE PROVIDED FOR STRUCTURAL ANALYSIS AND APPROVALS BEFORE.
 - VERIFY ALL EXISTING GRADES AND ELEVATIONS PER 2001 ILL. AND PROVIDE EXISTING GRADES AND ELEVATIONS PER 2001 ILL. AND 2001 ILL.
 - ELEVATION HEIGHTS SHALL BE CALIBRATED FROM MAIN LEVEL. FINISH FLOOR FINISH SHALL BE 1\"/>

DO NOT SCALE DRAWINGS

CODE:
 ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH THE 2001 MICHIGAN BUILDING CODE, ORDINANCES AND REQUIREMENTS AS ADOPTED BY THE LOCAL GOVERNING BODY IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY.

DATE:
 10.1.2001

SCALE:
 1/8\"/>

SHEET NO.:
A-1



EXISTING TLAND 3262 AC

Plan View
Scale - 1" = 20ft

WEDGE LED
Architectural Wall Sconce

Specifications:
Depth: 5.0"
Height: 8.0"
Width: 4.0"
Weight: 1.5 lb

Introduction:
The WEDGE LED Family is designed to meet specific needs with recessed lighting needs in a widely searched space that blends with any architecture. The cone includes design features on four sides with lumens on edges ranging from 1,200 to 10,000 lumens providing true omnidirectional solutions.

WEDGE LED Family Dimensions:

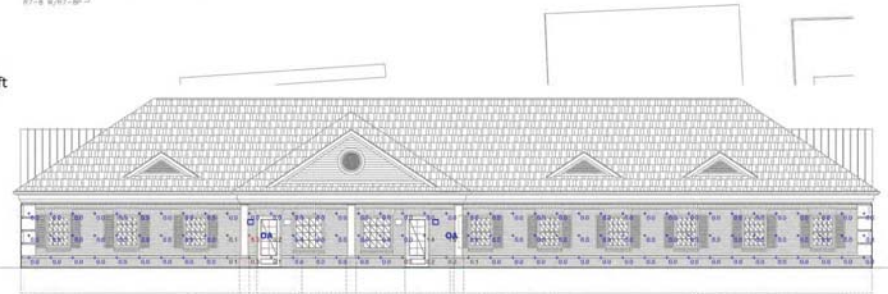
Series	Color	Beam Angle	Beam Diameter	Beam Length	Beam Width	Beam Height	Beam Depth
WEDGE	3000K	120°	1.0"	1.0"	1.0"	1.0"	1.0"
WEDGE	3000K	120°	1.5"	1.5"	1.5"	1.5"	1.5"
WEDGE	3000K	120°	2.0"	2.0"	2.0"	2.0"	2.0"
WEDGE	3000K	120°	3.0"	3.0"	3.0"	3.0"	3.0"
WEDGE	3000K	120°	4.0"	4.0"	4.0"	4.0"	4.0"

Ordering Information: EXAMPLE: WEDGE LED P2 40K RICK V4 MOUNT PE DORNO

Series	Color	Beam Angle	Beam Diameter	Beam Length	Beam Width	Beam Height	Beam Depth
WEDGE	3000K	120°	1.0"	1.0"	1.0"	1.0"	1.0"
WEDGE	3000K	120°	1.5"	1.5"	1.5"	1.5"	1.5"
WEDGE	3000K	120°	2.0"	2.0"	2.0"	2.0"	2.0"
WEDGE	3000K	120°	3.0"	3.0"	3.0"	3.0"	3.0"
WEDGE	3000K	120°	4.0"	4.0"	4.0"	4.0"	4.0"

Accessories:

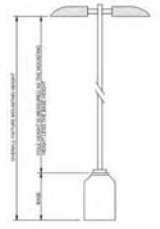
- WEDGE LED P2 40K RICK V4 MOUNT PE DORNO
- WEDGE LED P2 40K RICK V4 MOUNT PE DORNO
- WEDGE LED P2 40K RICK V4 MOUNT PE DORNO



Typical North/South View
Scale - 1" = 8ft



Typical East/West View
Scale - 1" = 8ft



- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT 0' - 0"
 - HOURS OF OPERATION: 24 HOURS PER DAY & 7 DAYS A WEEK.
 - ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
 - FLASHING LIGHT SHALL NOT BE PERMITTED.
 - ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE. UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASB@GASSERBUSH.COM OR 734-266-6705.

Ordering Note:
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note:
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
NORTH PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
PROPOSED PARKING LOT	⊗	0.0 fc	2.0 fc	0.0 fc	N/A	N/A	0.0:1
SOUTH PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
TYPICAL EAST/WEST ELEVATION	+	0.2 fc	4.1 fc	0.0 fc	N/A	N/A	0.0:1
TYPICAL NORTH/SOUTH ELEVATION	+	0.1 fc	5.3 fc	0.0 fc	N/A	N/A	0.0:1

Schedule

Symbol	Label	QTY	Catalog Number	Description	Lens	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
OA	OA	54	WEDGE LED P2 40K RICK V4	WEDGE LED WITH P2 PERFORMANCE	LED	1	1978	0.9	15,378	8'-0"

MAY 12, 2021
PLANNING COMMISSION ACTION SUMMARY



PLANNING COMMISSION ACTION SUMMARY

CITY OF NOVI
Regular Meeting
May 12th, 2021 7:00 PM
Remote Meeting
(248) 347-0475

As authorized under the open meetings act, MCL 15.261, ET SEQ., this meeting was held remotely.

CALL TO ORDER

The meeting was called to order at 7:00 PM.

ROLL CALL - Pursuant to the State of Michigan Open Meetings Act, all members shall identify their physical location by stating the county, city, and state from which he or she is attending the meeting remotely.

Present: Member Avdoulos- City of Novi, Oakland County, MI; Member Becker- City of Novi, Oakland County, MI; Member Dismondy- City of Novi, Oakland County, MI; Member Lynch- City of Novi, Oakland County, MI; Chair Pehrson- City of Novi, Oakland County, MI; Member Roney- City of Novi, Oakland County, MI; Member Verma- City of Novi, Oakland County, MI;

Absent: None

Staff: Barb McBeth, City Planner; Christian Carroll, Planner; Victor Boron, Plan Review Engineer; Rick Meader, Landscape Architect; Madeleine Daniels, Planning Assistant; Beth Saarela, City Attorney

APPROVAL OF AGENDA

Motion to approve the May 12, 2021 Planning Commission Agenda. Motion carried 7-0.

CONSENT AGENDA - REMOVALS AND APPROVALS

1. **GRIFFIN FUNERAL HOME JSP17-13**

Approval of the request of Novi Funeral Home, LLC for the second one-year extension of the Final Site Plan approval. The subject property is located south of Eleven Mile Road and west of Beck Road, in the RA, Residential Acreage Zoning District. The applicant is proposing to construct a 13,000 square foot building and associated site improvements for use as a funeral home. A special land use permit was granted in June of 2017.

Motion to approve the second one-year extension of the Final Site Plan approval for Griffin Funeral Home JSP17-13. Motion carried 7-0.

PUBLIC HEARINGS

1. NOVI PROFESIONAL BUILDINGS IV & V

Public Hearing at the request of Novi Medical Building, LLC for approval of the Preliminary Site Plan, Woodland Use Permit, and Stormwater Management Plan. The subject property contains 5.02 acres and is located in Section 27, on the west side of Novi Road, south of Ten Mile Road. The applicant is proposing to construct two 6,175 square foot professional office buildings, directly behind the three existing buildings on the property that were constructed in 1991.

In the matter of Novi Professional Village Buildings D & E, JSP20-17, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. Parking setback waiver of 7 feet along the north property line (10 feet required, 3 feet provided) because the applicant has demonstrated in the response letter, per Section 3.6.2.Q of the Zoning Ordinance, that modification of the parking area setback requirements does not reduce the total area of setback on the overall site below the minimum setback area requirements, and that such modification will result in improved use of the site because the proposed parking layout is consistent with the existing parking layout on-site, which is hereby granted;**
- b. Parking setback waiver of 4.14 feet along the south property line (10 feet required, 5.86 feet proposed) because the applicant has demonstrated in the response letter, per Section 3.6.2.Q of the Zoning Ordinance, that modification of the parking area setback requirements does not reduce the total area of setback on the overall site below the minimum setback area requirements, and that such modification will result in improved use of the site because the proposed parking layout is consistent with the existing parking layout on-site, which is hereby granted;**
- c. Landscape Waiver for the deficiency of a screening berm along the west property line because of the large distance and dense woodland vegetation that provides the site with significant audible and visual buffering, which is hereby granted;**
- d. Landscape Waiver for the deficiency of five perimeter canopy trees in the parking lot perimeter landscaping because the proposed parking layout is consistent with the existing parking layout on-site, which is hereby granted;**
- e. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.**

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Novi Professional Village Buildings D & E, JSP20-17, motion to approve the Woodland Use Permit subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Novi Professional Village Buildings D & E, JSP20-17, motion to approve the approve the Stormwater Management Plan subject to the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

MATTERS FOR CONSIDERATION

1. PLANNING COMMISSION RULES & BY-LAWS

Consideration to approve amended Planning Commission Rules and By-Laws as recommended by the Rules Committee.

Motion to adopt the amended Planning Commission Rules and By-laws. *Motion carried 7-0.*

2. APPROVAL OF THE FEBRUARY 24, 2021 PLANNING COMMISSION MINUTES.

Motion to approve the February 24, 2021 Planning Commission Meeting Minutes. *Motion carried 6-0.*

3. APPROVAL OF THE MARCH 10, 2021 PLANNING COMMISSION MINUTES.

Motion to approve the March 10, 2021 Planning Commission Meeting Minutes. *Motion carried 6-0.*

ADJOURNMENT

Motion to adjourn the May 12, 2021 Planning Commission Meeting. *Motion carried 7-0.*

The meeting was adjourned at 7:32 PM.

*Actual language of the motion subject to review.

**MAY 12, 2021
PLANNING COMMISSION MEETING MINUTES**



PLANNING COMMISSION

MINUTES

CITY OF NOVI

Regular Meeting

May 12th, 2021 7:00 PM

Remote Meeting

(248) 347-0475

As authorized under the open meetings act, MCL 15.261, ET SEQ., this meeting will be held remotely.

CALL TO ORDER

The meeting was called to order at 7:00 PM.

ROLL CALL - Pursuant to the State of Michigan Open Meetings Act, all members shall identify their physical location by stating the county, city, and state from which he or she is attending the meeting remotely.

Present: Member Avdoulos- City of Novi, Oakland County, MI; Member Becker- City of Novi, Oakland County, MI; Member Dismondy- City of Novi, Oakland County, MI; Member Lynch- City of Novi, Oakland County, MI; Chair Pehrson- City of Novi, Oakland County, MI; Member Roney- City of Novi, Oakland County, MI; Member Verma- City of Novi, Oakland County, MI

Absent: None.

Staff: Barb McBeth, City Planner; Christian Carroll, Planner; Victor Boron, Plan Review Engineer; Rick Meader, Landscape Architect; Madeleine Daniels, Planning Assistant; Beth Saarela, City Attorney

PLEDGE OF ALLEGIANCE

Chair Pehrson led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Moved by Member Avdoulos and seconded by Member Lynch.

VOICE VOTE TO APPROVE THE MAY 12, 2021 PLANNING COMMISSION AGENDA MOVED BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

Motion to approve the May 12, 2021 Planning Commission Agenda. Motion carried 7-0.

AUDIENCE PARTICIPATION

No one in the audience wished to speak.

CORRESPONDENCE

There was no correspondence.

COMMITTEE REPORTS

There were no Committee Reports.

CITY PLANNER REPORT

There was no City Planner Report.

CONSENT AGENDA - REMOVALS AND APPROVALS

1. GRIFFIN FUNERAL HOME JSP17-13

Approval of the request of Novi Funeral Home, LLC for the second one-year extension of the Final Site Plan approval. The subject property is located south of Eleven Mile Road and west of Beck Road, in the RA, Residential Acreage Zoning District. The applicant is proposing to construct a 13,000 square foot building and associated site improvements for use as a funeral home. A special land use permit was granted in June of 2017.

Motion made by Member Lynch and seconded by Member Avdoulos.

ROLL CALL VOTE TO APPROVE THE ONE YEAR EXTENSION OF THE FINAL SITE PLAN FOR GRIFFIN FUNERAL HOME MADE BY MEMBER LYNCH AND SECONDED BY MEMEBR AVDOULOS.

Motion to approve the second one-year extension of the Final Site Plan approval for Griffin Funeral Home JSP17-13. Motion carried 7-0.

Member Verma said I'm new to this project and just wanted to know if there's another entrance proposed for this site.

Member Pehrson said no, there's just the entrance off of Beck Road.

Member Verma said why was that not considered?

Member Pehrson said we're beyond that now, all we have done now is extend the request for the approval granted previously.

PUBLIC HEARINGS

1. NOVI PROFESIONAL BUILDINGS IV & V

Public Hearing at the request of Novi Medical Building, LLC for approval of the Preliminary Site Plan, Woodland Use Permit, and Stormwater Management Plan. The subject property contains 5.02 acres and is located in Section 27, on the west side of Novi Road, south of Ten Mile Road. The applicant is proposing to construct two 6,175 square feet professional office buildings, directly behind the three existing buildings on the property that were constructed in 1991.

Planner Carroll said before you we have Novi Professional Village. They're proposing to add two additional office buildings on the site. As you can see, it's west of Novi Road and south of Ten Mile and it's zoned OS-1, Office Service. The rear of property does have single-family zoning on it, but that portion of the site will not be developed.

The Future Land Use map indicates Community Office for the entirety of the property. The site does contain a few natural features. To the west of the property, it has wetlands, woodlands, as well as a floodplain which drains to the south. There are some residential subdivisions to the west, but there's a large distance between the site and those properties, it's pretty well forested. There really isn't any visibility to the site from the residential dwellings to the west.

Looking at the site plan, the project originally proposed five buildings in 1990-1991 and only three of them were built at the time. They're coming back to build the other two. The proposed buildings are one story in height and are of a similar design as the existing three office buildings. A few items to note when you look at this, the applicant is seeking a number of waivers, the first thing being a parking setback waiver of 7 feet along the north property line and a parking setback waiver of 4.14 feet along the south property line due to the existing configuration of the parking on-site. The reason for that is because they're looking to keep the parking consistent with what is existing. Staff supports these waivers as the modification does not reduce the total area of setback below the minimum required for the site and this modification will result in improved use of the site because the proposed parking layout is consistent with the existing parking layout on-site.

Planner Carroll continued to say the applicant is seeking two landscape waivers for this project. The first waiver is for the deficiency of a screening berm along the west property line, which staff supports because of the large distance and existing dense woodland vegetation that provides the site with significant audible and visual buffering. The second waiver is for the deficiency of five perimeter canopy trees in the parking lot perimeter landscaping mainly along the north property line where there is wall and there's not really any space to plant the trees. Again, that's part of keeping the consistency with the existing parking layout on-site.

All other items identified in the review letters are to be addressed with the next submittal if this plan were to be approved tonight by the Planning Commission. The Planning Commission is asked tonight to hold the public hearing and approve or deny the Preliminary Site Plan, Woodland Use Permit, and Stormwater Management Plan. Representing the project tonight are Andrew Marougy, Developer/Builder of the project, and Matthew Bush, Engineer with Atwell. Staff is available to answer any questions.

Chair Pehrson said does the applicant wish to address the Planning Commission at this time?

Andrew Marougy, Applicant, said this is something that was pursued previously, and we are now hoping to wrap it up and complete the complex.

Chair Pehrson said this is a public hearing, and if there is anyone in audience who wishes to address the Planning Commission, please raise your hand now. Seeing no one wished to speak, Chair Pehrson asked for the correspondence.

Planning Assistant Daniels said there were a couple comments submitted to us. The first is from Raphael Goldstein, 23895 Novi Rd, who owns a dental office near the subject property, he has issues with storm water on his parking lot currently and was curious about the project. The next letter is from John and Laura Mullins, 24076 Greening Dr, they stated that the effects on the storm water management have already affected the wetlands by sending fertilizers into the streams and ponds causing vegetation growth. The continued development may adversely affect wildlife and the environment.

Chair Pehrson closed the public hearing and turned it over to the Planning Commission for their consideration.

Member Roney said I visited the site recently and seems like a very appropriate development. To me, it looks like it was planned years ago and maybe they can put something in a little better than what was planned a while ago.

Member Lynch said I'm very familiar with that site and I visited it today as well. Can the developer

comment on the plan to mitigate any existing issues with the parcel right now? What exactly are they doing to mitigate any flooding that occurs currently?

Andrew Marougy, Applicant, said the way the site was planned originally, all the storm water management was above ground, so it was designed to be above ground water drainage system. I don't think it made sense with being in Michigan and obviously having varying weather with freezing temperatures so there was some catch basins added many years back before my time. Part of what we're looking at doing now is underground water storm management system essentially to divert the water to the back of the property. We did actually enlarge that area where the retention is so we can accommodate the current standards. I feel like we have a pretty good handle on it moving forward and obviously some of the plans will address the third building in the complex currently that we have right now, but the first two buildings are covered by some storm sewers that were added. I don't recall exact time frame, but it could have been some time in the 1990's.

Member Lynch said I guess the issue that you had was with building 3, the existing one that's furthest to the west. So with the new plan, from what I understand and have seen from the drawings, it looks like you're going to mitigate the existing problems with additional catch basins.

Andrew Marougy, Applicant, said that's correct.

Member Lynch said I did take a look at it and I don't have any issues with the waivers. There's a lot of foliage to the west and there is that wall on the north side. I think it fits in with that development. It's a tough parcel, hard to locate if you're driving to try to find the office, but apparently the developer believes we can make it work and it does fit into that area. In fact, from the aerial view, it looks like the footings are already in there and I don't have any issues with this proposal and I support it.

Member Dismondy said did the city approve this back in the 90's and then the last two buildings were just never built?

City Planner McBeth said I believe this was approved originally for 5 buildings that's why some footings are in place right now.

Dismondy said is this currently a spec building or do you have users already?

Andrew Marougy, Applicant, said right now it's spec. It's hard to market it to users without a definite time frame.

Member Becker said I also went out and took a look. My first and really only concern was that that's pretty close to a busy intersection, so I wanted to see what it was going to be like if we added two more buildings for residents and possible customers coming in and out, but I noted that Novi Road is four lanes plus a dedicated left turn lane right there so that kind of made my concerns go away, I support the waivers as others have.

Member Avdoulos said I think the applicant did a good job of responding to all the concerns from staff and consultants, so I think that was all answered. The one sticking point was the fifteen parking spaces versus the twenty, but that was addressed. I would like to make a motion.

Motion made by Member Avdoulos and seconded by Member Lynch.

ROLL CALL VOTE TO APPROVE NOVI PROFESSIONAL VILLAGE BUILDINGS D & E, JSP 20-17, PRELIMINARY SITE PLAN MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

In the matter of Novi Professional Village Buildings D & E, JSP20-17, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. Parking setback waiver of 7 feet along the north property line (10 feet required, 3 feet provided) because the applicant has demonstrated in the response letter, per Section 3.6.2.Q of the Zoning Ordinance, that modification of the parking area setback requirements does not reduce the total area of setback on the overall site below the minimum setback area requirements, and that such modification will result in improved use of the site because the proposed parking layout is consistent with the existing parking layout on-site, which is hereby granted;
- b. Parking setback waiver of 4.14 feet along the south property line (10 feet required, 5.86 feet proposed) because the applicant has demonstrated in the response letter, per Section 3.6.2.Q of the Zoning Ordinance, that modification of the parking area setback requirements does not reduce the total area of setback on the overall site below the minimum setback area requirements, and that such modification will result in improved use of the site because the proposed parking layout is consistent with the existing parking layout on-site, which is hereby granted;
- c. Landscape Waiver for the deficiency of a screening berm along the west property line because of the large distance and dense woodland vegetation that provides the site with significant audible and visual buffering, which is hereby granted;
- d. Landscape Waiver for a deficiency of five perimeter canopy trees in the parking lot perimeter landscaping because the proposed parking layout is consistent with the existing parking layout on-site, which is hereby granted;
- e. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

Motion made by Member Avdoulos and seconded by Member Lynch.

ROLL CALL VOTE TO APPROVE NOVI PROFESSIONAL VILLAGE BUILDINGS D & E, JSP 20-17, WOODLAND USE PERMIT MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

In the matter of Novi Professional Village Buildings D & E, JSP20-17, motion to approve the Woodland Use Permit subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

Motion made by Member Avdoulos and seconded by Member Lynch.

ROLL CALL VOTE TO APPROVE NOVI PROFESSIONAL VILLAGE BUILDINGS D & E, JSP 20-17, STORM WATER MAMAGEMENT PLAN MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

In the matter of Novi Professional Village Buildings D & E, JSP20-17, motion to approve the approve the Stormwater Management Plan subject to the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items

listed in those being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

MATTERS FOR CONSIDERATION

1. PLANNING COMMISSION RULES & BY-LAWS

Consideration to approve amended Planning Commission Rules and By-Laws as recommended by the Rules Committee.

City Planner McBeth said this was started with some comments from our staff and City Attorney's office to take a look at the Planning Commission Rules and By-laws, so we started working on that and decided to convene a committee meeting, to meet and discuss the proposed changes on April 14. I think the last time the Rules had been reviewed and updated by the Planning Commission was about 2011. We think that the rules have served the Committee very well over the last period of time, but we did have a few suggestions some of which were very minor, such as a few changes to the words here and there and then others you can see as you move through the strike through version of the document.

Pages 4 and 5 talk about adjustments to some of the Planning Commission Committees including adding an alternate member to the regular members of the CIP Committee, the Walkable Novi Committee, and the Master Plan and Zoning Committee so we had some consistency there, but also to make it a little bit easier to schedule the meetings so that there was an alternate who could attend. We also proposed to strike the City's Main Street Committee. That was a joint committee with some other boards and that hasn't been in place for a number of years so were suggesting removing that from the Planning Commission Rules.

We've also updated page 5 to include the indication that the Planning Commission Meeting notices are not only posted at the Civic Center in accordance with the open meetings act but are also posted online to make them a little bit easier to find. On pages 6 and 9, we had similar comments that both of those pages indicated that members of the public wishing to speak during the public hearing or audience participation shall clearly state their name and address for the record. That helps with the minutes and for follow up for all of us.

City Planner McBeth continued to say on page 8, we're suggesting a correction to the minimum number of Commission Members required for an affirmative vote on the adoption of amendments to the Master Plan for Land Use, it actually takes five members for approval of the Master Plan for Land Use. We made some adjustments also on page 10, to remove the restriction that limits additional correspondence being provided from the city staff and consultants and the petitioners from being presented to the Planning Commission at least 24-hours before a meeting. We have found that sometimes a question comes up or additional information can be provided to the Planning Commission before the meeting and sometimes even leading up to the meeting. We've noticed that the Planning Commission hasn't objected to that so were suggesting removing that requirement.

Page 14 indicates that the Planning Commission members are encouraged to take advantage of any Planning Commission training that would be available and any sessions or conferences as the City's budget would allow. Further, were suggesting that the Planning Commission members would be encouraged to share a brief summary of any relevant information they might have learned during a conference or convention as determined by each member. That would be during the supplemental issues section of the Planning Commission Agenda. The final suggested change is the expectation of the Planning Commission shall utilize the city's email account for all matters related to the Planning

Commission activities. These updates were recommended by the Rules Committee for approval. If the Planning Commission likes it the Planning Commission would be free to adopt the amendments at this meeting tonight.

Chair Pehrson turned it over to the Planning Commission for their consideration.

Member Avdoulos said I think it was a good meeting with the Rules Committee and I appreciate the thoroughness that we went through. We literally went through each line, which was good. I think that we came up with a great document so I will make a motion.

Motion made by Member Avdoulos and seconded by Member Lynch.

Motion to adopt the amended Planning Commission Rules and By-laws.

Member Roney said seems like a nice clean up and very appropriate.

Member Verma nothing to add, I agree with the other Commissioners. Will copies be given to each member?

City Planner McBeth said yes, we will send you a fresh copy once they are adopted.

Chair Pehrson said I just wanted to thank the members of the committee for going through that.

Motion made by Member Avdoulos and seconded by Member Lynch.

ROLL CALL VOTE TO ADOPT THE AMENDED PLANNING COMMISSION RULES AND BY-LAWS MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

Motion to adopt the amended Planning Commission Rules and By-laws. Motion carried 7-0.

2. APPROVAL OF THE FEBRUARY 24, 2021 PLANNING COMMISSION MINUTES.

Motion made by Member Lynch and seconded by Member Avdoulos.

ROLL CALL VOTE TO APPROVE THE FEBRUARY 24, 2021 PLANNING COMMISSION MINUTES MADE BY MEMBER LYNCH AND SECONDED BY MEMBER AVDOULOS.

Motion to approve the February 24, 2021 Planning Commission Meeting Minutes. Motion carried 6-0. (Roney abstained)

3. APPROVAL OF THE MARCH 10, 2021 PLANNING COMMISSION MINUTES.

Motion made by Member Lynch and seconded by Member Avdoulos.

ROLL CALL VOTE TO APPROVE THE MARCH 10, 2021 PLANNING COMMISSION MINUTES MADE BY MEMBER LYNCH AND SECONDED BY MEMBER AVDOULOS.

Motion to approve the March 10, 2021 Planning Commission Meeting Minutes. Motion carried 6-0.

SUPPLEMENTAL ISSUES

There were no supplemental issues.

AUDIENCE PARTICIPATION

John Mullins, 24076 Greening Drive, said you passed on the Novi Professional Buildings D & E proposal already. This will be in my backyard, and I did submit a comment, but didn't hear it being read. I just wanted the members to know I've lived here for 15 years, and my backyard used to have a pond in it and now it's pretty much all dried up. I expect this is not going to help, adding two more buildings in my backyard. The runoff that I see from the fertilizers kills all the wildlife. I just wanted my voice heard. It would be nice to have wetlands here in Novi still. I think an environmental study should be done.

Chair Pehrson said with that we will now close the audience participation.

ADJOURNMENT

Moved to adjourn made by Member Lynch and seconded by Member Avdoulos.

Motion to adjourn the May 12, 2021 Planning Commission Meeting. Motion carried 7-0.

The meeting was adjourned at 7:32 PM.